

Mail PO Box 5310 Stateline, NV 89449-5310 Location 128 Market Street Stateline, NV 89449

Phone: 775-588-4547 Fax: 775-588-4527 www.trpa.gov

STAFF REPORT

Date: August 16, 2023

To: TRPA Governing Board

From: TRPA Staff

Subject: Chimney Beach Trailhead Parking Lot Upgrade Project

Summary and Staff Recommendation:

Staff recommends the Governing Board approve the Chimney Beach Parking Lot Upgrade Project. The project will update the existing parking lot to provide 130 parking spaces. The parking spaces will replace parking that is currently occurring along the State Route 28 highway shoulder.

Required Motions:

In order to approve the project, the Board must make the following motion(s), based on the staff report and evidence in the record:

- 1) A motion to approve the required findings including a finding of no significant effect as shown in Attachment A.
- 2) A motion to approve the proposed project subject to the conditions contained in the draft permit as shown in Attachment B.

In order for motion(s) to pass, an affirmative vote of 5-9 (5 Nevada and 9 total) of the Board is required.

Project Description/Background:

Eleven miles of undeveloped shoreline, the longest stretch at Lake Tahoe, parallels Nevada State Route (SR) 28 from Incline Village to Spooner Summit. This two-lane, mountainside road is the only access route for over one million recreating visitors and 2.6 million-plus vehicles per year. SR-28 crosses portions of Douglas County, Carson City, and Washoe County. The area and corridor continue to increase in popularity, which is projected to continue into the future.

The existing Chimney Beach parking lot provides public access to Chimney Beach and Marlette Lake. The existing lot and support facilities do not support the recreation demand in the area. In 2016, data collected indicates approximately 563 vehicles parked along the SR-28 shoulder between Sand Harbor and Chimney Beach. During peak visitation, over 1,400 vehicles were parked throughout the 11-mile corridor. In comparison there are only 532 formalized, paved parking spaces provided between the Sand Harbor, Chimney Beach, and Secret Harbor parking lots. The additional, unformalized highway shoulder parking is unsafe, causes natural resource impacts to vegetation and soil, and degrades the scenic integrity of the scenic highway.

In response to safety and environmental concerns, the State Route 28 National Scenic Byway Corridor Management Plan (CMP) was completed in October 2013. The CMP was a collaborative process involving 13 partners who all have a stake in the future of the corridor. The purpose of the Corridor Plan was to address the corridor's safety, transportation, environmental, recreation, scenic, and economic needs in a coordinated manner. The plan identified challenges and recommendations to improve the safety and environment along the corridor.

In 2019 following the development of the CMP, the US Forest Service- Lake Tahoe Basin Management Unit (LTBMU) prepared the SR-28 Shared Use Path, Parking, Safety and Environmental Improvements Project Environmental Assessment/TRPA Initial Environmental Checklist (EA/IEC). The EA/IEC identified projects throughout the corridor based on the recommendations made in the CMP. Expanding existing parking lots and creating new parking lots to replace shoulder parking is one of the actions proposed in both the CMP and the EA/IEC. The Chimney Beach Parking Lot is one of the existing parking lots identified for improvements and replacement parking.

The Chimney Beach Trailhead parking lot currently has 21 parking spaces and 3 portable restrooms. The proposed project will reconfigure the parking lot to provide 109 new parking spaces for a total of 130 parking spaces at the trailhead. The project will also include support amenities including restrooms, trash receptacles, interpretative and wayfinding signage, infrastructure to support a future parking management system, transit access, and an at-grade crossing at SR-28. The expanded parking lot cannot be opened until the no parking zone along SR-28 is expanded from Sand Harbor to Chimney Beach.

Full implementation of all the project elements depends on coordination among partner agencies. TRPA, LTBMU, Nevada Department of Transportation, Nevada Division of State Parks, Tahoe Transportation District, Nevada Highway Patrol, and Washoe County must collaborate to deter and enforce illegal roadside parking.

Issues and Concerns:

The project requires TRPA Governing Board approval because it exceeds 2,000 square feet of new coverage in Land Capability District 2. The TRPA Code of Ordinances allows recreation projects to increase coverage as long as the project can make the required findings. This project is identified in the SR28 CMP and is a high priority Environmental Improvement Program project. All new coverage will be mitigated through a restoration project as required in the TRPA Code and pursuant to the language in the TRPA/LTBMU Memorandum of Understanding (MOU).

Environmental Review:

The LTBMU prepared the SR-28 Shared Use Path, Parking, Safety and Environmental Improvements Project Environmental Assessment/TRPA Initial Environmental Checklist (EA/IEC) in 2019 (Lake Tahoe Basin Mgt Unit - Home (usda.gov)). The EA/IEC analyzed a suite of actions that were identified in the CMP including adding replacement parking at the Chimney Beach trailhead to offset parking currently existing along the highway shoulders. The LTBMU Forest Supervisor signed the decision notice on November 11, 2020, with a Finding of No Significant Impact (FONSI).

TRPA staff reviewed the submitted EA/IEC and completed the V(g) findings as well. A Finding of No Significant Effect (FONSE) is appropriate for the project and is included as part of the draft permit (Attachment B).

Public Comment:

The LTBMU participated in a public review process when developing the above referenced EA/IEC. Comments were solicited during the public scoping process in November 2017 and during the public draft EA/IEC public comment period in July 2019. 39 comments were received on the proposed action and adjustments were made to the proposed action based on those public comments. Overall, there was support for the project and acknowledgement that highway shoulder parking is unsafe. There were no appeals to the decision. All comments and responses to comments are available as part of the EA/IEC project record.

Regional Plan Compliance:

The project complies with all requirements of the TRPA Goals and Policies, Plan Area Statements, and Code of Ordinances, including all required findings. The TRPA Goals and Policies, Recreation element states that recreation opportunities should keep pace with public demand, recreation facilities remain high on the development priority list, and the quality of the recreation experience is maintained.

Contact Information:

For questions regarding this agenda item, please contact Shannon Friedman, Senior Planner, at (775) 589-5205 or sfriedman@trpa.gov.

Attachments:

- A. Required Findings
- B. Draft Permit
- C. Project Plans
- D. EA/IEC Lake Tahoe Basin Mgt Unit Home (usda.gov)

Attachment A

Required Findings

Attachment A Required Findings/Rationale

<u>Required Findings</u>: The following is a list of the required findings as set forth in Chapters 4 and 30. Following each finding, Agency staff has indicated if there is sufficient evidence contained in the record to make the applicable findings or has briefly summarized the evidence on which the finding can be made.

1. <u>Chapter 4.4.1 – Required Findings:</u>

A. <u>The Project is consistent with and will not adversely affect implementation of the Regional</u> <u>Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code</u> <u>and other TRPA plans and Programs.</u>

The Chimney Beach Trailhead Parking Lot Upgrade Project (Project) is located in the Washoe County Tahoe Area Plan, East Shore Regulatory Zone. This is a recreation regulatory zone. Developed recreation should be limited to existing sites and the zone should be managed for dispersed recreation. The parking lot provides safe, sustainable access to the dispersed recreation opportunities along the SR-28 corridor. The parking lot is an accessory use to recreation and is therefore an allowed use in the area plan. The project, as conditioned in the draft permit, is consistent with the Regional Plan and the Lake Tahoe Environmental Improvement Program (EIP). The project is a priority EIP project that improves sustainable recreation and transportation in the Tahoe Basi as identified on the 5-year EIP list (EIP # 03.02.01.0017))

B. <u>The project will not cause the environmental threshold carrying capacities to be exceeded.</u>

The United States Forest Service Lake Tahoe Basin Management Unit (LTBMU) prepared the SR-28 Shared Use Path, Parking, Safety and Environmental Improvements Project Environmental Assessment/TRPA IEC (EA/IEC) in December 2019. The EA/IEC analyzed the effects of a suite of projects that would achieve the goals of the SR-28 Corridor Management Plan (CMP), including expanding the Chimney Beach parking lot to provide replacement parking currently occurring along the SR-28 highway shoulders. The EA/IEC incorporated project design features and performance measures so there is no impact to the proposed project. The LTBMU Forest Supervisor signed the Decision Notice and made a Finding of No Significant Impact on November 11, 2020. In addition to the EA/IEC TRPA staff completed the (V)G checklists. Basin on the EA/IEC and V(g) checklist TRPA made a Finding of No Significant Effect (FONSE), which is included in the draft permit. The EA/IEC, and V(g) checklist are part of the project record and available upon request.

C. <u>Wherever federal, state, or local air and water quality standards apply for the region, the</u> <u>strictest standards shall be attained, maintained, or exceeded pursuant to Article V(g) of the</u> <u>Tahoe Regional Planning Compact</u>.

All potential effects are temporary and mitigated through permanent and temporary construction site Best Management Practices. LTBMU will meet or exceed all federal, state, or water quality standards. The V(g) checklist was completed by TRPA staff.

- 2. <u>Chapter 30.5.1.B Exceptions to Prohibition in Land Capability Districts 1a, 1c, 2, and 3, Public</u> <u>Outdoor Recreation Facilities.</u>
 - 1. <u>The project is a necessary part of a public agency's long-range plans for public outdoor</u> <u>recreation.</u>

The project was identified as a priority project in the SR-28 Corridor Management Plan to improve the safety and environment of the Corridor while providing sustainable access to recreation opportunities throughout the area. It is also a Priority EIP project that achieves threshold attainment in recreation, water quality, and air quality.

2. <u>The project is consistent with the Recreation Element of the Regional Plan</u>

The Recreation Element of the Regional Plan provides for the development, utilization, and management of the recreation resources of the Region. The project is consistent with the Recreation Element of the Regional Plan.

Goal R-1 encourages opportunities for dispersed recreation consistent with environmental values and protection of natural resources. The project improves public access to dispersed recreation along SR-28 corridor including the shorezone, trails, and the backcountry. The replacement parking improves access by providing a safe place for people to park their vehicle and access recreation sites while protecting the environment.

Policy R-4.9 states that parking along scenic corridors shall be restricted to protect roadway views and roadside vegetation. The project will relocate the existing parking along the scenic SR-28 Corridor to the Chimney Beach parking lot. This will preserve the scenic rating of the corridor while predicting natural resources along the roadway shoulder.

The project is consistent with implements policies and goals in the Recreation Element of the Regional Plan.

3. <u>The project by its very nature must be sited in Land Capability Districts 1a, 1c, 2, or 3, such as a ski run or a hiking trail.</u>

The Chimney Beach Trailhead Parking Lot is an existing parking lot that provides access to recreation along the SR-28 Corridor. The existing parking lot is located on Land Capability District 2. The project expands this parking lot to provide replacement parking. There are not higher land capability lands within the vicinity that would be able to achieve the same goals and objectives.

4. <u>There is no feasible alternative that avoids or reduces the extent of encroachment in Land</u> <u>Capability Districts 1a, 1c, 2, or 3.</u>

The parking lot design has reduced the impact to natural resources to the extent feasible while providing the appropriate parking that was analyzed in the EA/IEC. There is no alternative that would reduce the extent of encroachment within Land Capability District 2 and still meet the goals of the SR-28 CMP and EIP project.

- 5. <u>The impacts of coverage and disturbance are fully mitigated through means including, but</u> <u>not limited to, the following:</u>
 - a. Application of best management practices

The project includes best management practices (BMPs) to infiltrate and treat stormwater runoff generated from the impervious surfaces. The BMPs include drainage improvements and an infiltration basin.

 <u>Restoration in accordance with subsection 3.5.3, of land in Land Capability Districts</u> 1a, 1c, 2, 3, and 1b (Stream Environment Zone) in the amount of 1.5 times the area of land in such districts covered or disturbed for the project beyond that permitted by the coefficients in Table 30.4.1-1</u>

The project will mitigate the coverage per the conditions in the TRPA/LTBMU Memorandum of Understanding (MOU). Per section VI. Of the MOU when mitigation is required on a project because of additional land coverage, that mitigation will be accomplished through the Forest Service watershed restoration program rather than through the payment of mitigation fees. The mitigation shall be 150% of the project impacts. See TRPA permit special condition #5. Attachment B

Draft Permit



Mail PO Box 5310 Stateline, NV 89449-5310 Location 128 Market Street Stateline, NV 89449 Contact

Phone: 775-588-4547 Fax: 775-588-4527 www.trpa.org



August 23, 2023

Michael Alexander USFS Forest Service Lake Tahoe Basin Management Unit 35 College Drive South Lake Tahoe, CA 96150

CHIMNEY BEACH TRAILHEAD PARKING LOT UPGRADE PROJECT, UNITED STATES FOREST SERVICE LAKE TAHOE BASIN MANAGEMENT UNIT LANDS, WASHOE COUNTY, TRPA FILE NUMBER EIPC2023-0006, ENVIRONMENTAL IMPROVEMENT PROGRAM # 03.02.01.0017

Dear Mr. Alexander:

Enclosed please find a Tahoe Regional Planning Agency (TRPA) permit and attachments for the project referenced above. **TRPA will acknowledge the permit only after all standard and special conditions of approval have been satisfied.**

Please schedule an appointment with me to finalize your project. Please feel free to contact me at (775) 589-5205 or at <u>sfriedman@trpa.gov</u> if you have any questions regarding this letter or your permit in general.

Sincerely,

Sharren friedman)

Shannon Friedman Principal Planner Environmental Improvement Division

Enclosures

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DRAFT PERMIT

PROJECT DESCRIPTION: Chimney Beach Trailhead Parking Lot Upgrade Project

ASSESSOR PARCEL NUMBER(S): 130-360-18

TRPA FILE #: EIPC2023-0006

PERMITTEE(S): USDA Forest Service Lake Tahoe Basin Management Unit

COUNTY/LOCATION: Washoe County, Nevada

Having made the findings required by Agency ordinances and rules, TRPA approved the project on August 23, 2023, subject to the standard conditions of approval attached hereto (Attachment Q) and the special conditions found in this permit. This permit shall expire on August 23, 2026, without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action which delayed or rendered impossible the diligent pursuit of the permit.

NO DEMOLITION, TREE REMOVAL, CONSTRUCTION OR GRADING SHALL COMMENCE UNTIL:

- (1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
- (2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
- (3) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

Sharnow Audman)

8-23-2023

TRPA Executive Director/Designee

Date

PERMITTEE'S ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I understand that it is my sole responsibility to obtain all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit. imagine. plan. achieve.

EIP # 03.02.01.0017 FILE NO. EIPC2023-0006

Required plans determined to be in conformance with approval:

Phase One: Date: ______ Phase Two: Date:

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date:

Phase One:

Date
_

SPECIAL CONDITIONS

- 1. This permit authorizes the construction of the Chimney Beach Trailhead Parking Upgrade Project. The project will construct 130 replacement parking spaces. The new parking spaces replace parking that currently exists along the SR-28 highway shoulder. The project will be approved and built in two phases. The first phase will be the construction of the parking lot. Phase One will be constructed in 2023. Phase Two will include all of the support facilities including restrooms, trash receptacles, interpretative signage, underground infrastructure for future parking management system6., transit access, and an at-grade crossing at SR-28 to provide safe access to Chimney Beach. All parking lot improvements are on LTBMU lands in Washoe County, Nevada. The transit pullout and pedestrian crossing will be on Nevada Department of Transportation right of way and installed by others.
- 2. The standard conditions listed in Attachment Q shall apply to this permit.
- 3. Prior to the first pregrade inspection submit a construction schedule.
- 4. A Pregrade inspection is required prior to any grading activities.

- 5. The project creates 24,923 square feet of new land coverage on Land Capability District 2. LTBMU shall mitigate the new coverage by the means described in section VI. of the TRPA/LTBMU MOU. LTBMU shall implement a watershed restoration project equal to 150% of new coverage created by this project. The restoration project shall be identified prior to the pre-grade inspection. LTBMU shall submit a schedule identifying when the restoration work will be complete.
- 6. LTBMU shall work with the SR-28 Corridor Management Team to enter into and amend the SR-28 Operations and Maintenance Interlocal Agreement. The agreement shall be amended to cover the roles and responsibilities as it relates to the operations and maintenance of the Chimney Beach Parking Lot, parking management along SR-28, enforcement of no parking zones, and trail management. The agreement shall be amended and signed prior to the new parking lot being open to the public.
- 7. The no parking zone on SR-28 shall be extended around Chimney Beach Parking lot prior to the new parking lot being open to the public. The area of no parking shall be consistent with the area identified in the project EA. LTBMU shall coordinate with partners who are responsible for enforcing no parking along the corridor.
- 8. Submit the Maintenance Responsibilities Chart and Plan to identify responsibilities for capital improvements and annual infrastructure operations and maintenance and identity funding needs and resources. <u>Maintenance-Responsibilities-Chart-and-Plan.pdf</u> (trpa.gov)
- 9. Temporary BMPs shall be installed prior to any grading activities per the approved plans. The BMPs shall limit the construction disturbance zone, protect vegetation, control dust, and provide sediment and erosion control during construction.
- 10. All permanent BMPs shall be maintained throughout the life of the project to ensure they function as designed to treat stormwater runoff from the parking lot.
- 11. All materials not to be re-used on site shall be hauled outside of the Tahoe Basin or to a location approved by TRPA.
- 12. All trees not marked for removal on the approved plans shall be protected.
- 13. The rock used for the rock retaining wall shall be approved by TRPA prior to construction.
- 14. This approval is based on the permittee's representation that all plans and information contained in the subject application are true and correct. Should any information or

representation submitted in connection with the project application be incorrect or untrue, TRPA may rescind this approval, or take other appropriate action.

- 15. Any modifications to the TRPA approved plans shall be submitted to TRPA for review and approval.
- 16. The permitee shall contact TRPA for a final inspection at the conclusion of the project to verify that all conditions of the permit have been met and the project was implemented per the TRPA approved Plans.
- 17. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board, its Planning Commission, its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over this settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT



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FINDING OF NO SIGNIFICANT EFFECT

PROJECT DESCRIPTION: Chimney Beach Trailhead Parking Lot Upgrade Project

ASSESSOR PARCEL NUMBER(S): 130-360-18

TRPA FILE #: EIPC2023-0006

<u>PERMITTEE(S)</u>: USDA Forest Service Lake Tahoe Basin Management Unit <u>COUNTY/LOCATION</u>: Washoe County, Nevada

<u>Staff Analysis</u>: In accordance with Article IV of the Tahoe Regional Planning Compact, as amended, and Section 6.3 of the TRPA Rules and Regulations of Practice and Procedure, the TRPA staff has reviewed the information submitted with the subject project. On the basis of this initial environmental evaluation, Agency staff has found that the subject project will not have a significant effect on the environment.

<u>Determination</u>: Based on the above-stated finding, the subject project is conditionally exempt from the requirement to prepare an Environmental Impact Statement. The conditions of this exemption are the conditions of permit approval.

August 23, 2023

TRPA Chairman or Executive Director

Date

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Attachment C

Project Plans

			INDEX OF SHEETS
		SHEET	SHEET TITLE
United States Department of	Agriculture	G-01	COVER SHEET
Forest Service		G-02	GENERAL NOTES
(R05) PACIFIC SOUTHWEST REGION LAKE TAHOE BASIN MANAGEMENT UNIT		C-01	SITE OVERVIEW AND FEATURES
		C-02	UPPER LOOP PLAN
		C-03	LOWER LOOP PLAN
		C-04	DECOMMISSIONING
WASHOE COUNTY, NEVA	DA	C-05	UPPER LOOP PROFILE 0+00 - 5+00
TOWNSHIP 15 NORTH, RANGE 18 EAST, SECTION 14			UPPER LOOP PROFILE 5+00 - 10+15
CHIMNEY BEACH TRA		C-07	LOWER LOOP PROFILE
PARKING LOT UPGRADE		C-08	STORM DRAIN PLAN AND PROFILE
PARKING LOT OF GRADE		D-01	ROAD AND BASIN DETAILS
		D-02	SIDEWALK AND ROCKERY DETAILS
		D-03	EROSION CONTROL DETAILS
	A manual and the manual	D-04	SIGN DETAILS
		D-05	DRAINAGE INLET DETAILS
		D-06	DRAINAGE INLET DETAILS
The second secon		D-07	FLARED END SECTION DETAILS
		D-08	REINFORCED CONCRETE PIPE DETAILS
		D-09	REINFORCED CONCRETE PIPE DETAILS
And	A since Drive C	D-10	GATE DETAILS
	Gardand Rando	D-11	UTILITY POLE/SLOPE STABILIZATION
			DATE PRINTED 3/6/2023
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	TRAVEL DIRECTIONS: FROM THE 35 COLLEGE DR. LAKE TAHOE BASIN MANAGEMENT UNIT		FOREST ENGINEER DATE ROSALIE Digitally signed by POSALIE DEPERA
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	RIGHT ONTO CHIMNEY BEACH TRAIL HEAD ROAD.		FOREST SUPERVISOR DATE
PROJECT LOCATION	39.16775° N 119.92699° W		G1 SHEET 001 OF 021

GENERAL NOTES

- NO EARTH MOVING ACTIVITIES SHALL BE COMPLETED PRIOR TO MAY 1, OR AFTER OCTOBER 15. NO GRADING WILL BE ALLOWED IF SOILS ARE SATURATED OR IF HEAVY PRECIPITATION IS OCCURRING.
- 2. PUBLIC SAFETY, TRAFFIC CONTROL, AND DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR IN ACCORDANCE WITH STATE AND COUNTY REQUIREMENTS. CONTRACTOR MUST ALLOW FOR PEDESTRIAN ACCESS TO NATIONAL FOREST LAND AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN DETAILING PEDESTRIAN TRAFFIC ACCESS.
- 3. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE C.O.R. OF ANY DISCREPANCIES ENCOUNTERED IN THE FIELD OR ERRORS IDENTIFIED IN THE CONTRACT.
- 4. THE CONTRACTOR SHALL KEEP DETAILED RECORDS AND AS-BUILTS SHOWING ALL MODIFICATIONS MADE TO THESE PLANS. THESE RECORDS AND AS-BUILTS SHALL BE PROVIDED TO THE C.O.R. UPON PROJECT COMPLETION FOR USE IN PREPARING RECORD DRAWINGS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING. STAKING SHALL ADHERE TO SECTION 152 OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF ROADS AND BRIDGES ON FEDERAL HIGHWAY PROJECTS (FP-14). AN AUTOCAD FILE CONTAINING ALL INFORMATION REQUIRED FOR CONSTRUCTION STAKING WILL BE PROVIDED.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS. ANY MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 7. STAGING AREAS FOR EQUIPMENT STORAGE OR MATERIAL STOCKPILES WILL BE ALLOWED ONLY WITHIN THE LIMITS OF DISTURBANCE AND IN AREAS SHOWN ON THE PLANS AND APPROVED BY THE C.O.R.
- 8. ALL VEGETATION OUTSIDE OF THE AREA TO BE CLEARED FOR NECESSARY CONSTRUCTION SHALL BE PROTECTED.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR RESTROOMS.
- 10. ALL IMPORTED MATERIAL MUST BE CERTIFIED WEED FREE AND COME FROM A LOCATION APPROVED BY THE C.O.R.
- 11. ALL EQUIPMENT WILL ARRIVE ON SITE WASHED AND FREE OF ALL VISIBLE SOIL, DEBRIS, OR ORGANIC MATTER. ALL EQUIPMENT WILL BE INSPECTED AND APPROVED BY THE C.O.R. PRIOR TO UNLOADING ON THE PROJECT SITE.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING LOCATION OF UTILITIES. UTILITY LOCATIONS SHOWN ON DRAWINGS ARE APPROXIMATE.
- 13. TREES WITHIN 10 FEET OF THE PROPOSED EDGE OF PAVEMENT NOT PLANNED TO BE REMOVED WILL REQUIRE TREE PROTECTION ACCORDING TO THE DETAILS. ADDITIONAL TREES MAY BE PROTECTED AT THE DISCRETION OF THE CONTRACTOR. THE COST OF TREE PROTECTION IS INCIDENTAL TO OTHER ITEMS. TREES WOUNDED BY CONTRACTOR ACTIVITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

CONSTRUCTION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING ASPHALT, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH SMOOTH TRANSITIONS AND FOR AVOIDING ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES IN CONFORMANCE WITH THESE DESIGN DRAWINGS. BACKFILL OR EXCAVATION REQUIRED FOR SUCH TRANSITIONS SHALL BE INCLUDED IN THE CONTRACTOR'S EXPENSES.
- 2. GRADING ACTIVITIES SHALL BE SCHEDULED TO ENSURE THAT REPEATED GRADING WILL NOT BE REQUIRED, AND IMPLEMENTATION OF THE DESIRED LAND USE (E.G. CONSTRUCTION, PAVING) WILL OCCUR AS SOON AS POSSIBLE AFTER GRADING.
- 3. SOIL PROPERTIES AND BEDROCK ARE VISIBLE ALONG THE CUT SLOPE OF HIGHWAY 28 DIRECTLY WEST OF THE PROPOSED PARKING LOT. DEPTH TO BEDROCK RANGES BETWEEN 19" TO 38" THROUGHOUT THE SITE.
- 4. ASPHALT CONCRETE (AC) SHALL BE SAWCUT WHEN MATCHING NEW AND EXISTING ASPHALT OR WHEN REMOVING EXISTING ASPHALT PATHS OR ROADWAYS.
- 5. ALL EXCAVATED MATERIAL SHALL BE STOCKPILED AT AN APPROVED SITE AND MATERIAL MEETING THE SPECIFICATIONS MAY BE USED AS BACKFILL. IT IS ANTICIPATED THAT ALL EXCAVATED MATERIAL FREE OF DEBRIS AND ORGANICS WILL BE USED ON THE PROJECT SITE. ALL EXCAVATED MATERIAL NOT USED AS SUBGRADE, OR NOT SUITABLE AS BACKFILL WILL BE PLACED ON-SITE IN LOCATIONS APPROVED BY THE C.O.R. AT THE CONTRACTOR'S EXPENSE. NO MATERIAL WILL BE HAULED OFF SITE.
- 6. A PRE-PAVEMENT INSPECTION SHALL BE CONDUCTED BY THE C.O.R. A MINIMUM OF 2 DAYS PRIOR TO PLACING PAVEMENT. GRADES AND ELEVATIONS WILL BE CHECKED FOR COMPLIANCE WITH THE PLANS. IT IS THE CONTRACTORS RESPONSIBILITY TO ASSURE ELEVATIONS AND GRADES MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
- 7. ALL PAVEMENT MARKINGS SHALL CONFORM TO FP-14 SECTION 634 AND THE MUTCD.

DEMOLITION NOTES

- THE PAY ITEM FOR TREE REMOVAL INCLUDES REMOVAL OF TREES WITH A D.B.H. GREATER THAN 6", REMOVAL OF OTHER TREES AND VEGETATION LESS THAN 6" WILL BE INCLUDED IN THE PAY ITEM FOR CLEARING AND GRUBBING. ALL STUMPS AND ROOTS WITHIN THE LIMITS OF THE ROAD AND PARKING LOT PRISM SHALL BE REMOVED UNLESS THERE IS A UTILITY CONFLICT. BOTH PAY ITEMS INCLUDE REMOVING ALL SLASH (STUMPS, LIMBS, TOPS, ETC.) AND DISPOSING LEGALLY OFF-SITE, UNLESS IT IS CHIPPED AND USED AS MULCH ON-SITE.
- 2. ALL TREES TO BE REMOVED WILL BE MARKED BY THE GOVERNMENT AND THE CONTRACTOR WILL OBTAIN A FOREST SERVICE PERMIT TO PURCHASE THE TREES PRIOR TO REMOVAL FROM THE SITE BY THE CONTRACTOR.
- 3. IN AREAS OF DECOMPACTION, REMOVE ANY EXISTING OBSTRUCTIONS, DE-COMPACT TO A MINIMUM DEPTH OF 6"-12". RE-CONTOUR TO MATCH EXISTING GRADE. COVER WITH 2" WOOD MULCH.
- 4. ALL TREE ROOTS ENCOUNTERED WITHIN NEW PAVEMENT FOOTPRINT WILL BE REMOVED. ROOTS OF LIVE TREES GREATER THAN 3" IN DIAMETER SHALL BE CUT CLEANLY USING APPROPRIATE STERILIZED ROOT PRUNING EQUIPMENT. CUT ROOTS OF LIVE TREES SHALL NOT BE LEFT EXPOSED AND SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE.
- INSTALL CONSTRUCTION FENCING ALONG ALL CONSTRUCTION BOUNDARIES THAT INTERFACE WITH PUBLIC TRAFFIC. COST FOR FENCING IS INCIDENTAL TO OTHER PAY ITEMS.



United States Department of Agriculture Forest Service

R05 PACIFIC SOUTHWEST REGION

PROJECT NAME

CHIMNEY BEACH TRAIL HEAD PARKING LOT UPGRADES PROJECT

LAKE TAHOE BASIN MANAGEMENT UNIT

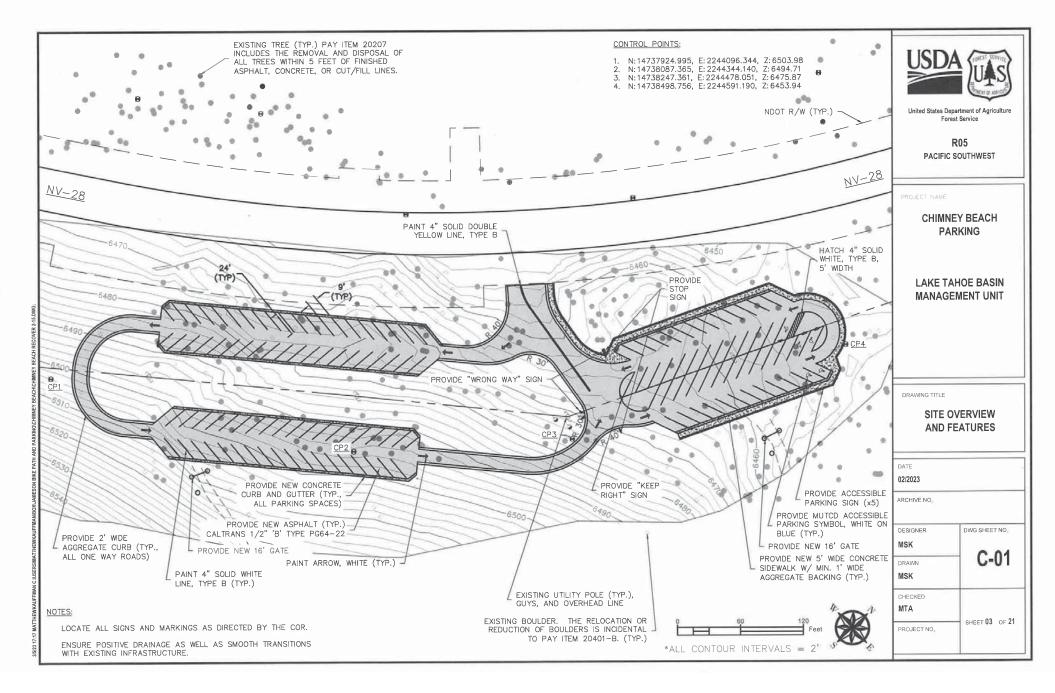
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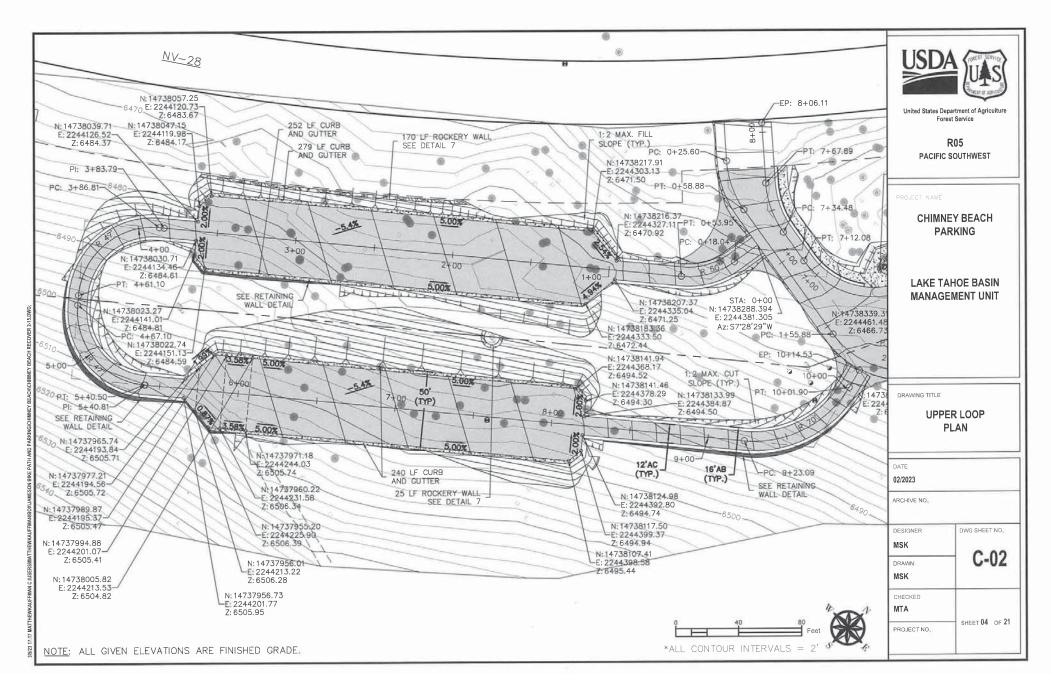
GENERAL NOTES

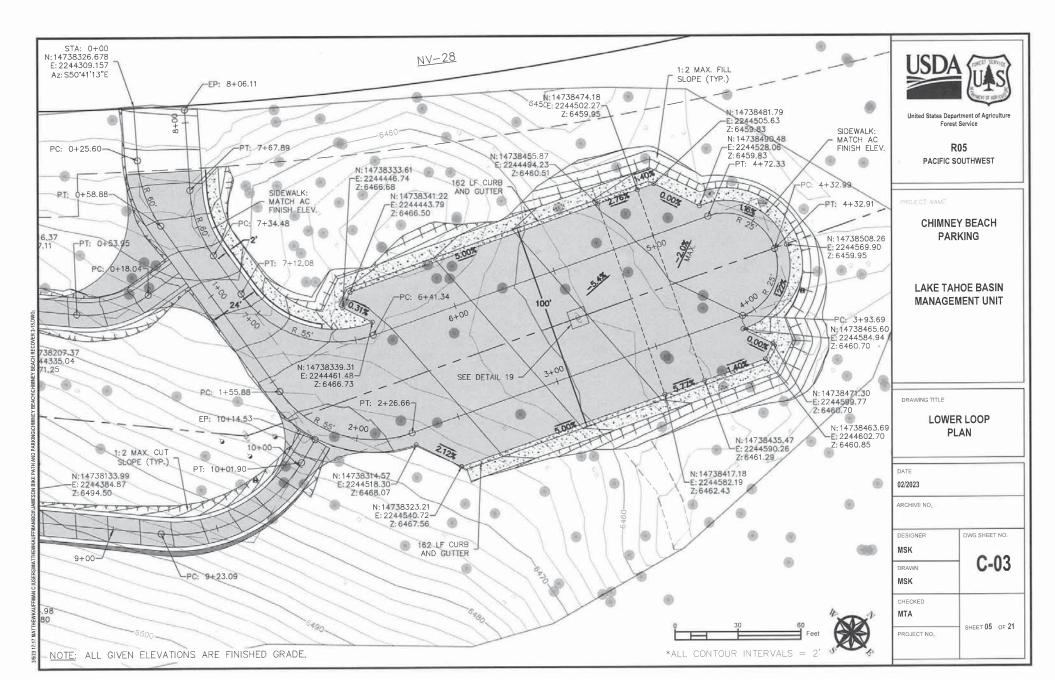
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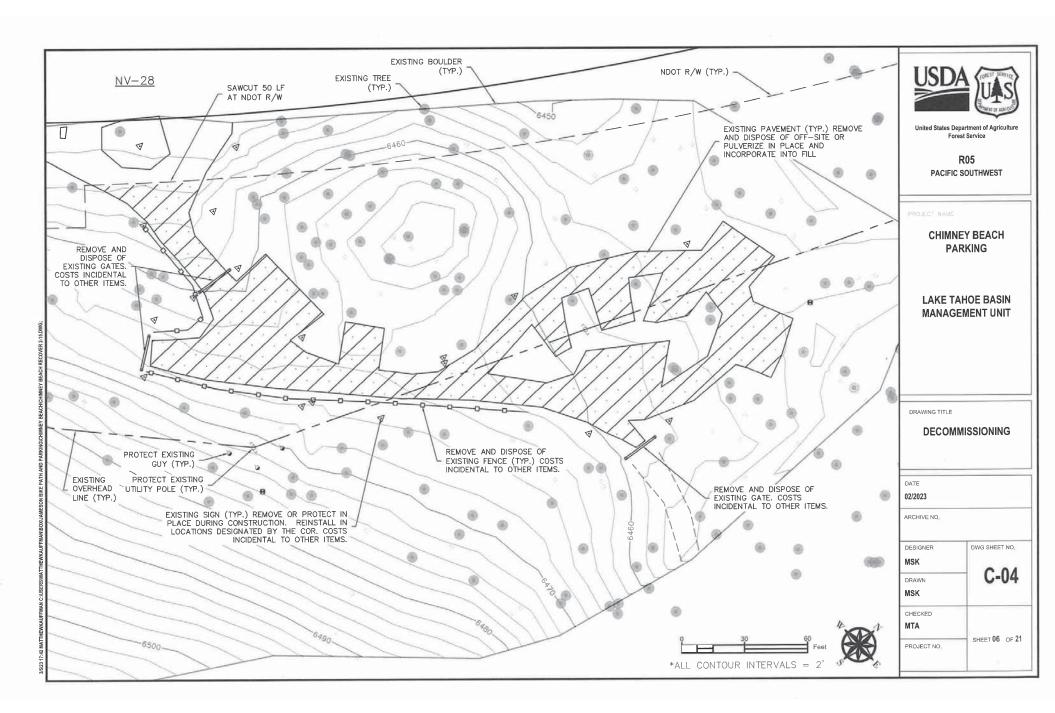
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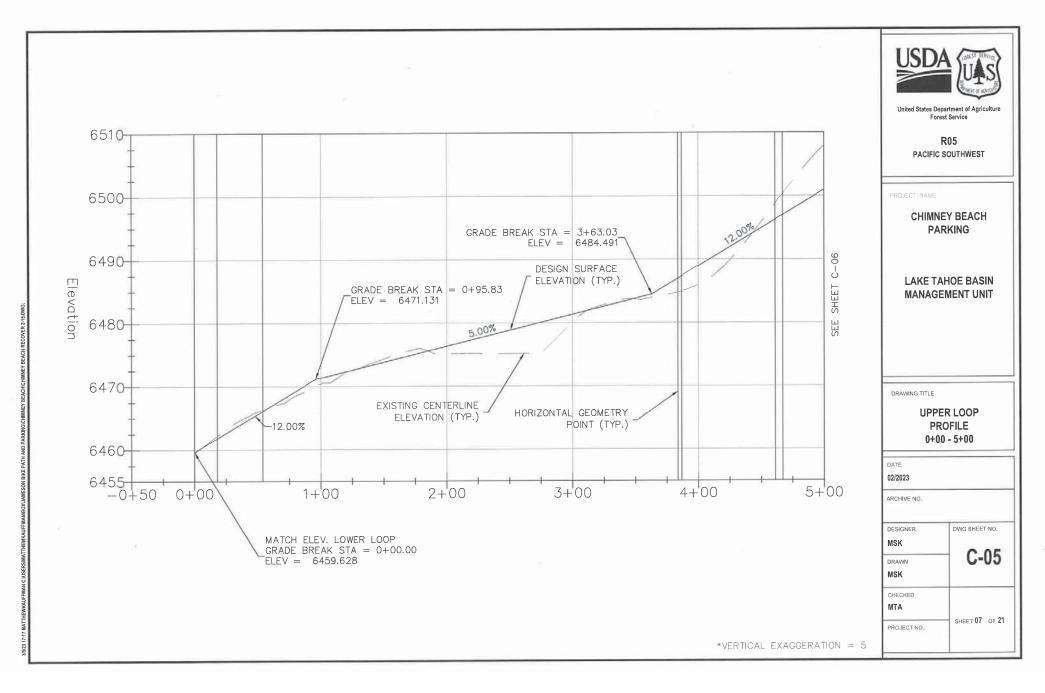
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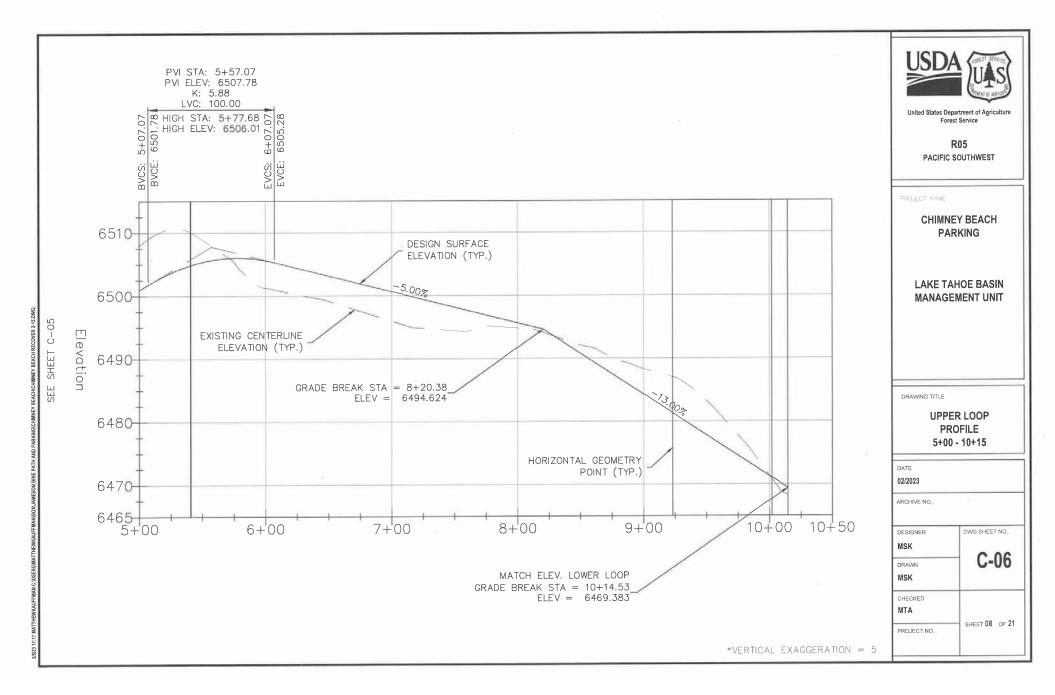


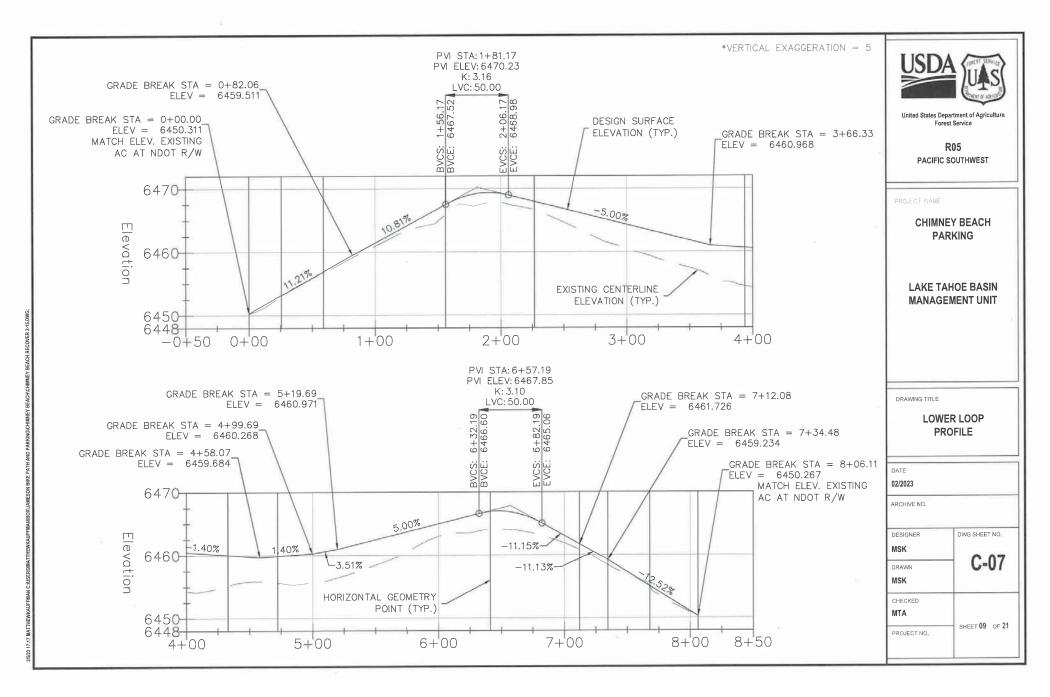


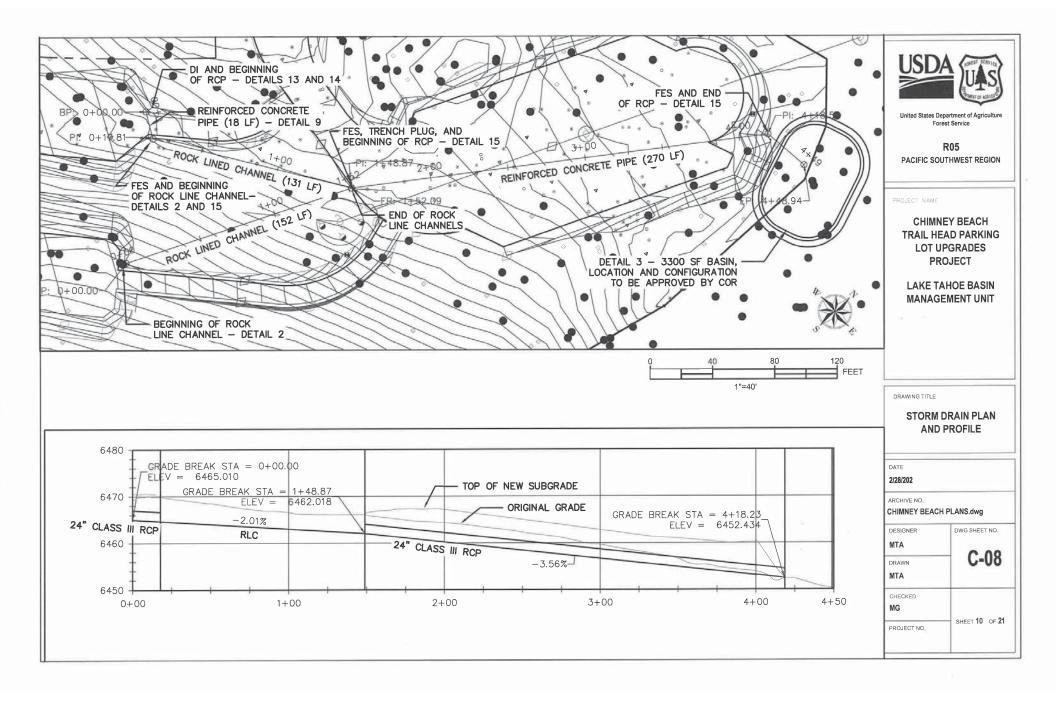


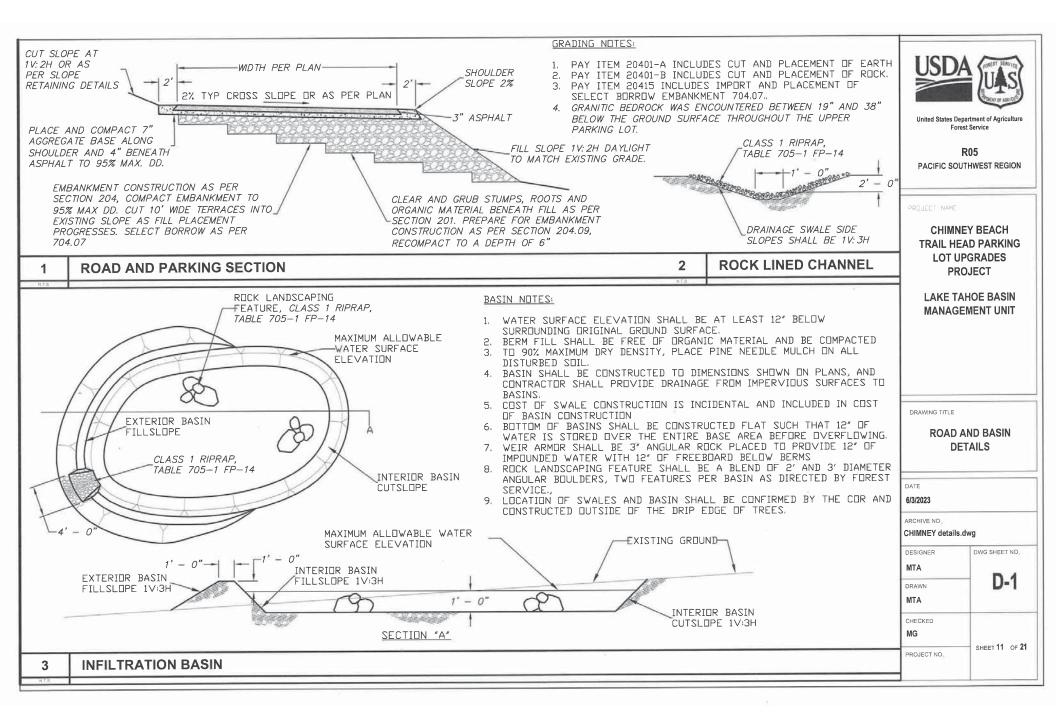


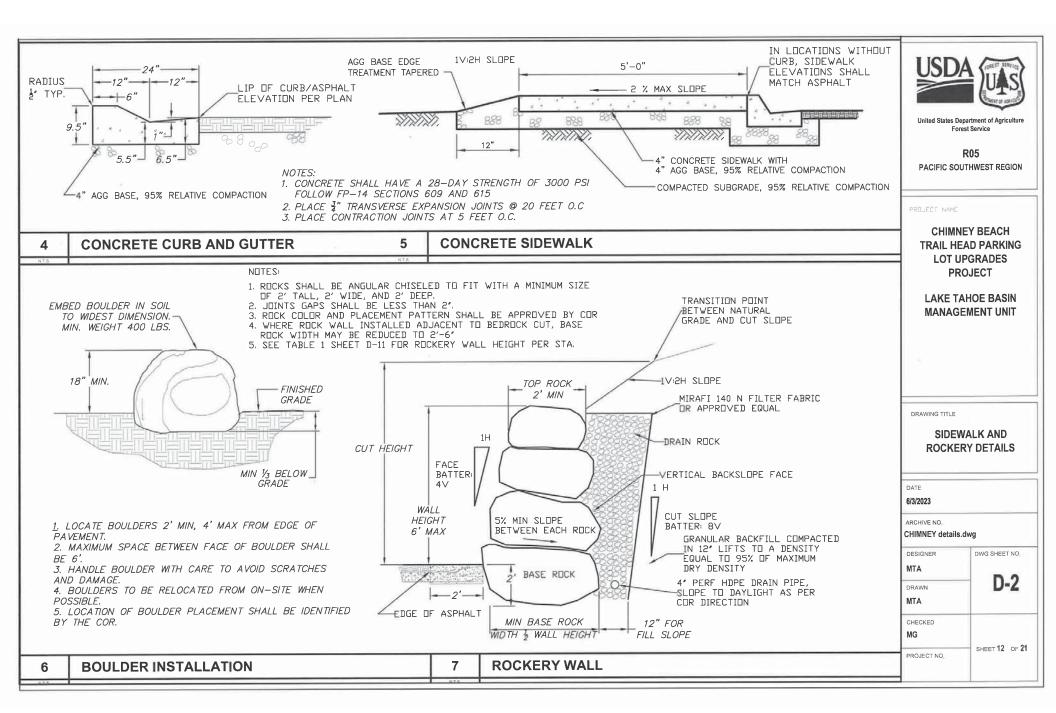


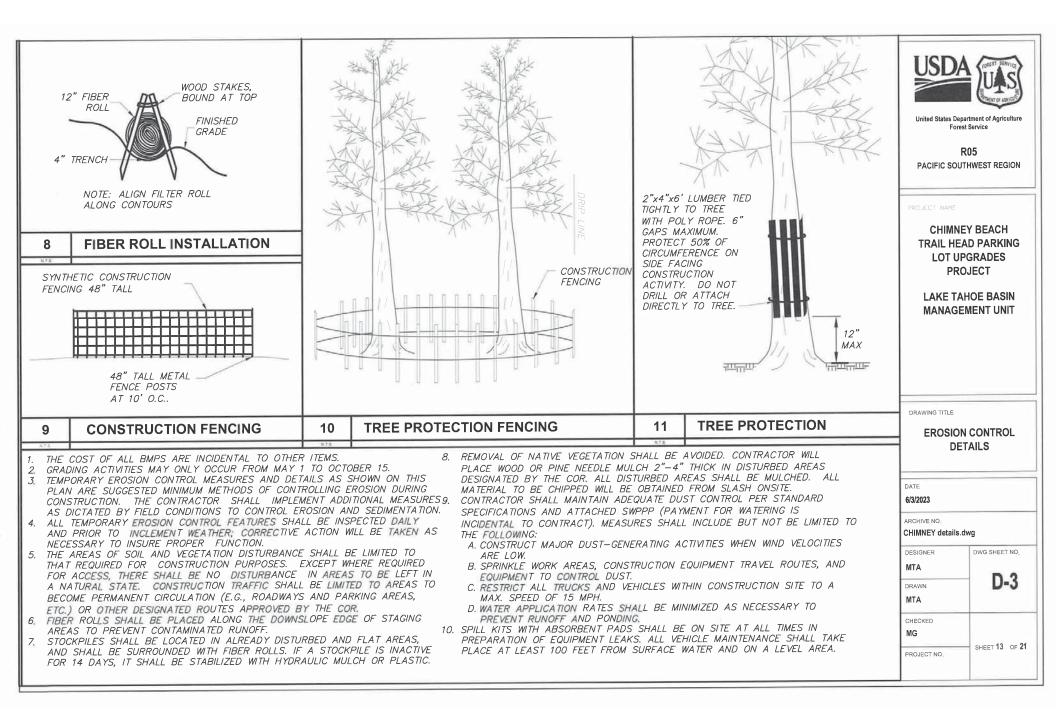


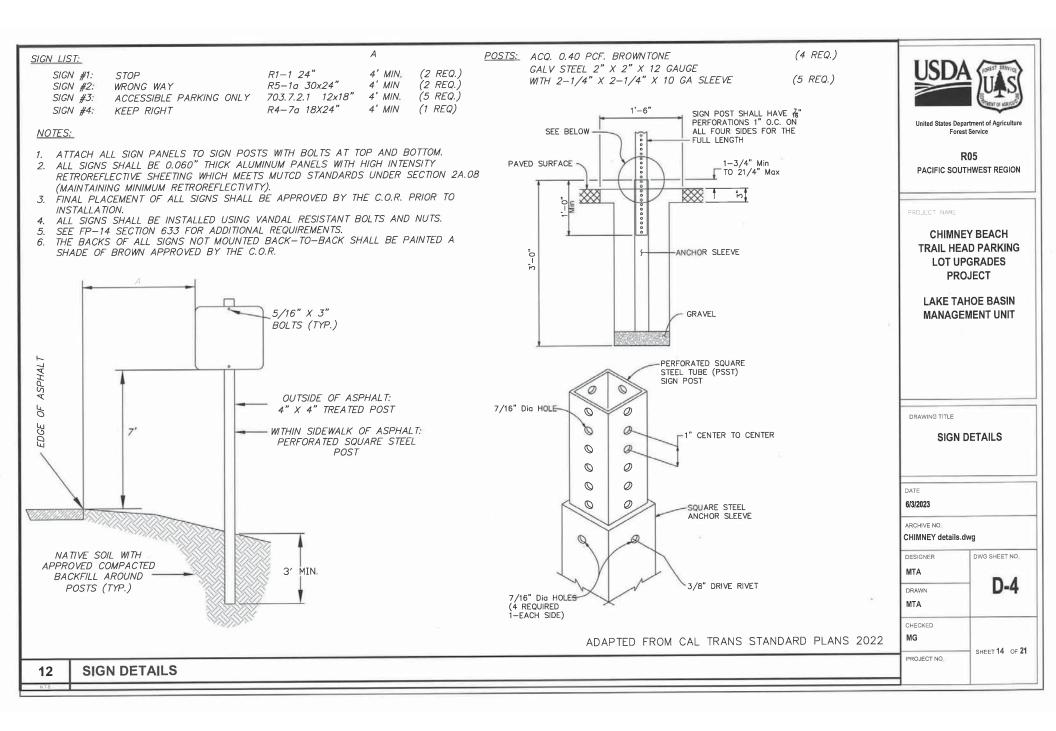


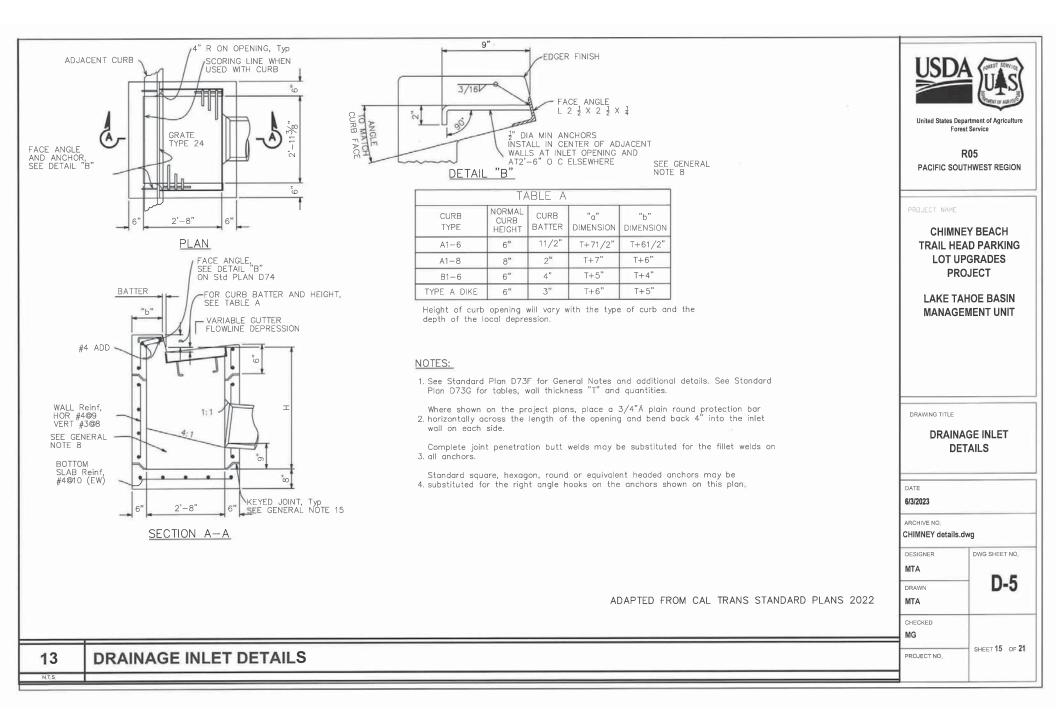


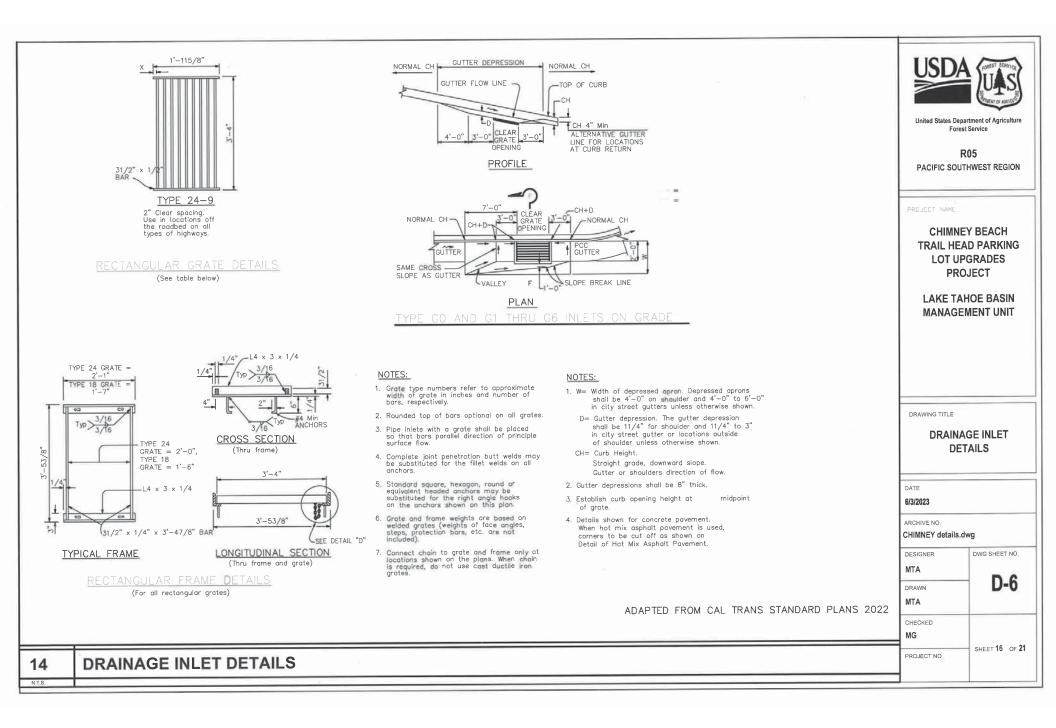


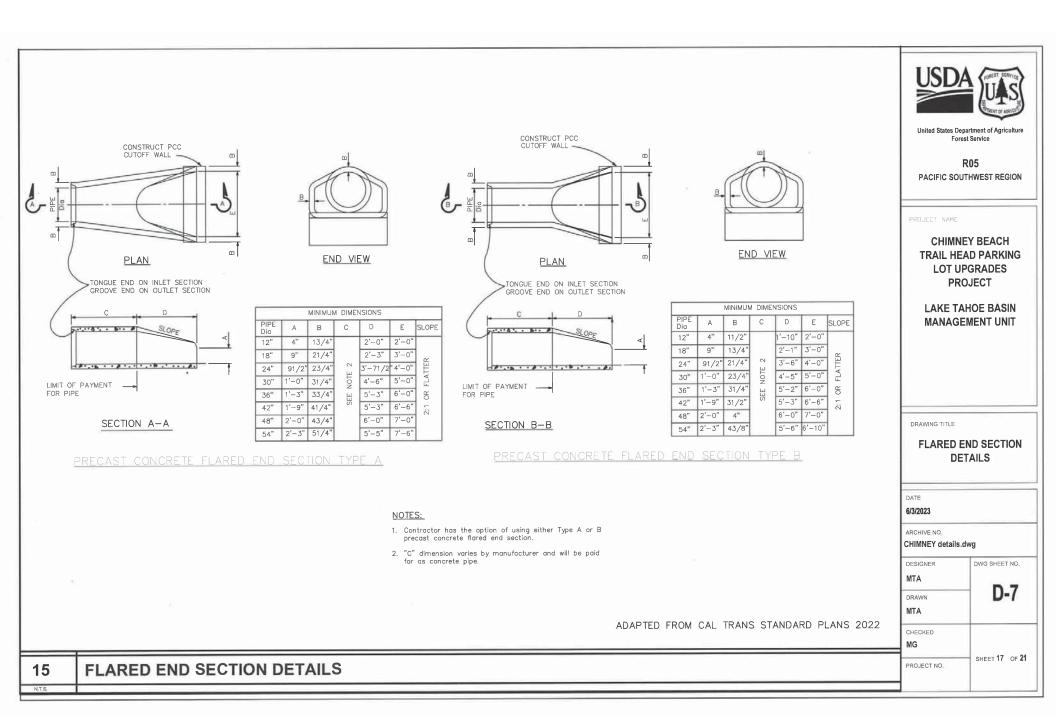


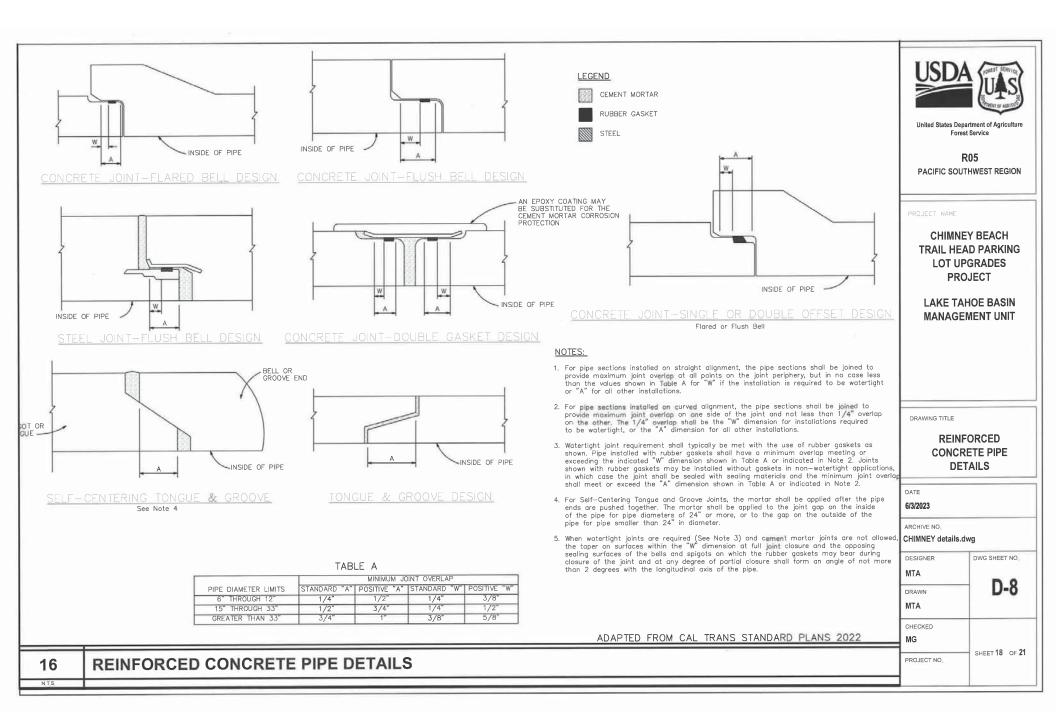


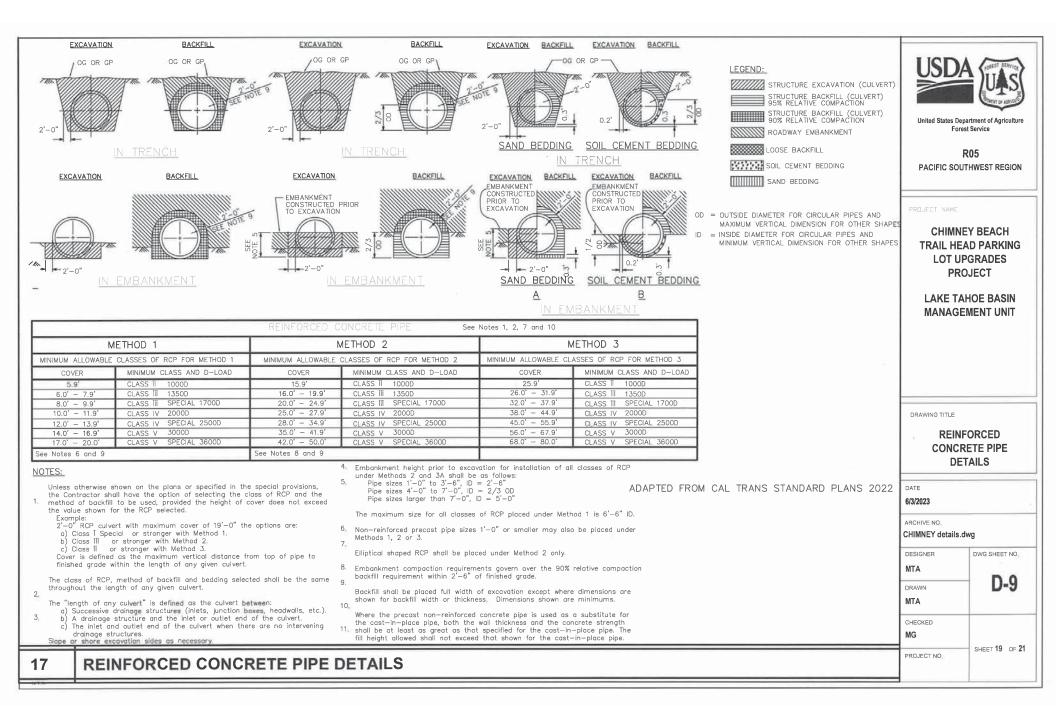


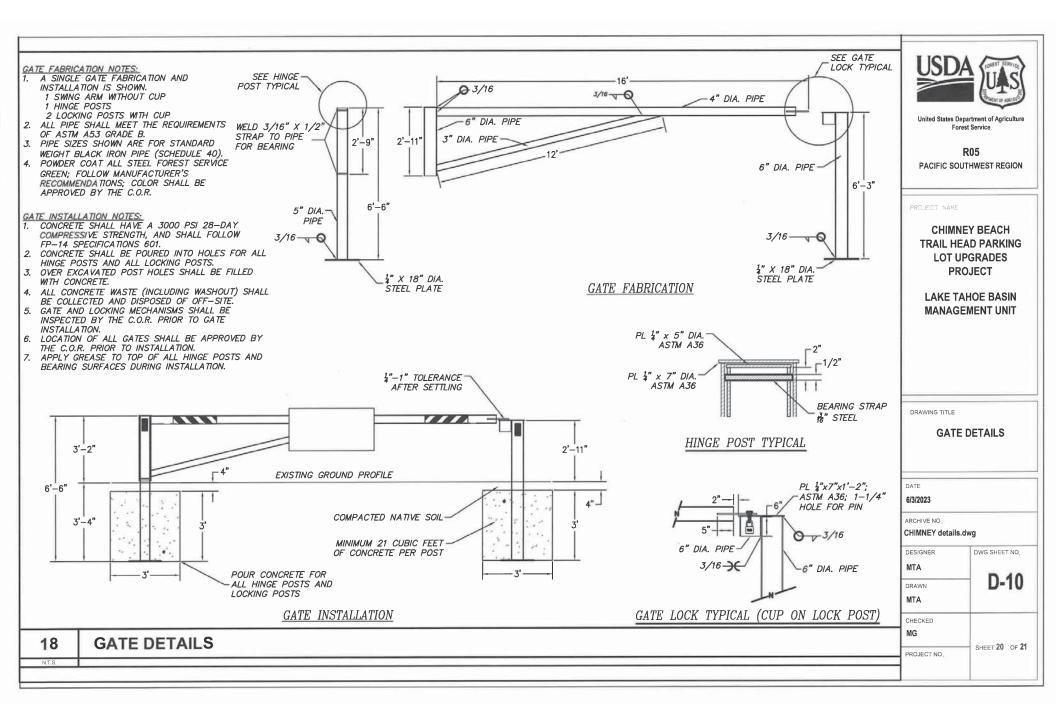


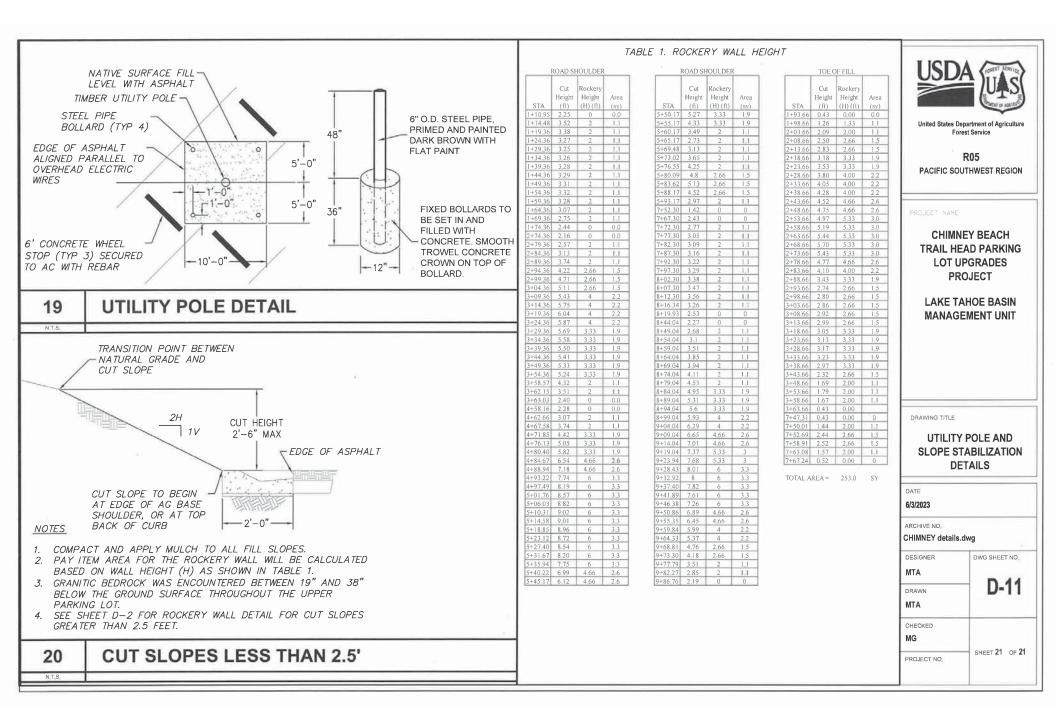












Attachment D

EA/IEC Lake Tahoe Basin Mgt Unit - Home (usda.gov)