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STAFF REPORT

Date: April 18, 2024

To: TRPA Hearings Officer

From: TRPA Staff

Subject: Geden/Teel Single-Family Dwelling Tear Down/Rebuild Project; 315 Tuscarora Road, Washoe County, NV; Assessor's Parcel Number: 123-155-08, TRPA File No: ERSP2023-1617

Proposed Action:

Hearings Officer action on the proposed project and related findings based upon this staff summary and the attached draft permit.

Staff Recommendation:

Staff recommends the Hearings Officer make the required findings and approve the project subject to the conditions in the draft permit.

Project Description/Background:

Bradley Geden and Michelle Teel (the applicants) are proposing to tear down an existing single-family dwelling and build a new single-family dwelling at 315 Tuscarora Road, Washoe County, Nevada. The project is located within the Washoe County Tahoe Area Plan, Crystal Bay Regulatory Zone, which indicates that the project site may be subject to avalanches. For this reason, single-family dwellings are identified as a special use and the project is subject to Tahoe Regional Planning Agency (TRPA) Hearings Officer review and approval (refer to TRPA Code, Chapters 2).

Avalanche:

The property was originally located in Plan Area Statement 034 – Crystal Bay, which called for the further study of avalanche danger to resolve the avalanche problem and to ensure that new and existing development is consistent with the findings of the study. In 1993, an Avalanche Hazard Study was prepared for the area. The Study is available at:

<https://parcels.laketahoeinfo.org/AccelaCAPRecord/Detail/ERSP2023-1617>. TRPA special use findings for areas identified as being located in an avalanche area have been made and as a condition of approval the applicant will be required to record a deed restriction holding TRPA harmless in the event of an avalanche. (Refer to Attachments A and B)

Project Review:

TRPA staff reviewed the proposed project and found it meets all applicable standards in the TRPA Code, subject to the special conditions in the draft permit (Attachment B), and is consistent with Regional Plan Goals and Policies.

Environmental Review:

TRPA staff completed the “Project Review Conformance Checklist and Article V(g) Findings” in accordance with Chapters 4 of the TRPA Code of Ordinances. All responses contained on said checklist indicate compliance with the environmental threshold carrying capacities. A copy of the completed checklist is provided as Attachment D.

Public Comment:

Property owners within 300 feet of the subject site were provided notice of the Hearings Officer meeting.

Regional Plan Compliance:

Goal NH-1: Risks from natural hazards (e.g., flood, fire, avalanche, earthquake, seiche) will be minimized. Land uses within the Tahoe Region should be planned with recognition of natural hazards so as to help prevent damage to property and to protect public health. Natural hazard areas or situations can be identified and precautionary measures taken to minimize impacts.

Project Application:

The file materials associated with this project are available at:
<https://parcels.laketahoeinfo.org/AccelaCAPRecord/Detail/ERSP2023-1617>.

Required Actions:

Staff recommends the Hearings Officer take the following actions, based on this staff summary and evidence in the record:

1. Approve the findings (Attachment A) contained in this staff summary, and a finding of no significant environmental effect.
2. Approve the project, based on the staff summary, and record evidence, subject to the conditions contained in the attached Draft Permit (Attachment B).

Contact Information:

For questions regarding this agenda item, please contact Brandy McMahon, AICP, Local Government Coordinator, at (775) 589-5274 or bmcMahon@trpa.gov. To submit a written public comment, email publiccomment@trpa.gov with the appropriate agenda item in the subject line. Written comments received by 4 p.m. the day before a scheduled public meeting will be distributed and posted to the TRPA website before the meeting begins. TRPA does not guarantee written comments received after 4 p.m. the day before a meeting will be distributed and posted in time for the meeting.

Attachments:

- A. Required Findings
- B. Draft Permit
- C. Draft Plans
- D. Project Review Conformance Checklist and Article V(g) Findings

Attachment A
Required Findings

Attachment A
Required Findings

Required Findings: The following is a list of the required findings as set forth in Chapters 4, 21, 30, and 37 of the TRPA Code of Ordinances. Following each finding, agency staff has briefly summarized the evidence on which the finding can be made.

1. Chapter 4 – Threshold Findings:

- a. The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

All evidence in the file and public record demonstrates that the proposed project will not adversely impact the Regional Plan, is consistent with the Crystal Bay Regulatory Zone, complies with the TRPA Code of Ordinances, and will not adversely impact other TRPA plans and programs.

- b. The project will not cause the environmental threshold carrying capacities to be exceeded.

The basis for this finding is provided in the Project Review Conformance Checklist and Article V(g) Findings, in accordance with Chapter 4 of the TRPA Code of Ordinances. All responses contained on said checklist indicate compliance with the environmental threshold carrying capacities.

- c. Wherever federal, state or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TPRA Compact, the project meets or exceeds such standards.

All potential effects shall be mitigated through temporary and permanent Best Management Practices. The applicant will meet or exceed all federal, state, or local water quality standards. Upon completion of construction, the project will have no impact upon air or water quality standards.

2. Chapter 21 - Special Uses:

- a. The project to which the use pertains is of such a nature, scale, density, intensity, and type to be an appropriate use for the parcel on which and surrounding area in which it will be located.

The applicant is proposing to replace an existing single-family home with a new single-family home that complies with TRPA rules and regulations and is of such a nature, scale, density, intensity, and type that it is compatible with surrounding single-family residences.

- b. The project to which the use pertains will not be injurious or disturbing to the health, safety, enjoyment of property, or general welfare of persons or property in the neighborhood, or general welfare of the region, and the applicant has taken reasonable

steps to protect against any such injury and to protect the land, water, and air resources of both the applicant's property and that of surrounding property owners.

TRPA has found that the proposed single-family dwelling will not be injurious or disturbing to the health, safety, enjoyment of property, or general welfare of persons or property in the neighborhood, or general welfare of the region, and the applicant has taken reasonable steps to protect against any such injury and to protect the land, water, and air resources of both the applicant's property and that of surrounding property owners by designing the project to comply with TRPA and Washoe County rules and regulations. The project is located within an avalanche area and the applicant will be required to record a deed restriction holding TRPA harmless in the event of an avalanche.

- c. The project to which the use pertains will not change the character of the neighborhood, or detrimentally affect or alter the purpose of the applicable local plan, and specific or master plan, as the case may be.

The proposed single-family dwelling will not change the character of the Crystal Bay neighborhood, or detrimentally affect or alter the purpose of the Crystal Bay Regulatory Zone of the Washoe County Tahoe Area Plan.

3. Chapter 30 – Relocation of TRPA-Verified Existing Land Coverage

- (a) The relocation is to an equal or superior portion of the parcel or project area, as determined by references to the following factors:

1. Whether the area of relocation already has been disturbed
2. The slope of and natural vegetation on the area of relocation
3. The fragility of the soil on the area of relocation
4. Whether the area of relocation appropriately fits the scheme of use of the property
5. The relocation does not further encroach into a stream environment zone, backshore, or the setbacks established in the Code for the protection of stream environment zones or backshore
6. The project otherwise complies with the land coverage mitigation program set forth in section 30.6.

The site is verified as being entirely within LCD Class 1a. There is no stream environment zone (SEZ) on the site. The relocation will take place entirely within LCD Class 1a. The proposed home is located in the location of the existing home.

- (a) The area from which the land coverage was removed for relocation is restored in accordance with Subsection 30.5.3.

The areas where coverage is removed will be restored and revegetated as required by the TRPA Code.

- (c) The relocation is not to Land Capability Districts 1a, 1b, 1c, 2, or 3 from any higher numbered land capability district.

The entire parcel is within LCD Class 1a. All land coverage will be relocated within LCD Class 1a.

4. Chapter 37 – Additional Height Findings

When viewed from major arterials, scenic turnouts, public recreation areas, or the waters of Lake Tahoe, from a distance of 300 feet, the additional height will not cause a building to extend above the forest canopy, when present, or a ridgeline. For height greater than that set forth in Table 37.4.1-1 for a 5:12 roof pitch, the additional height shall not increase the visual magnitude beyond that permitted for structures in the shoreland as set forth in subsection 66.3.7, Additional Visual Magnitude, or Appendix H, Visual Assessment Tool, of the Design Review Guidelines.

The cross slope of the building site is 24 % and the dominant roof pitch is 3:12, which means the maximum height per TRPA Code, Table 37.4.4-1 is 33'-7". The proposed height is 33'-6". The proposed height will not cause the structure to extend above the forest canopy or ridgeline when viewed from a distance of 300 feet from any designated scenic viewpoint.

Attachment B
Draft Permit

Attachment B
Draft Conditional Permit

PROJECT DESCRIPTION: Geden/Teel Single-Family Dwelling Tear Down/Rebuild Project

PERMITTEE(S): Bradley Geden and Michelle Teel

APN: 123-155-08

COUNTY/LOCATION: Washoe County/315 Tuscarora Road

FILE#: ERSP2023-1617

Having made the findings required by Agency ordinances and rules, the TRPA Hearings Officer approved the project on _____, 2024, subject to the standard conditions of approval attached hereto (Attachment R) and the special conditions found in this permit.

This permit shall expire on _____, 2027, without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Commencement of construction consists of pouring concrete for a foundation and does not include grading, installation of utilities or landscaping. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action which delayed or rendered impossible the diligent pursuit of the permit.

NO TREE REMOVAL, CONSTRUCTION OR GRADING SHALL COMMENCE UNTIL:

- (1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
- (2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
- (3) THE PERMITTEE OBTAINS A COUNTY BUILDING PERMIT. TRPA'S ACKNOWLEDGEMENT IS NECESSARY TO OBTAIN A COUNTY BUILDING PERMIT. THE COUNTY PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
- (4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

TRPA Executive Director/Designee

Date

PERMITTEE'S ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of Permittee(s) _____

Date _____

(PERMIT CONTINUED ON NEXT PAGE)

APN: 123-155-08

FILE NO. ERSP2023-1617

Project Security Posted (1): Amount \$3,300 Paid _____ Receipt No. _____

Excess Coverage Mitigation Fee (2): Amount \$8,100 Paid _____ Receipt No. _____

Project Security Administrative Fee (3): Amount \$ _____ Paid _____ Receipt No. _____

Notes:

- (1) See Special Condition 3.A below.
- (2) See Special Condition 3.B below.
- (3) Refer to the TRPA Fee Schedule for the security administration fee.

Required plans determined to be in conformance with approval: Date: _____

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date and is eligible for a county building permit:

TRPA Executive Director/Designee

Date

SPECIAL CONDITIONS

1. This permit authorizes a single-family dwelling tear down/rebuild project at 315 Tuscarora Road, Washoe County, Nevada. The project will result in 1,906 square feet of Land Capability District (LCD) Class 1a land coverage and 933 square feet of banked LCD Class 1a land coverage. Temporary and permanent Best Management Practices (BMPs) will be installed with this project.
2. The Standard Conditions of Approval listed in Attachment R shall apply to this permit.
3. Prior to permit acknowledgement, the following conditions of approval must be satisfied.
 - A. The security required under Standard Condition A.3 of Attachment R shall be \$3,300. Please see Attachment J, Security Procedures, for appropriate methods of posting the security and the TRPA Fee Schedule for the required security administration fee.
 - B. The affected property has 2,678 square feet of excess land coverage. The permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within Hydrologic Transfer Area 9 – Agate Bay or in a different hydrologically related area provided the restoration occurs on more sensitive land than the project area or by submitting an excess coverage mitigation fee.

To calculate the amount of excess coverage to be removed, use the following formula:

Estimated project construction cost multiplied by the fee percentage of 1% (as identified in Table 30.6.1, Chapter 30 of the TRPA Code of Ordinances) divided by the mitigation factor of 8. If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

Coverage reduction square footage (as determined by formula above) multiplied by the coverage mitigation cost fee of \$18.00 for projects within Hydrologic Transfer Area 9 - Agate Bay. Please provide a construction cost estimate for the structural elements of the structure by your licensed contractor, architect or engineer. The structural elements include, without limitation: pier pilings, bracing and supports, bearing walls, rafters, foundations, and base materials under asphalt or concrete.

- C. The project is located within the Crystal Bay Regulatory Zone, which indicates that the project site may be subject to avalanches. For this reason, the permittee shall record a TRPA approved deed restriction to hold TRPA harmless from any and all liabilities.
- 1) The permittee shall provide TRPA with the latest recorded grant deed for the subject parcel. Upon submittal of the grant deed, TRPA will provide the deed restriction to be recorded against the parcel.
 - 2) The permittee shall record the provided deed restriction with the Washoe County Recorder's Office.
 - 3) A copy of the recorded deed restriction or the original recorded deed shall be provided to TRPA.
- D. The following note shall be added to the plans:
- All exterior lighting shall be consistent with TRPA Code of Ordinances Section 36.8 Exterior Lighting Standards. Specifically, all exterior lighting shall be fully shielded and directed downward so as not to produce obtrusive glare onto the public right-of-way or adjoining properties. Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures projected above the horizontal is prohibited.
- E. The permittee shall provide an exterior lighting detail. Lights shall be shielded on the top and all sides.
- F. New gas and wood heaters (fireplaces) must meet the requirements of the TRPA Code of Ordinances (Code Section 65.1.4). The floor plans must include the make and model to ensure new heaters meet TRPA requirements.
- G. The plans shall include a note indicating the bear box will be elevated on a monopole at least 6" in height.

- H. The plans shall indicate that the driveway has a slope of 2.6% on the plans.
 - I. The coverage table on the plans shall be revised to indicate there is 933 square feet of “banked” coverage, not remaining coverage.
 - J. The plans shall be revised to indicate that 450 square feet (not 480 square feet) of excess land coverage has been mitigated with this project. *Note: \$8,100/\$18.00 per square foot in Hydrologic Area 9 – Agate Bay (NV) = 450 square feet.*
 - K. The permittee shall e-mail one final set of plans to TRPA for electronic stamping.
- 4. Maximum excavation depths shall not exceed 20 feet, in accordance with the approved Soils/Hydrologic report (TRPA file LCAP2023-0286). If groundwater is encountered during excavation, immediately stop work and contact TRPA.
 - 5. Prior to project security release, photos shall be provided to TRPA demonstrating that all areas disturbed from the project have been restored.
 - 6. Temporary and permanent BMPs may be field fit by the Environmental Compliance Inspector where appropriate.
 - 7. TRPA reserves the right to amend any portion of this permit or construction operation while in progress if it is determined that the project construction is causing significant adverse effects.
 - 8. To the maximum extent allowable by law, the permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board, its Planning Commission, its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

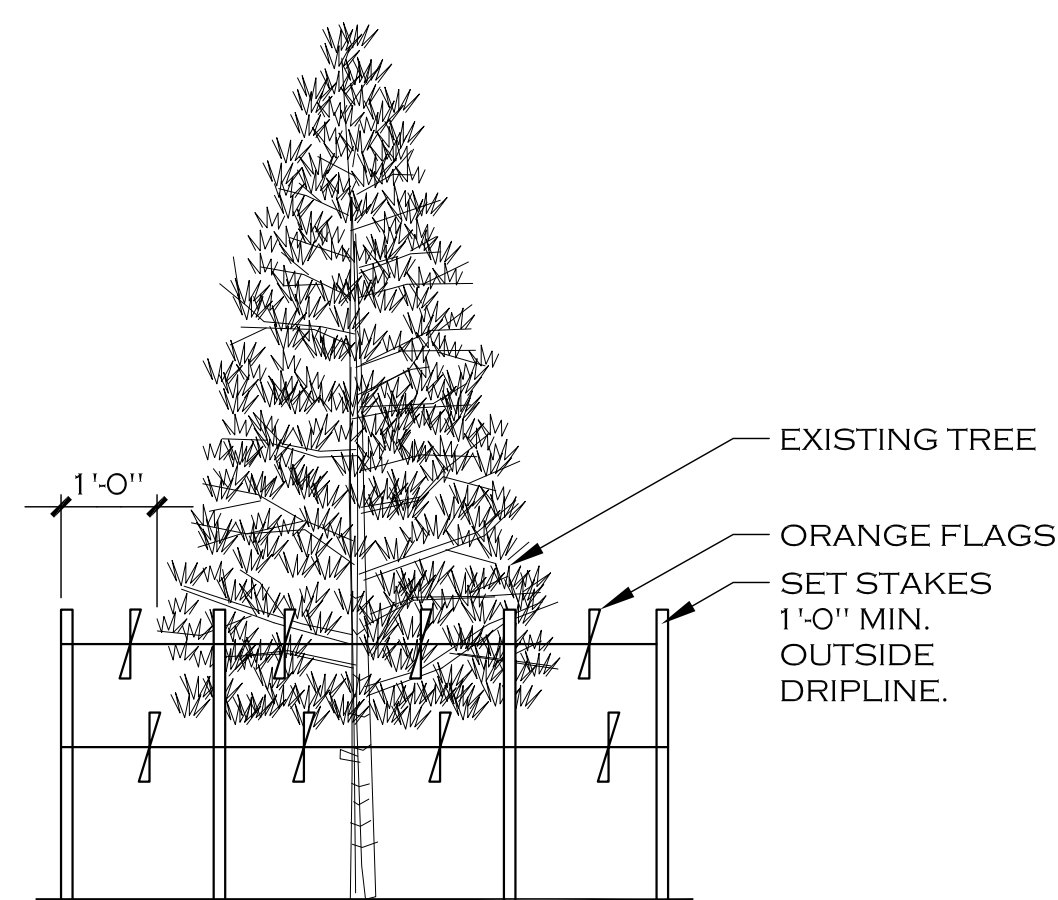
Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

9. This approval is based on the permittee's representation that all plans and information contained in the subject application are true and correct. Should any information or representation submitted in connection with the project application be incorrect or untrue, TRPA may rescind this approval, or take other appropriate action.

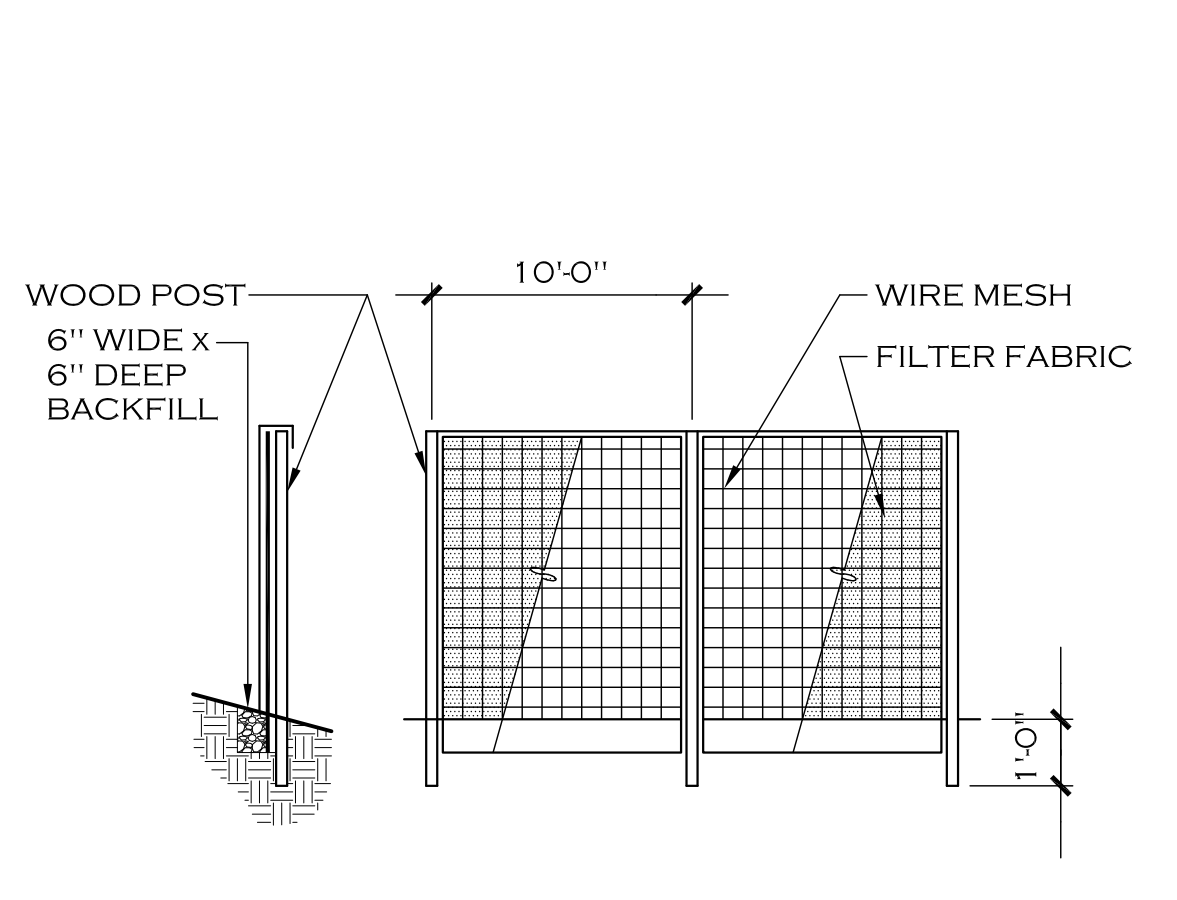
END OF PERMIT

DRAFT

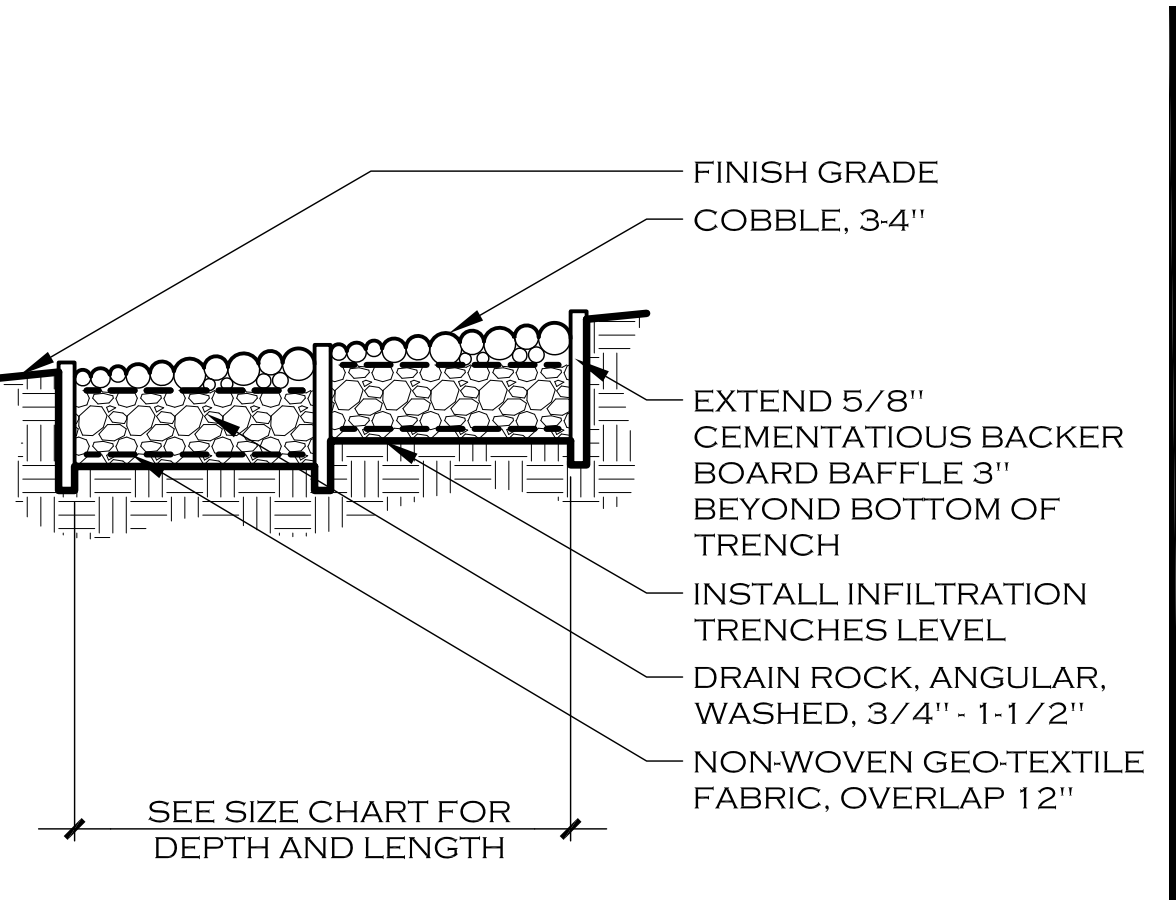
Attachment C
Draft Plans



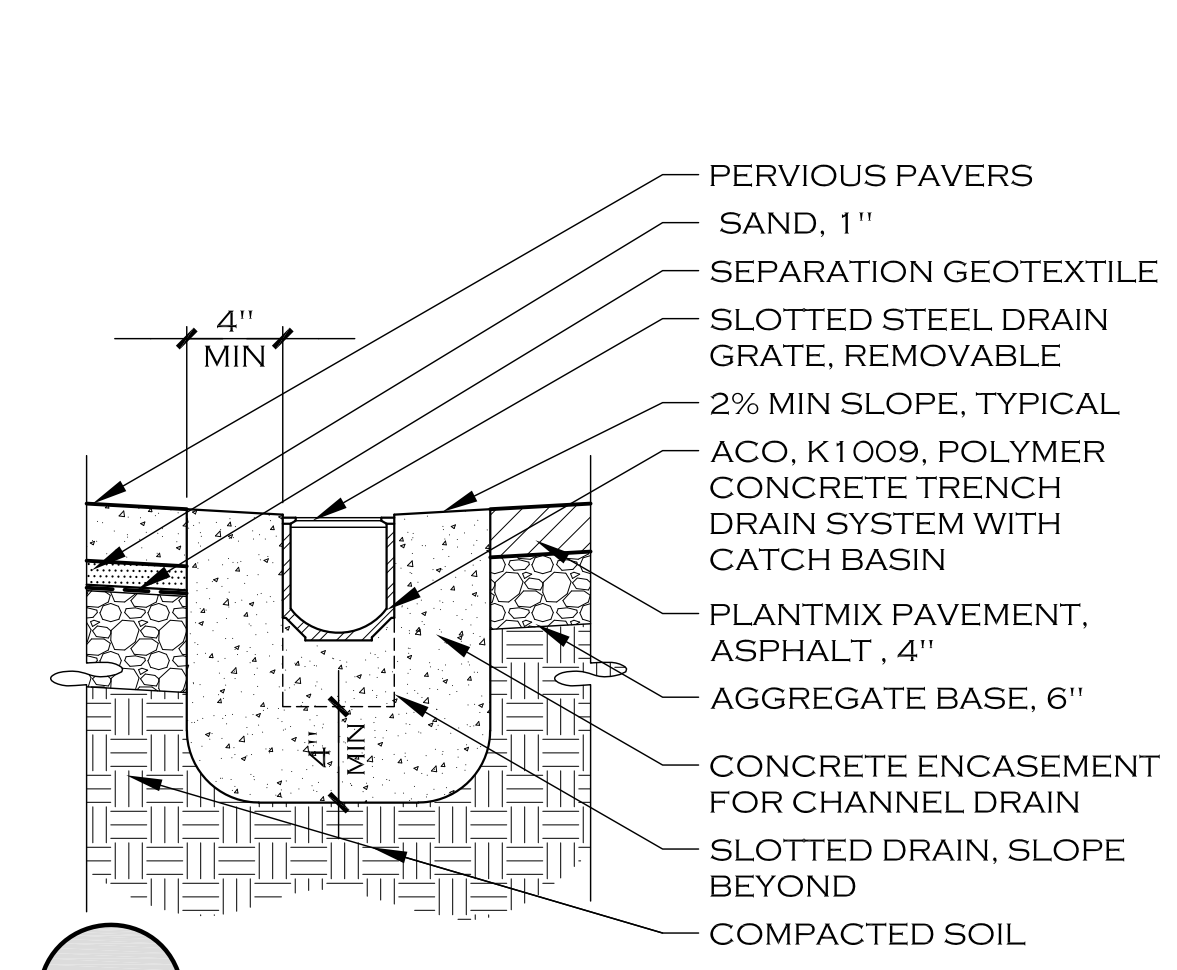
1 VEGETATION PROTECTION FENCE
SCALE: 1/2" = 1'-0"
311000-002.DWG



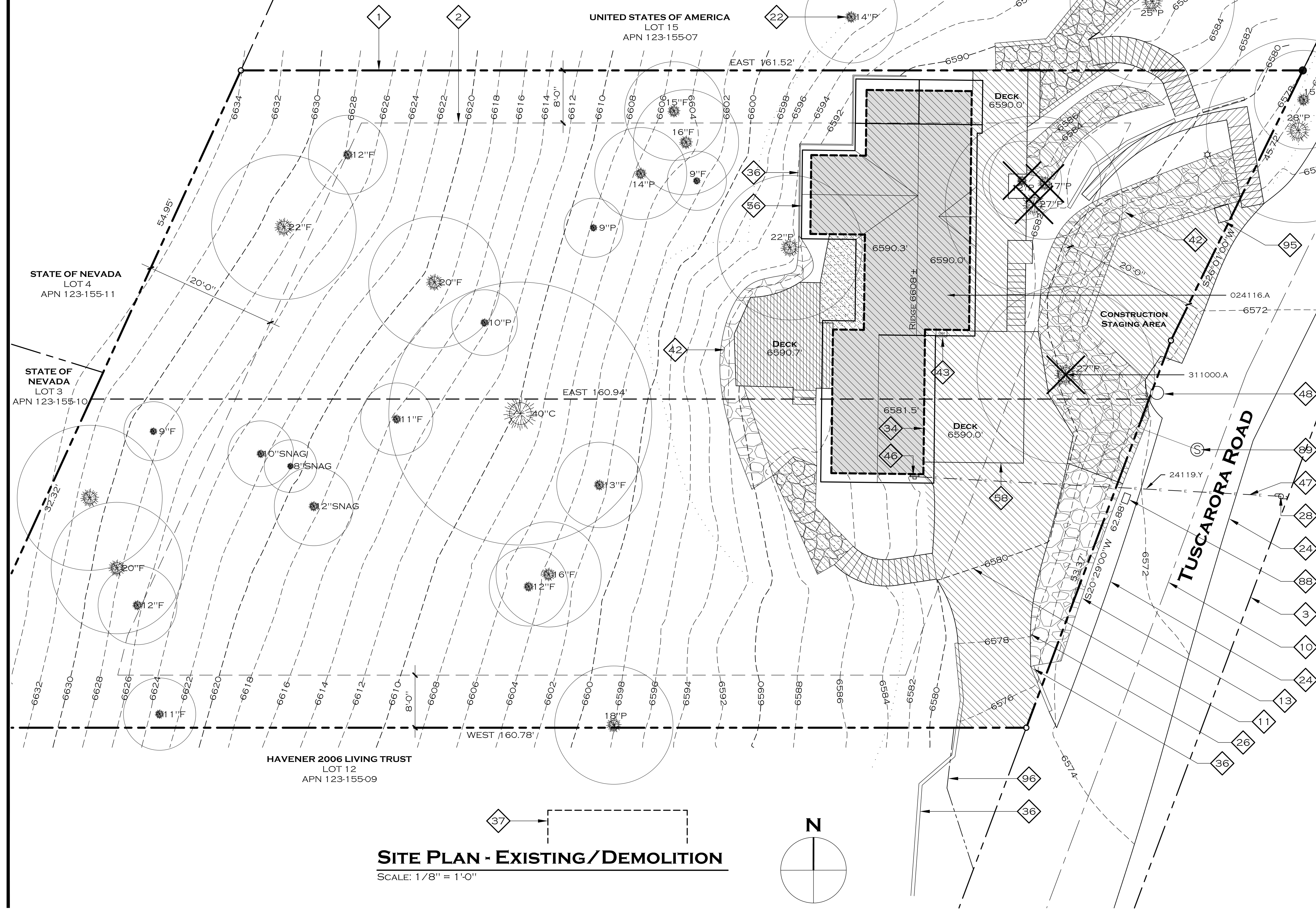
2 SOIL FILTER FENCE
SCALE: 1/2" = 1'-0"
311000-001.DWG



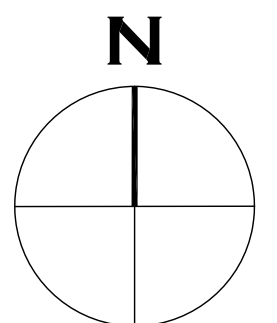
3 STEPPED INFILTRATION TRENCH
SCALE: 1/2" = 1'-0"
334100-003.DWG



4 TRENCH DRAIN AT DRIVEWAY
SCALE: 1-1/2" = 1'-0"
334100-004A.DWG



SITE PLAN - EXISTING/DEMOLITION
SCALE: 1/8" = 1'-0"



PROJECT KEYNOTES

- 024116.A REMOVE (E) RESIDENCE, DRIVEWAY/PARKING, DECKS, STAIRS, AND FLAGSTONE/GRAVEL PATHS, SHOWN HATCHED
- 24119.Y REMOVE (E) OVERHEAD POWER LINE
- 311000.A TREE TO BE REMOVED, SHOWN WITH AN "X", TYPICAL

REFERENCE NOTES

1. PROPERTY LINE
2. BUILDING SETBACK LINE
3. ADJACENT PROPERTY LINE
10. CENTERLINE OF RIGHT-OF-WAY
11. CONTOUR LINE, EXISTING, INDICATED DASHED
13. TOE OF SLOPE
22. TREE, EXISTING TO REMAIN
24. EDGE OF TRAVELED WAY
26. DRIVEWAY, AC PAVING
28. JOINT POLE
34. RESIDENCE
36. RAILROAD TIE RETAINING WALL
37. ADJACENT STRUCTURE, EXISTING, TO REMAIN
42. ROCKERY SLOPE PROTECTION
43. NATURAL GAS METER
46. MAIN PANEL FOR ELECTRICAL SERVICE
47. OVERHEAD ELECTRICAL LINE
48. DRAIN INLET
56. ROOF
58. DECK, ABOVE DRIVEWAY
88. WATER METER, APPROXIMATE LOCATION
89. SEWER MANHOLE
89. BEAR PROOF TRASH ENCLOSURE
96. INGRESS & EGRESS EASEMENT, PER DOC. #1721686 APPURTENANT TO APN 123-155-08

A CONTEMPORARY HIDEAWAY FOR
BRADLEY GEDEN
AND **MICHELLE TEEL**
315 TUSCARORA ROAD
INCLINE VILLAGE, NEVADA 89451
WASHOE COUNTY, APN 123-155-08

REVISIONS:

NO.	DESCRIPTION	DATE

DATE OF ISSUE: 18 Oct. 2023
ISSUED FOR: TRPA REVIEW
DRAWN BY: RKP
CHECKED BY:
SCALE: AS INDICATED
PROJECT NO.: 2210.00

SHEET CONTENTS

- SITE PLAN - EXISTING/DEMOLITION

VEGETATION MANAGEMENT PLAN

A. A DEFENSIBLE SPACE EVALUATION CAN BE ARRANGED THROUGH THE FIRE DISTRICT BY CONTACTING CONTACT NLTFPD INSPECTOR AT (775) 833-8107 TO SCHEDULE AN APPOINTMENT

EVALUATIONS ARE ONLY CONDUCTED SEASONALLY AFTER ALL SNOW COVER HAS MELTED AND PRIOR TO THE ONSET OF WINTER. HAZARDOUS VEGETATION IDENTIFIED IN THE SURVEY MUST BE REMOVED WITHIN A SPECIFIED TIME FRAME FOLLOWING THE SURVEY.

FOR MORE INFORMATION, SEE THE PUBLICATION "FIRE ADAPTED COMMUNITIES: THE NEXT STEP IN WILDFIRE PREPAREDNESS" PRODUCED IN ASSOCIATION WITH THE UNIVERSITY OF NEVADA RENO, NEVADA DIVISION OF FORESTRY, AND NORTH LAKE TAHOE FIRE PROTECTION DISTRICT. COPIES ARE AVAILABLE IN THE FIRE DISTRICT'S OFFICE. ADDITIONALLY PLEASE REFER TO LIVING WITH FIRE'S "GUIDELINES FOR CREATING DEFENSIBLE SPACE" AT WWW.LIVINGWITHFIRE.INFO/TAHOE

THIS INFORMATION DOES NOT REPRESENT AN INTERPRETATION OF ANY TRPA CODE OR ORDINANCE.

ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2018 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (IWUIC) WITH AMENDMENTS IN NLTFPD RESOLUTIONS 18-1 AND 18-2. A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE FOR SAFE SEPARATION BETWEEN STRUCTURES AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT.

B. REMOVE ALL DEAD VEGETATION, INCLUDING TREES, BRUSH AND OTHER VEGETATION

C. LIMB RESIDUAL TREES TO A HEIGHT OF TEN FEET (10') ABOVE THE GROUND ON THE HIGH SIDE. REMOVAL OF LOWER BRANCHES SHOULD NOT EXCEED ONE-THIRD OF THE TOTAL TREE HEIGHT. IF MORE THAN ONE-THIRD OF THE LIVE CROWN MUST BE REMOVED TO ACCOMPLISH THIS LIMBING, THEN USE THE HORIZONTAL SPACING GUIDELINES LISTED FOR BRUSH BELOW. PLEASE SEE SPACING GUIDELINES BELOW FOR STEEP SLOPE

D. LIMB ALL RESIDUAL TREES TO ACHIEVE A TEN FOOT (10') CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF LESS THAN 60% OF THE LIVE CROWN WOULD BE LEFT AFTER LIMBING, THE TREE SHOULD BE REMOVED

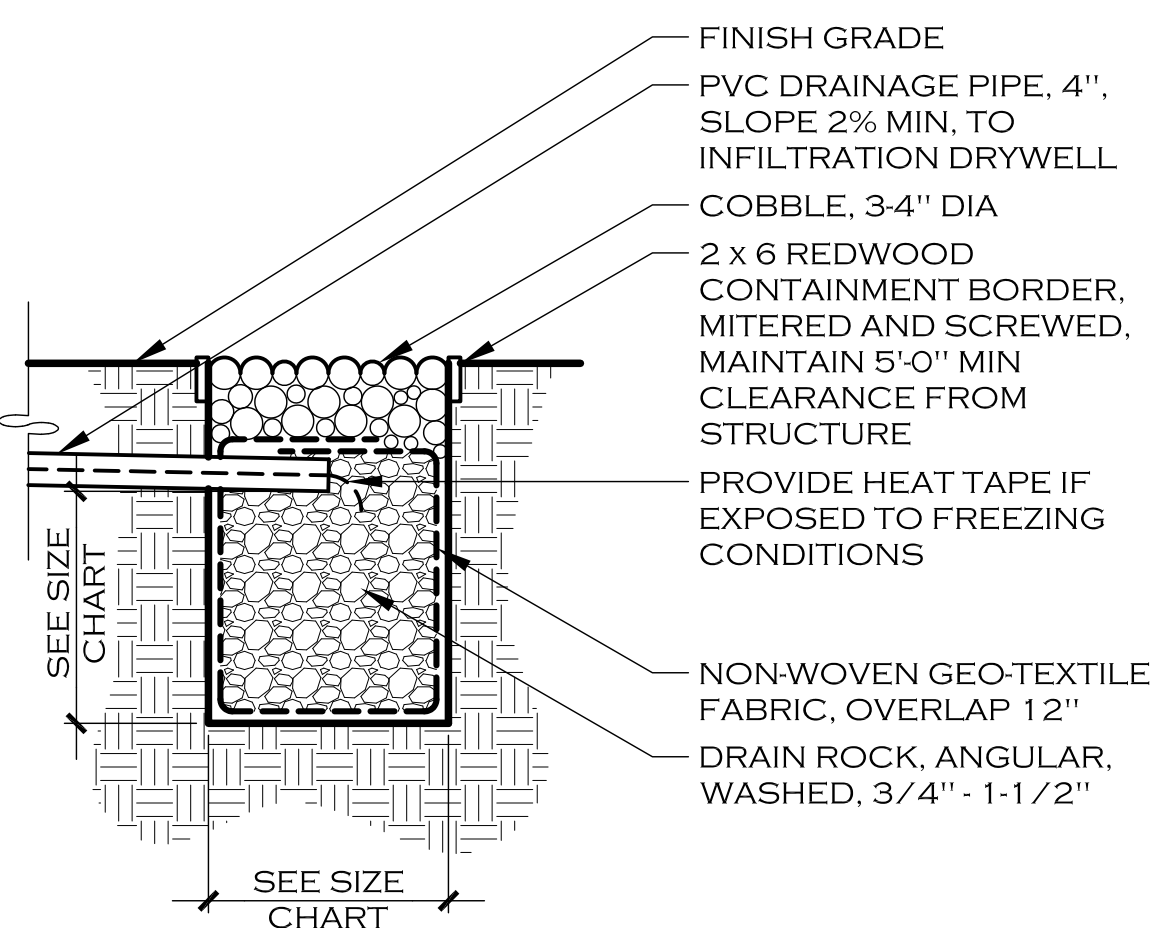
E. REMOVE ALL BRUSH, TREES, AND FLAMMABLE MATERIALS FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPINGS

F. REMOVE ALL FLAMMABLE VEGETATION AND MATERIALS WITHIN FIVE FEET (5') OF THE FOUNDATION OR SUPPORT POSTS OF ANY PART OF THE STRUCTURE OR AN OUTBUILDING

G. LIMIT VEGETATION TO SINGLE, WELL-SPACED SPECIMEN PLANTS WITHIN THE FIVE FOOT (5') TO THIRTY FOOT (30') ZONE. IF SOME FLAMMABLE BRUSH REMAINS, IT MUST BE THINNED AND MAINTAINED TO THE EXTENT THAT IT CANNOT TRANSFER FIRE TO THE STRUCTURE OR OTHER VEGETATION.

H. SPACE BRUSH FIELDS HORIZONTALLY A MINIMUM DISTANCE EQUAL TO OR GREATER THAN TWICE THE HEIGHT OF THE BRUSH WHEN WITHIN THE THIRTY FOOT (30') TO ONE HUNDRED FIFTY FOOT (150') ZONE. INDIVIDUAL BRUSH PLANTS CANNOT EXCEED 100-SQUARE FEET (100 SQ. FT.) IN AREA AND THREE-FEET (3') IN HEIGHT.

I. THIN TREES TO CREATE AN AVERAGE CROWN SPACING OF AT LEAST TEN FEET (10') WITHIN ONE HUNDRED AND FIFTY FEET (150') OF A STRUCTURE. TREES ADJACENT TO A STRUCTURE SHOULD BE REMOVED IF A CONTINUOUS PATHWAY OF VEGETATION AND OTHER TREES CAN CARRY FIRE TO THE STRUCTURE. TREES GROUPED CLOSE ENOUGH TOGETHER TO ACT AS ONE UNIT MAY BE CONSIDERED AS ONE CROWN FOR SPACING PURPOSES. THE REQUIRED CROWN SPACING MAY BE MODIFIED BY THE FIRE DISTRICT FORESTER OR CODE OFFICIAL BASED ON SITE CONDITIONS.



1 INFILTRATION DRYWELL
SCALE: 1/2" = 1'-0" 334100-002.DWG

SITE NOTES

A. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK.

B. INSTALL SERVICE UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY SERVICE PROVIDER.

C. ELEVATION MARKS INDICATE ELEVATION OF FINISH MATERIAL. VERIFY THICKNESS OF FINISH MATERIAL, BASE COURSE(S), DRAINAGE FILL OR TOPSOIL AND PREPARE SUBGRADE ACCORDINGLY.

D. FINISH GRADE TO HAVE A MINIMUM 5% SLOPE AWAY FROM THE BUILDING FOUNDATION FOR A MINIMUM OF 10 FEET. WHERE CONDITIONS PROHIBIT MAINTAINING THIS REQUIREMENT, WATER SHALL BE DIRECTED TO DRAINS OR SWALES TO MAINTAIN DRAINAGE AWAY FROM THE STRUCTURE. SWALES WITHIN 10 FEET OF THE STRUCTURE SHALL HAVE A MINIMUM 2% SLOPE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE STRUCTURE SHALL HAVE A MINIMUM OF 2% SLOPE AWAY.

E. TEMPORARY POWER POLE SHALL NOT BE ATTACHED TO TREE.

F. THE TREES ON THIS PARCEL SHALL BE CONSIDERED AS SCENIC MITIGATION AND SHALL NOT BE REMOVED OR TRIMMED FOR THE PURPOSES OF VIEW ENHANCEMENT. ANY SUCH REMOVAL OR TRIMMING SHALL CONSTITUTE A VIOLATION OF PROJECT APPROVAL.

G. SURVEY DATA TAKEN FROM TOPOGRAPHIC SURVEY DRAWING PREPARED BY KENNETH R. ARNETT, PLS #7629, DATED, 22 JUNE 2022.

H. REVOCABLE ENCROACHMENT PERMIT IS REQUIRED FOR ANY IMPROVEMENTS TO BE CONSTRUCTED IN THE WASHOE COUNTY RIGHT-OF-WAY.

I. ALL IMPROVEMENTS WITHIN THE WASHOE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COUNTY CODES AND THE COUNTY STANDARD SPECIFICATIONS AND DETAILS IN EFFECT ON THE DATE OF ISSUANCE OF THE REVOCABLE ENCROACHMENT PERMIT.

J. 3:1 FILL SLOPES SHALL BE STABILIZED BY HYDROSEEDING WITH MULCH AND TACKIFIER AND IRRIGATED UNTIL ESTABLISHED TO THE SATISFACTION OF WASHOE COUNTY. IF HOUSE CONSTRUCTION IS DELAYED, NO 3:1 SLOPES SHALL BE LEFT UNTREATED FOR A PERIOD OF MORE THAN 6 MONTHS.

SITE PROTECTION NOTES

A. PROVIDE TEMPORARY CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP'S), INCLUDING VEGETATION PROTECTION FENCING, BOUNDARY FENCING AND FILTER FENCE SEDIMENT BARRIER AS INDICATED AND AS REQUIRED BY TRPA FIELD INSPECTOR.

NOTE: STRAW BALES ARE NOT ACCEPTABLE FOR TEMPORARY EROSION CONTROL OR MULCH MATERIAL IN THE LAKE TAHOE BASIN. THE USE OF STRAW BALES HAVE CONTRIBUTED TO THE SPREAD OF NOXIOUS WEEDS THROUGHOUT THE TAHOE BASIN. THE USE OF ALTERNATIVES TO STRAW BALES, SUCH AS PINE NEEDLE BALES, FILTER FABRIC, COIL LOGS AND PINE NEEDLE OR WOOD MULCHES FOR EROSION CONTROL PURPOSES IS REQUIRED.

B. CONTRACTOR SHALL INSPECT AND REPLACE TEMPORARY CONSTRUCTION SITE BMP'S DAMAGED DURING THE COURSE OF WORK.

C. THE CONTRACTOR SHALL CONFINE WORK AND MATERIAL STORAGE TO DRIVEWAY AND RESIDENCE AND SHALL USE ALL MEANS NECESSARY TO PROTECT TREES AND NATURAL GROUND COVER FROM DAMAGE DURING CONSTRUCTION.

D. PROVIDE DRIPLINE INFILTRATION TRENCH AS INDICATED.

E. ALL CUT OR FILL SLOPES GREATER THAN 2:1 ARE TO BE PROTECTED WITH ROCK RIPRAP IN ACCORDANCE WITH "TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES".

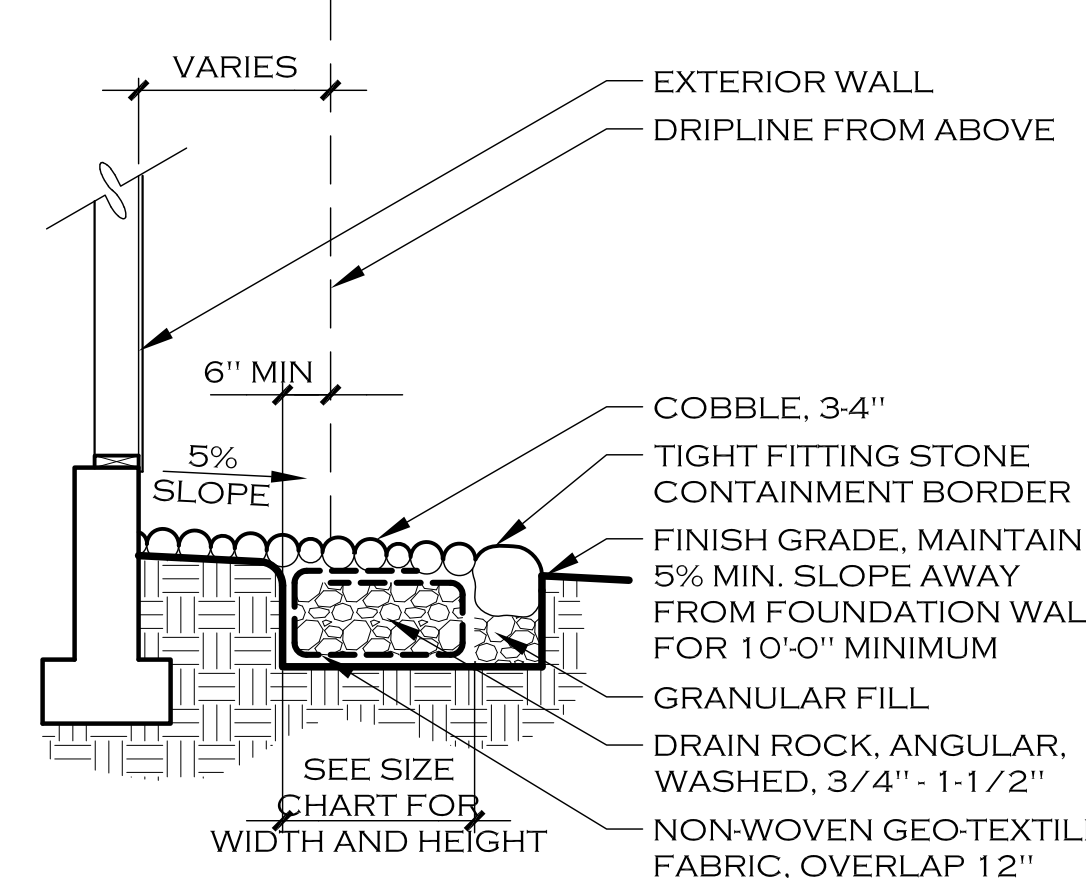
F. ALL CLEARED, GRADED OR AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE "TRPA VOLUME II, HANDBOOK OF BEST MANAGEMENT PRACTICES".

CUT/FILL

A. PROPOSED WORK WILL REQUIRE A MINOR GRADING PERMIT PURSUANT TO WASHOE COUNTY DEVELOPMENT CODE SECTION 110.438.31.

B. THE NEW FOUNDATION, AND SITE GRADING WILL REQUIRE EXCAVATING 443 CUBIC YARDS OF MATERIAL AND FILL OF 241 CUBIC YARDS. MAXIMUM CUT IS 20'-0", PER SOILS HYDROLOGY REPORT, TRPA LCAP2023-0286. MAXIMUM FILL IS 11'-1"

C. EXCAVATED MATERIAL/ROCK THAT IS NOT USED AS FILL WILL BE HAULED OFF SITE TO THE FW CARSON CO. INCLINE VILLAGE FACILITY FOR MATERIAL DISPOSAL.



2 DRIPLINE INFILTRATION TRENCH W/STONE CONTAINMENT BORDER
SCALE: 1/2" = 1'-0" 334100-001.DWG



SITE PLAN
SCALE: 1/8" = 1'-0"

SITE AREA DISTURBED

1. AREA OF SITE DISTURBED BY CONSTRUCTION IS 5,591 SF.
2. TRPA INFILTRATION TRENCHES, DRYWELLS ARE 218 SF OF SITE AREA DISTURBED.
3. AREA OF PARCEL DESIGNATED TO BE REVEGETATED BY TRPA WHERE NO OTHER CONSTRUCTION PROPOSED, 2,509 SF.
4. AREA OF ADJACENT PARCEL, APN 123-155-07, UNITED STATES OF AMERICA, DESIGNATED TO BE REVEGETATED, 227 SF.

SITE REVEGETATE LEGEND

- INDICATES OFFSITE AREA TO BE REVEGETATED PER BMP HANDBOOK CHAPTER 5, SOIL AND VEGETATION MANAGEMENT
- INDICATES AREAS TO BE REVEGETATED PER BMP HANDBOOK CHAPTER 5, SOIL AND VEGETATION MANAGEMENT

PROJECT KEYNOTES

- 074113.A PVC DRAINAGE PIPE, 2% SLOPE MIN FROM CATCH BASIN AT GUTTER DOWNSPOUT, PROVIDE HEAT TAPE, TYPICAL
- 311000.B TEMPORARY EROSION AND SEDIMENTATION CONTROL (FABRIC TYPE SOIL FENCE), SEE DETAIL 2/A.1.1
- 311000.C TEMPORARY (VEGETATION) FENCING AROUND TREE PROTECTION ZONE, SEE DETAIL 1/A.1.1
- 311000.D ORANGE CONSTRUCTION FENCE OR METAL MESH, 4'-0" TALL, MIN. PROVIDE METAL STAKING AT 8'-0" ON CENTER, MAX. SET 12'-0", MAX FROM RESIDENCE FOUNDATION, DECKS, AND ROCKERY WALLS. INSPECT DAILY, REPAIR DOWNED SECTIONS IMMEDIATELY
- 334100.C CATCH BASIN/SEDIMENT TRAP WITH REMOVABLE WIRE BASKET, TYPICAL AT DOWN SPOUTS, SEE DETAIL 3/A.1.2
- 334100.Q DRIP LINE TRENCH, SEE BMP CALCULATIONS SPREADSHEET FOR WIDTH AND DEPTH, TYPICAL

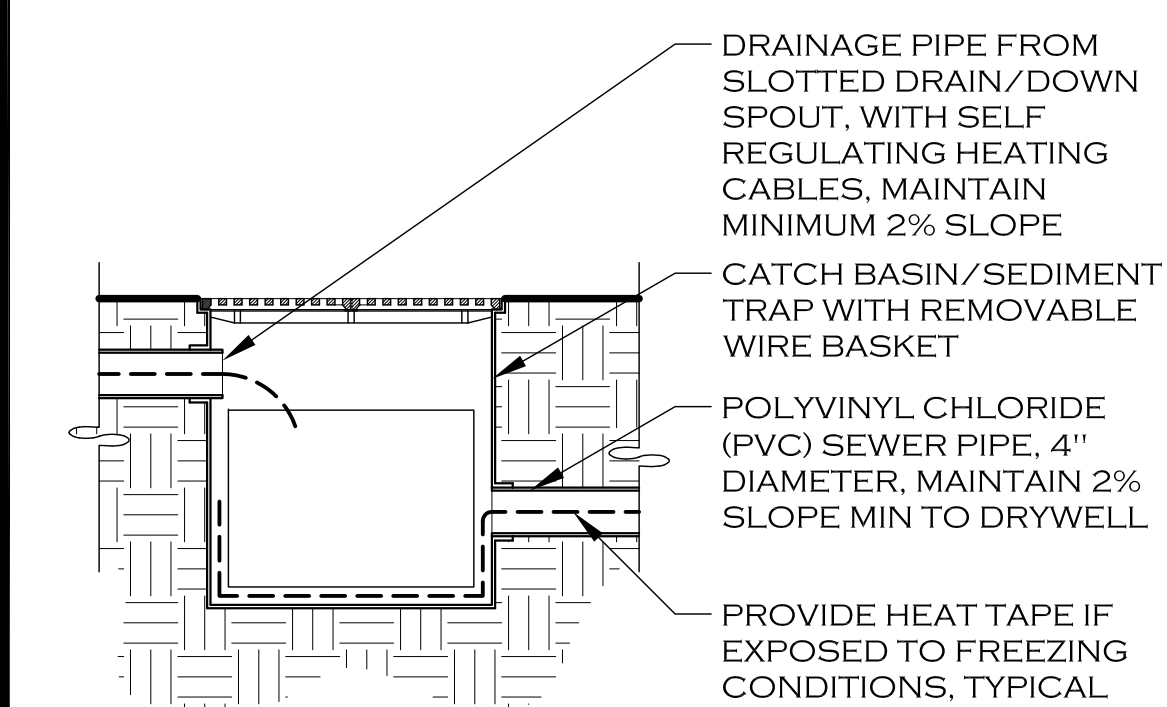
PROPOSED BMP SIZES

A	16'-0" x 4'-4" x 0'-10"	D	4'-0" x 4'-0" x 2'-10"
B	24'-0" x 3'-10" x 0'-10"	E	9'-8" x 1'-6" x 0'-3"
C	8'-0" x 3'-3" x 0'-10"		

TREATMENT LABEL, TRENCH SIZE (L/W/D)

REFERENCE NOTES

1. PROPERTY LINE
2. BUILDING SETBACK LINE
3. ADJACENT PROPERTY LINE
10. CENTERLINE OF RIGHT-OF-WAY
11. CONTOUR LINE, EXISTING, INDICATED DASHED
13. TOE OF SLOPE
22. TREE, EXISTING TO REMAIN
24. EDGE OF TRAVELED WAY
26. DRIVEWAY, AC PAVING
28. JOINT POLE
33. FLOWLINE OF SWALE
34. RESIDENCE
36. RAILROAD TIE RETAINING WALL
37. ADJACENT STRUCTURE, EXISTING, TO REMAIN
42. ROCKERY SLOPE PROTECTION
43. NATURAL GAS METER
46. MAIN PANEL FOR ELECTRICAL SERVICE
47. OVERHEAD ELECTRICAL LINE
48. DRAIN INLET
56. ROOF
58. DECK, ABOVE DRIVEWAY
88. WATER METER, APPROXIMATE LOCATION
89. SEWER MANHOLE
95. BEAR PROOF TRASH ENCLOSURE
96. INGRESS & EGRESS EASEMENT, PER DOC. #1721686 APPURTENANT TO APN 123-155-08
97. LIMITS OF SITE AREA DISTURBED
98. NON-COMBUSTIBLE ZONE, SEE VEGETATION MANAGEMENT PLAN, 5' FROM STRUCTURE
99. LEAN, CLEANED, AND GREEN ZONE, SEE VEGETATION MANAGEMENT PLAN, 30' FROM STRUCTURE



3 CATCH BASIN/SEDIMENT TRAP
SCALE: 1-1/2" = 1'-0" 334100-009.DWG

120 COUNTRY CLUB DRIVE, No.17
INCLINE VILLAGE, NEVADA 89451

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PRELIMINARY
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A CONTEMPORARY HIDEAWAY FOR
BRADLEY GEDEN
AND **MICHELLE TEEL**
315 TUSCARORA ROAD
INCLINE VILLAGE, NEVADA 89451
WASHOE COUNTY, APN 123-155-08

REVISIONS:

DATE OF ISSUE: 18 Oct. 2023

ISSUED FOR: TRPA REVIEW

DRAWN BY: RKP

CHECKED BY:

SCALE: AS INDICATED

PROJECT No.: 2210.00

SHEET CONTENTS

SITE PLAN

SHEET NUMBER

A1.2

TRPA PARCEL DATA

PARCEL DESCRIPTION
 315 TUSCARORA ROAD
 LOT 13 AND 14, BLOCK 3, CRYSTAL BAY PARK NO.1
 WASHOE COUNTY, APN 123-155-08

PARCEL OWNER
 BRADLEY GEDEN AND MICHELLE TEEL
 15270 VIA LOS TULARES
 CARMEL VALLEY, CALIFORNIA 93924

PLAN AREA STATEMENT
 WASHOE COUNTY TAHOE AREA PLAN

TRPA PARCEL DATA SUMMARY

TOTAL LOT AREA ** 16,145 SF
 TOTAL BASE ALLOWABLE COVERAGE: (1%) * 161 SF
 TOTAL VERIFIED EXISTING 2,839 SF

LCD 1A	VERIFIED EXISTING	PROPOSED	EXEMPTION	ACTUAL
BRICK PAVERS	138 SF	530 SF	0 SF	530 SF
DECK AND STAIRS	422 SF	0 SF	0 SF	0 SF
DRIVEWAY	992 SF	375 SF	0 SF	375 SF
CONCRETE	0 SF	64 SF	0 SF	64 SF
GRAVEL PARKING RESIDENCE	298 SF	0 SF	0 SF	0 SF
	989 SF	937 SF	0 SF	937 SF
TOTAL	2,839 SF	1,906 SF	0 SF	1,906 SF
OFFSITE COVERAGE	321 SF	64 SF	0 SF	64 SF
VERIFIED EXISTING COVERAGE				2,839 SF
PROPOSED COVERAGE				1,906 SF
REMAINING ALLOWED COVERAGE				933 SF

EXCESS LAND COVERAGE

VERIFIED EXISTING	2,839 SF
BASE ALLOWABLE COVERAGE	- 161 SF
REMAINING LAND COVERAGE FOR MITIGATION	2,678 SF
LAND COVERAGE MITIGATED BY THIS PROJECT	- 480 SF
TOTAL REMAINING UN-MITIGATED EXCESS COVERAGE	2,198 SF

* TRPA SITE ASSESSMENT, DATED 16 OCTOBER, 2023
 ** ARNETT AND ASSOCIATES, INC., SURVEY DATED 20 JUNE, 2022

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REVISIONS:

DATE OF ISSUE: 09 OCT. 2023
 ISSUED FOR: WASHOE COUNTY PLANNING
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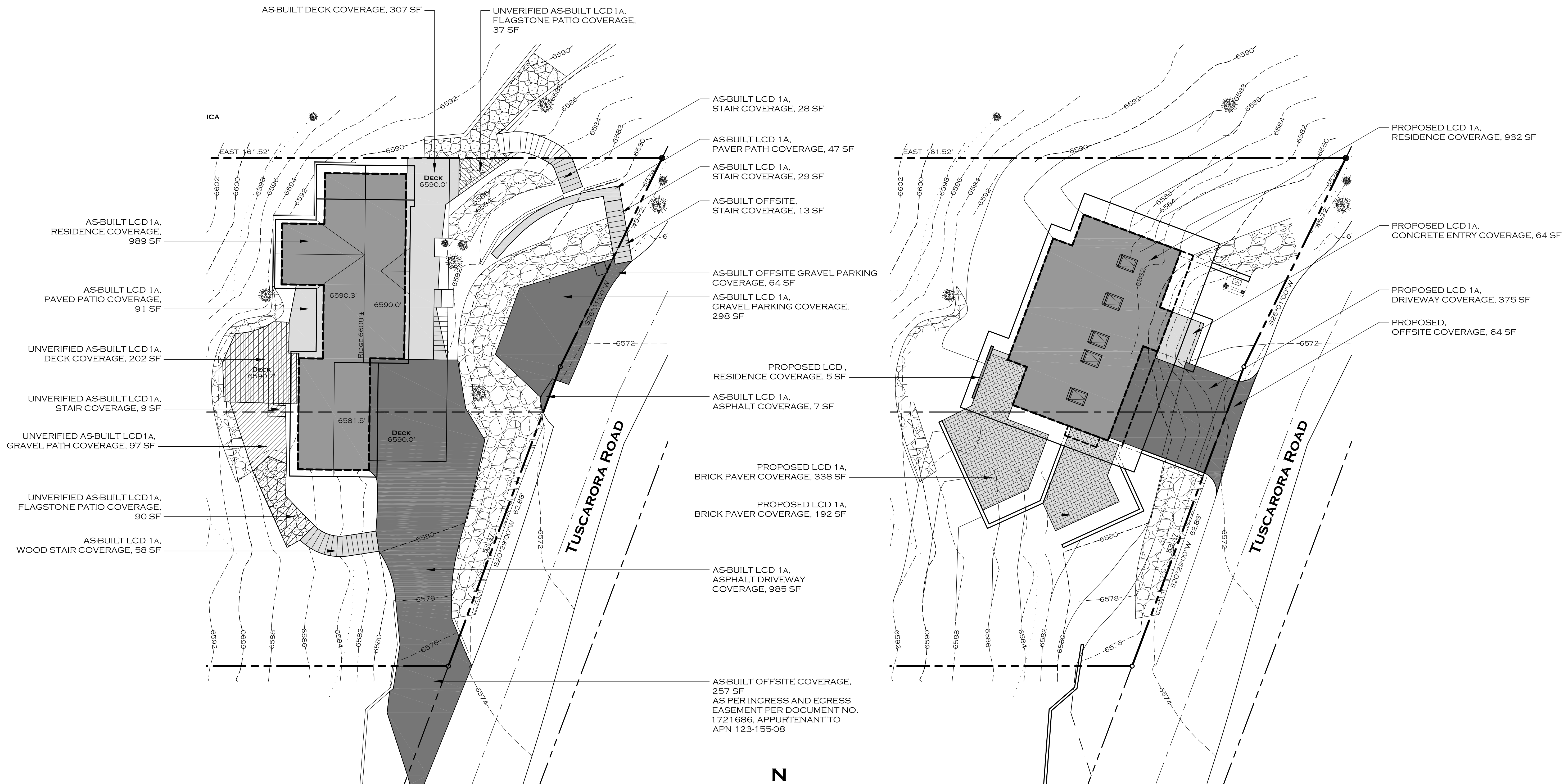
SHEET CONTENTS

COVERAGE PLAN

SHEET NUMBER

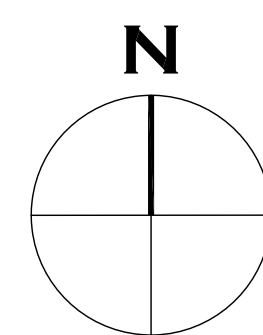
A1.3

AGENDA ITEM NO. V. A.



EXISTING COVERAGE PLAN

SCALE: 1" = 10'-0"



PROPOSED COVERAGE PLAN

SCALE: 1" = 10'-0"

PROJECT KEYNOTES



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A CONTEMPORARY HIWAYWAY FOR
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AND MICHELLE TEEL**
315 TUSCARORA ROAD
CRYSTAL BAY, NEVADA 89402
WASHOE COUNTY APN 123-155-08

REVISIONS:

DATE OF ISSUE: 02 NOV 2023

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SCALE: 1/4" = 1'-0"

PROJECT NO.: 2210.00

REFERENCE NOTE SCHEDULE

- 3 FRONT YARD SETBACK
- 56 ROOF ABOVE
- 79 EXISTING/NATURAL GRADE, APPROXIMATE LIMITS AT SOUTH SIDE
- 81 MAXIMUM EXCAVATION DEPTH, 20'-0"

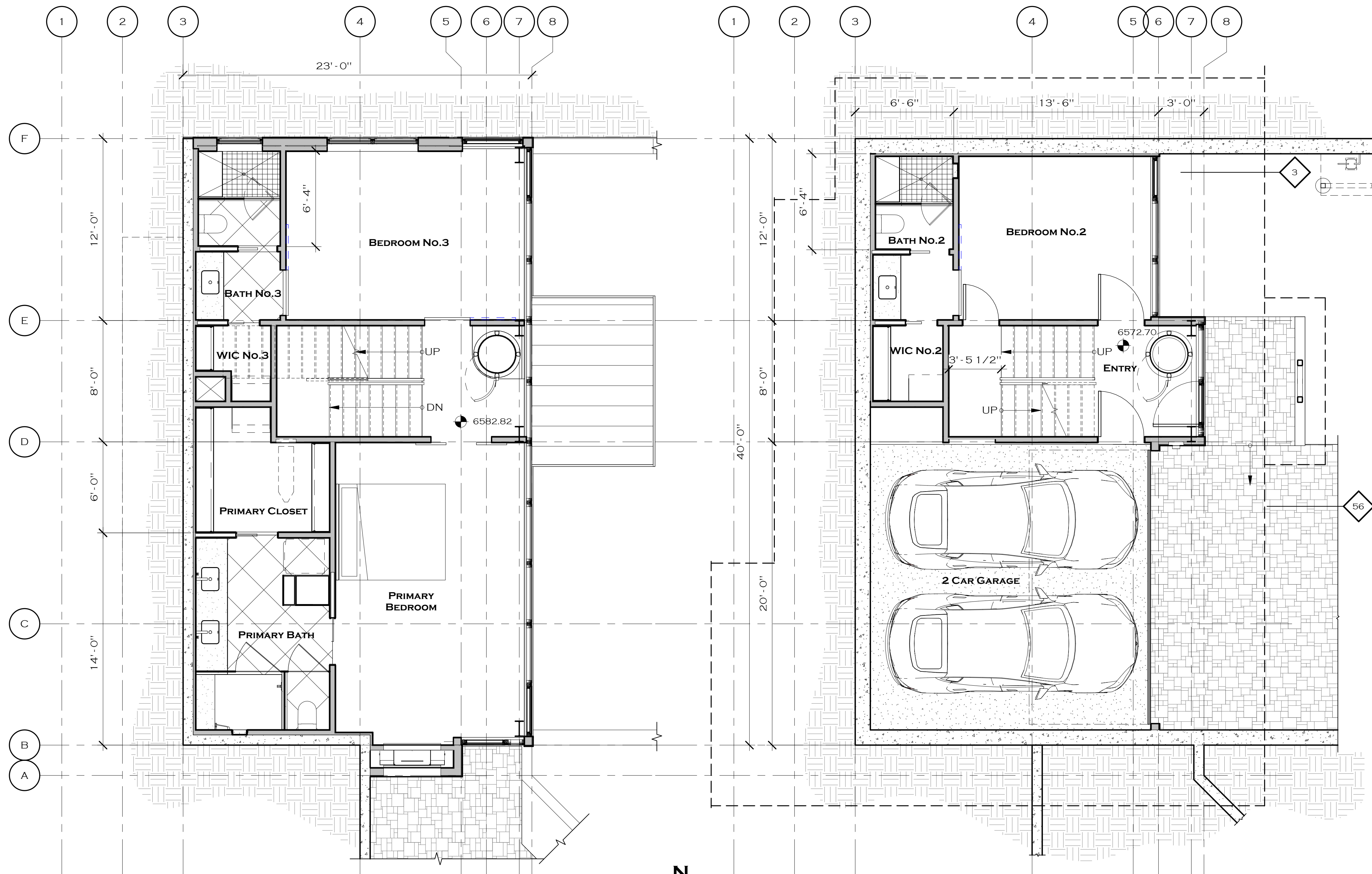
SHEET CONTENTS

LOWER AND MIDDLE LEVEL -
DIMENSION PLAN

SHEET NUMBER

A2.1

AGENDA ITEM NO. V. A.



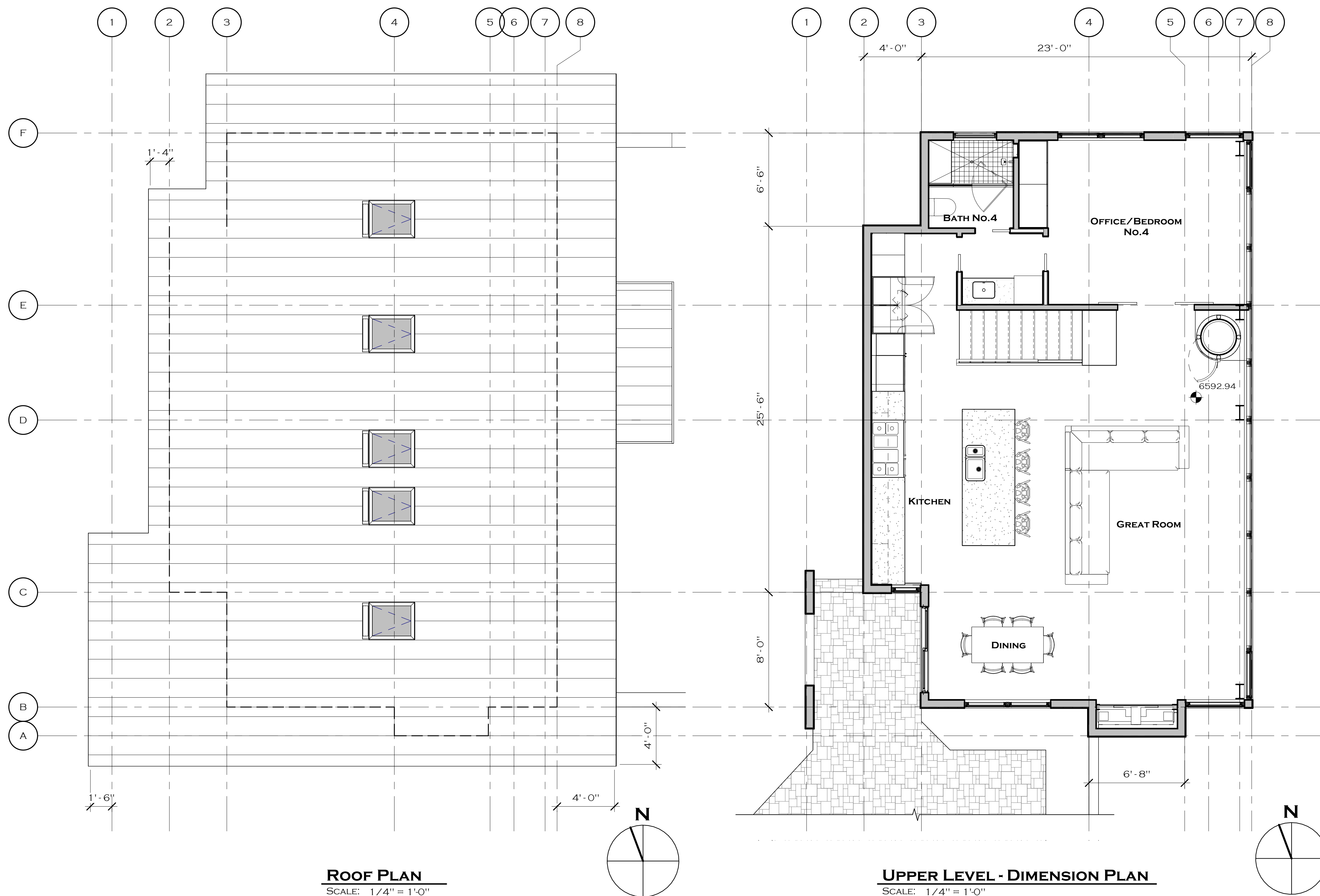
MIDDLE LEVEL - DIMENSION PLAN

SCALE: 1/4" = 1'-0"

LOWER LEVEL - DIMENSION PLAN

SCALE: 1/4" = 1'-0"

LOWER LEVEL	402 SF
MIDDLE LEVEL	858 SF
UPPER LEVEL	1,001 SF
TOTAL	2,261 SF
GARAGE	423



ROOF PLAN
SCALE: 1/4" = 1'-0"

UPPER LEVEL - DIMENSION PLAN
SCALE: 1/4" = 1'-0"

PROJECT KEYNOTES

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SHEET CONTENTS

UPPER LEVEL - DIMENSION PLAN
AND ROOF PLAN

SHEET NUMBER
A2.3

REFERENCE NOTES
SEE REFERENCE NOTE SCHEDULE ON SHEET A2.1

WUI CODE REQUIREMENTS

IGNITION-RESISTANT CONSTRUCTION REQUIREMENTS

DEFENSIBLE SPACE: WILL BE CONFORMING TO THE PROPERTY LINE PRIOR TO PERMIT CLOSEOUT.

FIRE HAZARD SEVERITY: EXTREME HAZARD WITH CONFORMING WATER SUPPLY.
CONSTRUCTION REQUIREMENTS: IR 1

BUILDING CONSTRUCTION REQUIREMENTS

ROOFS: ROOF ASSEMBLIES SHALL BE CLASS A. VALLEY FLASHING SHALL BE NOT LESS THAN NO.26 GALVANIZED SHEET GAGE.

ROOF GUTTERS: ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF GALVANIZED MATERIAL. GUTTERS SHALL BE PROVIDED WITH APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.

EAVES & SOFFITS: EAVES AND SOFFITS SHALL BE PROTECTED ON THE EXPOSED UNDERSIDE BY 2X MATERIAL OR FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE.

VENTS: OPERABLE UNDER-FLOOR VENTS SHALL NOT EXCEED 144 SQUARE INCHES IN AREA AND SHALL BE COVERED WITH NONCOMBUSTIBLE CORROSION-RESISTANT MESH WITH OPENINGS NOT TO EXCEED 1/4 INCH.

EXTERIOR WALLS: CEMENT BOARD SIDING, METAL, OR OTHER NON-COMBUSTIBLE MATERIAL.

WINDOWS (GLAZING): EXTERIOR WINDOWS ARE DUAL GLAZED.

EXTERIOR DOORS: EXTERIOR DOORS ARE MINIMUM 1-3/4" SOLID CORE.

DECKS & BALCONIES: ARE PROPOSED HEAVY TIMBER CONSTRUCTION. MINIMUM 6X6 COLUMNS, 4X8 FLOOR JOISTS, 4X10 OR 6X8 BEAMS, 3X LEDGERS AND 2X DECKING.

EXISTING DRIVEWAY DECK: CONSTRUCTION MEETS OR EXCEEDS THE REQUIREMENTS FOR HEAVY TIMBER CONSTRUCTION.

TRPA HEIGHT CALCS.

PERCENT CROSS SLOPE RETAINED ACROSS BUILDING SITE	≥24%
PROPOSED ROOF PITCH	≈3:12
MAXIMUM HEIGHT (TRPA CODE ORDINANCES, CHAPTER 37, TABLE 37.4.1-1)	33'-7"
HEIGHT OF PROPOSED STRUCTURE	33'-6"
LOWEST NATURAL GROUND ELEVATION	6,677.0

TRPA DESIGN STANDARDS

COLOR: THE COLOR OF THE STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN THE EARTHTONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF COLORS THAT BLEND, RATHER THAN CONTRAST, WITH THE EXISTING VEGETATION AND EARTH HUES. APPROPRIATE EARTHTONES ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, GREEN, GRAY AND UMBER.

ROOF: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTH-TONE OR WOODTONE MATERIALS THAT MINIMIZE REFLECTIVITY. ALL EXPOSED METAL ROOFING MATERIALS, INCLUDING FLASHING AND CHIMNEY CAPS, SHALL BE PAINTED OR PRE-WEATHERED TO MINIMIZE REFLECTIVITY.

FENCES: WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CHAIN-LINK FENCES AND GATES MUST BE USED, THEY SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.

PROJECT KEYNOTES

061500.A	SOLID-SAWN WOOD DECKING, 2X6, VEE GROOVED
074213.A	ALUMINUM CLADDING. MATCH WINDOW FRAMES
074646.A	FIBER CEMENT SIDING, HARDIE ARTISAN SHIPLAP SIDING, 9". MITER CORNERS
074646.B	FIBER CEMENT SIDING, HARDIE ARCHITECTURAL PANELS, FINE SAND FINISH
083613.F	SECTIONAL OVERHEAD DOOR, WOOD, GLASS LIGHTS
084113.B	ALUMINUM FRAMED DUAL GLAZED LOW-E CASEMENT WINDOW, PROVIDE TEMPERED GLASS IN HAZARDOUS LOCATIONS AS REQUIRED BY IRC 308
084113.C	ALUMINUM FRAMED DUAL GLAZED LOW-E WINDOW WITH 4" LIMITER, PROVIDE TEMPERED GLASS IN HAZARDOUS LOCATIONS AS REQUIRED BY IRC 308

REFERENCE NOTES

SEE REFERENCE NOTE SCHEDULE ON SHEET A2.1

A CONTEMPORARY HIWAYWAY FOR
BRADLEY GEDEN
AND MICHELLE TEEL
315 TUSCARORA ROAD
CRYSTAL BAY, NEVADA 89402
WASHOE COUNTY APN 123-155-08

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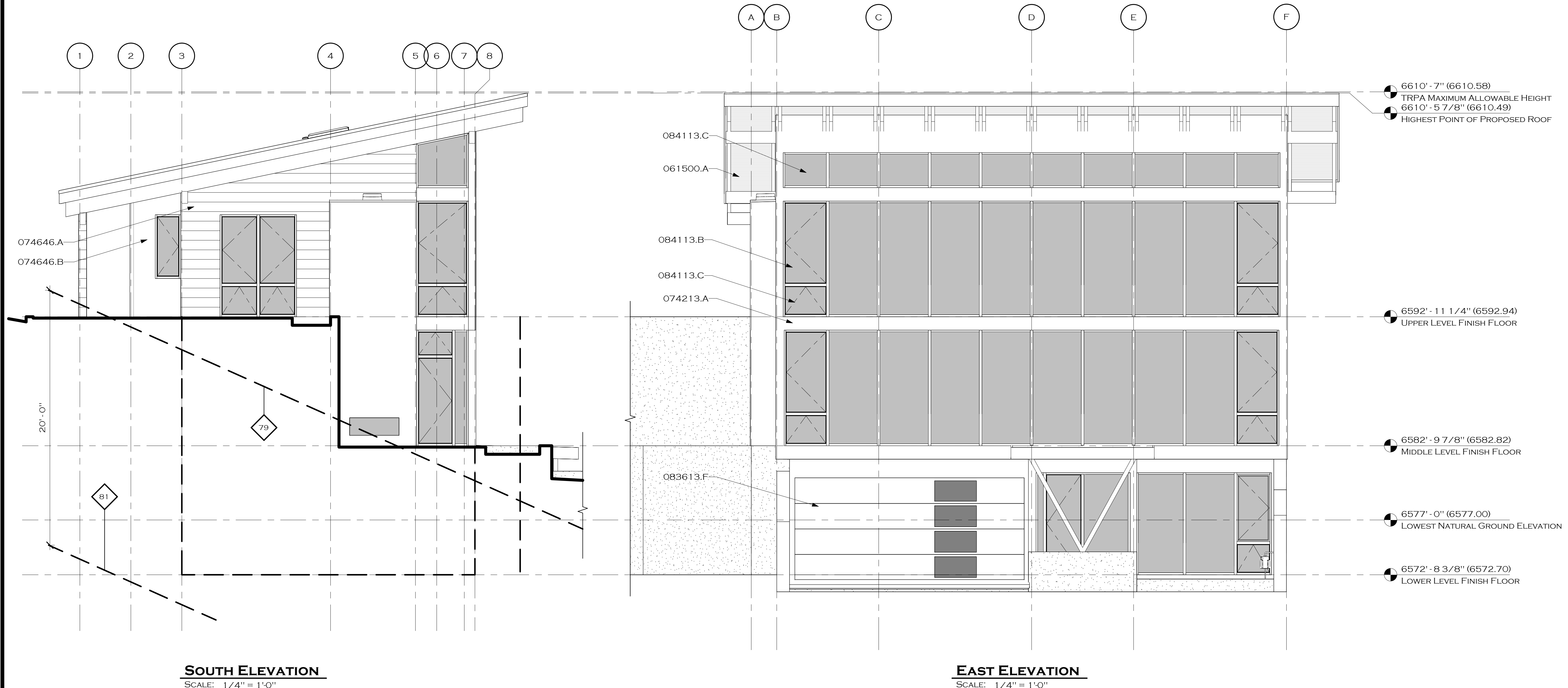
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PROJECT NO.:	2210.00

SHEET CONTENTS

EXTERIOR ELEVATIONS

SHEET NUMBER

A3.1



PROJECT KEYNOTES

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REFERENCE NOTES

SEE REFERENCE NOTE SCHEDULE ON SHEET A2.1

A CONTEMPORARY HIWAYWAY FOR

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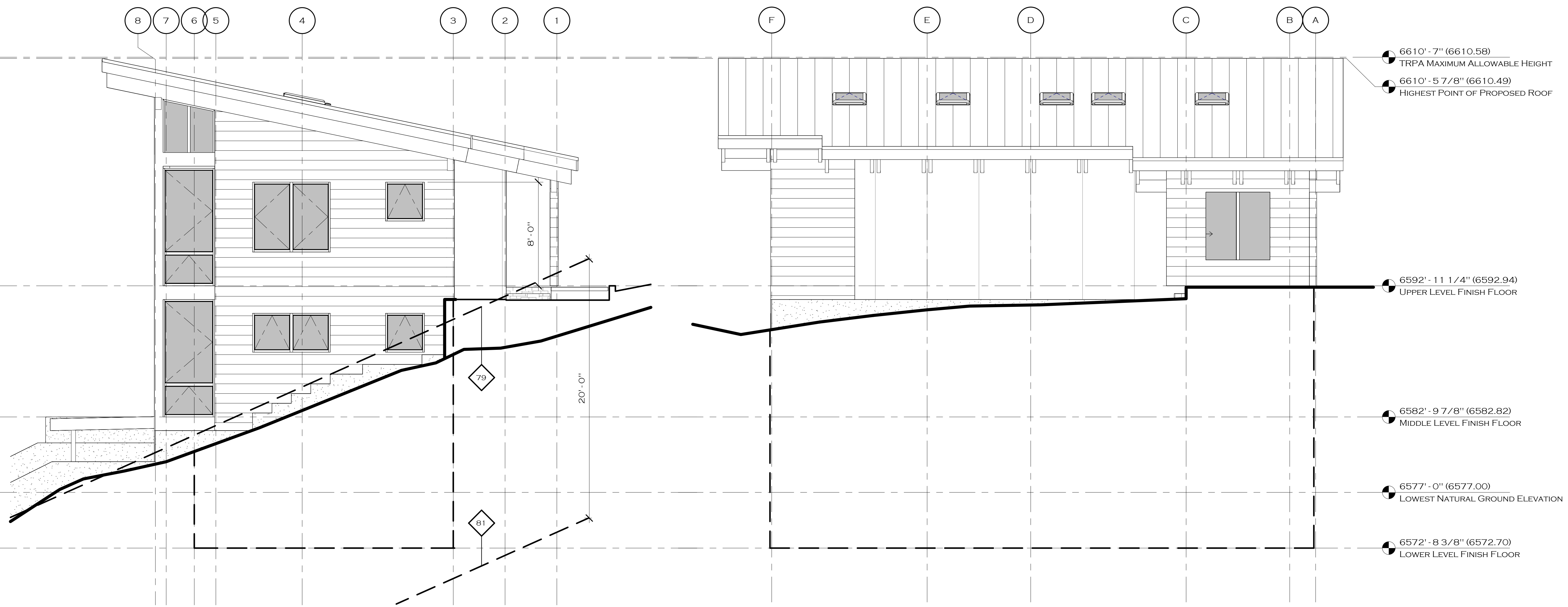
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SCALE: 1/4" = 1'-0"

PROJECT NO.: 2210.00

SHEET CONTENTS

EXTERIOR ELEVATIONS



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

WEST ELEVATION
 SCALE: 1/4" = 1'-0"

SHEET NUMBER

A3.2

Attachment D
Project Review Conformance Checklist and Article V(g) Findings

PROJECT REVIEW CONFORMANCE CHECKLIST & V (g) FINDINGS

(RESIDENTIAL)

Project Name: Geden-Teel SFD Tear Down/Rebuild

Project Type: Residential

APN / Project Number: APN: 123-155-08/ERSP2023-1617

Project Review Planner: Brandy McMahon Date of Review: 3/24/2024

NOTE: if the answer to question b. on any of the following questions is no, please provide a written justification on a separate sheet for making the findings required in subsections 4.4.1 and 4.4.2 of the code. If the answer to question b. is yes or if no answer is required, this checklist shall serve as justifications for making said findings. Any positive impacts of the project on the thresholds that have not been addressed in these questions should also be noted.

CATEGORY: AIR QUALITY

THRESHOLD: CARBON MONOXIDE (CO)

INDICATOR: (CO) 8-hr. avg. Stateline CA station

- 1. a. Does the project generate new vehicle trips? Y N
- b. If yes, is the project consistent with Subsection 65.2.4.B.1? Y N
- 2. a. Does the project create new points of vehicular access? Y N
- b. If yes, is the project consistent with Subsection 34.3.2? Y N
- 3. a. Does the project include combustion appliances? Y N
- b. If yes, is the project consistent with Subsection 65.1.4? Y N
- 4. a. Does the project include a new stationary source of CO? Y N
- b. If yes, is the project consistent with Subsection 65.1.6? Y N

THRESHOLD: OZONE

INDICATOR: Ozone, 1-hr. avg. Lk. Tahoe Blvd station

- 1. a. Does the project increase regional VMT? Y N
- b. If yes, is the project consistent with Subsection 65.2.4? Y N
- 2. a. Does the project include new gas/oil space/water heaters? Y N
- b. If yes, is the project consistent with Subsection 65.1.4? Y N
- 3. a. Does the project include a new stationary source of NO²? Y N
- b. If yes, is the project consistent with Subsection 65.1.6? Y N

THRESHOLD: PARTICULATE MATTER

INDICATOR: Part. Matter, 24-hr. avg. Lk. Tahoe Blvd station

- 1. a. Does the project increase airborne dust emissions? Y N
- b. If yes, is the project consistent with Subsection 60.4.3? Y N
- 2. a. Does the project include a new stationary source of particulate matter? Y N
- b. If yes, is the project consistent with Subsection 65.1.6? Y N

3. a. Refer to question 1, Ozone, above.

THRESHOLD: VISIBILITY

INDICATOR: miles of visibility, veg and subregional path

1. a. Refer to questions 1-3, Particulate Matter, above.

THRESHOLD: TRAFFIC VOLUME
US 50 CORRIDOR, WINTER, 4pm-12am

INDICATOR: traffic volume, US 50 at Park Ave.
Jan.-Mar. avg., 4pm-12am

1. a. Refer to question 1, CO, above.

THRESHOLD: NO² EMISSIONS

INDICATOR: VMT

1. a. Refer to questions 1-2, VMT, below.

THRESHOLD: WOOD SMOKE

INDICATOR: number of wood heaters

1. a. Does the project include any new wood heaters? Y N
b. If yes, is the project consistent with Subsection 65.1.4.B? Y N

THRESHOLD: VMT

INDICATOR: changes in number of trips and avg. trip length

1. a. Does the project increase average trip length? Y N
b. If yes, is the project consistent with Subsection 65.2.4.B? Y N
2. a. refer to question 1, CO, above.

CATEGORY: WATER QUALITY

THRESHOLD: TURBIDITY

INDICATOR: turbidity of indicator stations

1. a. Does the project increase impervious coverage or create permanent soil disturbance? Y N
b. If yes, is the project consistent with Subsection 60.2.3? Y N
2. a. Does the project create temporary soil disturbance? Y N
b. If yes, is the project consistent with Subsection 60.4.3? Y N
3. a. Does the project require the use of fertilizer? Y N
b. If yes, is the project consistent with Subsection 60.1.8? Y N
4. a. Does the project include domestic wastewater discharge to the surface or groundwater? Y N
b. If yes, is the project consistent with Subsection 60.1.3.B? Y N
5. a. Does the project disturb or encroach on an existing SEZ? Y N
b. If yes, is the project consistent with Subsection 30.5? Y N

THRESHOLD: CLARITY, WINTER (IN LAKE)

INDICATOR: secch depth, Dec.-Mar. avg. TRG index station

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: PHYTOPLANKTON PRIMARY PRODUCTIVITY (IN LAKE)

INDICATOR: phyto, primary productivity, ann. Avg., TRG index station

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: DIN LOAD, SURFACE RUNOFF

INDICATOR: DIN x discharge, tributary network annual total 1

1. a. Refer to questions 1, 2, 3 and 5, turbidity, above.

THRESHOLD: DIN LOAD, GROUNDWATER

INDICATOR: DIN x discharge, grndwtr. Network, annual total

1. a. Refer to questions 2 & 3, turbidity, above.

THRESHOLD: DIN LOAD, ATMOSPHERIC

INDICATOR: NO3 + HNO, annual avg. Lake Tahoe Blvd station

1. a. Refer to question 4, turbidity, above.

THRESHOLD: NUTRIENT LOADS, GENERAL

INDICATOR: sol. P x discharge sol. Fe x

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: TOTAL N, P, Fe, (trib.) CA ONLY

INDICATOR: single reading, tributary network

1. a. Refer to questions 1, 2, 3, and 5, turbidity, above.

THRESHOLD: DIN; SOL, P, Fe, SS (trib.) NV ONLY

INDICATOR: single reading tributary network

1. a. Refer to questions 1, 2, 3 and 5, turbidity, above.

THRESHOLD: DIN, SOL, P, Fe, SS, GREASE/OIL DISCHARGED TO SURFACE WATER FROM RUNOFF

INDICATOR: single reading runoff sites

1. a. Does the project route impervious surface runoff directly into Lake Tahoe or a major tributary? Y N
- b. If yes, is the discharge structure consistent with BMP handbook? Y N
2. a. Does the project create large impervious areas (e.g. parking lots) which may serve as a source of airborne pollutants, grease or oil? Y N
- b. If yes, is the project consistent with Subsections 60.4.3, 60.4.6 and 60.4.9? Y N

THRESHOLD: TOTAL N, TOTAL P, TOTAL Fe TURBIDITY, GREASE/OIL DISCHARGE TO GRDWTR FROM RUNOFF

INDICATOR: single reading runoff site

1. a. Does the project include infiltration devices to infiltrate impervious surface runoff directly underground? Y N
- b. If yes, is the project consistent with Subsection 60.4.6? Y N

CATEGORY: SOIL CONSERVATION

THRESHOLD: IMPERVIOUS COVERAGE

INDICATOR: area or coverage

1. a. Does the project include new or relocated coverage? Y N
b. If yes, is the project consistent with Subsection 30.4, 30.5 and 30.6? Y N

THRESHOLD: NATURALLY-FUNCTIONING SEZ

INDICATOR: area of SEZ

1. a. Does the project disturb or encroach on a naturally-functioning SEZ? Y N
b. If yes, is the project consistent with Subsection 30.5? Y N

CATEGORY: VEGETATION

THRESHOLD: PLANT & STRUCTURAL DIVERSITY

INDICATOR: plant & structural diversity

1. a. Does the project create a change in diversity? Y N
b. If yes, does the project include vegetation management techniques to increase diversity (reveg., thinning)? Y N

THRESHOLD: MEADOW & RIPARIAN VEGETATION

INDICATOR: area of meadow & riparian veg.

1. a. Refer to question 5, turbidity, above.

THRESHOLD: DECIDUOUS RIPARIAN VEGETATION

INDICATOR: area of riparian vegetation

1. a. Refer to question 5, turbidity, above.

THRESHOLD: SHRUB ASSOCIATION

INDICATOR: area of shrub association

1. a. Does the project create an increase in the areal extent of the shrub association? Y N
b. If yes, has the additional area been calculated, and a determination been made that the total area is less than or equal to 25%? Y N

THRESHOLD: YELLOW PINE ASSOCIATION (not mature)

INDICATOR: area of yellow pine assoc.

1. a. Does the project create a change in the areal extent of the immature yellow pine association? Y N
b. If yes, has the additional area been calculated, and a determination made that the total area in the Region is between 15 and 25%? Y N

THRESHOLD: RED FIR ASSOCIATION

INDICATOR: area of red fir assoc.

1. a. Does the project create a change in the areal extent of the immature red fir association? Y N
b. If yes, has the additional area been calculated, and a determination made that the total area in the Region is between 15 and 25%? Y N

THRESHOLD: FOREST OPENINGS

INDICATOR: size and location of forest openings

1. a. Does the project create new forest openings? Y N
b. If yes, is the new opening less than 8 acres? Y N

2. a. Does the project create new forest openings adjacent to other openings? Y N
- b. If yes, are the resultant adjacent openings not of the same relative age class or successional stage? Y N

THRESHOLD: UNCOMMON PLANT COMMUNITITES

INDICATOR: habitat sites

1. a. Will the project impact the habitats for the deepwater sphagnum bog, Osgood Swamp, or the Freel Peak Cushing Plant Community? Y N
- b. If yes, have modifications been included in the project to protect these plant communities? Y N

THRESHOLD: SENSITIVE VEGETATION

INDICATOR: number of habitat sites

1. a. Will the project impact the habitats of the Carex paucifructus, the Lewis pyomaea longipetala, the Draba asterophora v., or the Rorippa subumbellata? Y N
- b. If yes, have modifications been included in the project to protect these plant communities? Y N

CATEGORY: WILDLIFE

THRESHOLD: SPECIAL INTEREST SPECIES

INDICATOR: number of habitat sites

1. a. Will the project result in the loss, modification or increased disturbance of habitat site for goshawk, osprey, bald eagle, (winter and nesting), golden eagle, peregrine falcon, waterfowl, or deer, as mapped on official TRPA maps? Y N
- b. If yes, have modifications been included in the project to protect these habitat sites? Y N

CATEGORY: FISHERIES

THRESHOLD: EXCELLENT STREAM HABITAT

INDICATOR: sites of excellent stream habitat

1. a. Does the project include stream channelization, stream dredging, removal of rock or gravel from a stream , culverts, bridges, or water diversions affecting a stream identified as fish habitat? Y N
- b. If yes, have modifications been included in the project to offset impacts on stream habitat and contribute to the upgrading of stream habitat? Y N
2. a. Will the project result in siltation, urban runoff, snow disposal, or litter that may affect water quality in a stream identified as fish habitat? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N

THRESHOLD: GOOD STREAM HABITAT

INDICATOR: miles of good stream habitat

1. a. Refer to questions 1 and 2, above.

THRESHOLD: MARGIANL STREAM HABITAT

INDICATOR: miles of marginal stream habitat

1. a. Refer to questions 1 and 2, above.

THRESHOLD: INSTREAM FLOWS

INDICATOR: increase flows

- 1. a. Does the project include new water diversions? Y N
- b. If yes, is there evidence in the record to indicate that flows will remain within adopted TRPA standards or, in the absence of adopted standards, that flows will not be diminished? Y N
- 2. a. Does the project include new coverage or disturbance that could contribute to uncontrolled runoff reaching a stream identified as fish habitat? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N
- 3. a. Refer to question 5, turbidity, above.

THRESHOLD: LAKE HABITAT

INDICATOR: area of excellent habitat

- 1. a. Does the project include development in the shorezone, removal of rock or gravel from the lake, or removal of vegetation in the shorezone? Y N
- b. If yes, is the project consistent with Chapters 80-86? Y N
- 2. a. Does the project increase the potential for siltation, runoff, or erosion entering Lake Tahoe? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N

CATEGORY: NOISE

THRESHOLD: COMMUNITY NOISE EQUIVALENT LEVEL (CNEL)

INDICATOR: dBA, CNEL

- 1. a. Does the project involve the creation of a new or relocated land use? Y N
- b. If yes, is the project consistent with the applicable plan area statement? Y N
- 2. a. Is the project located within a transportation corridor as mapped on TRPA maps? Y N
- b. If yes, does the project include components to reduce the transmission of noise from the corridor, in accordance with the TRPA Design Review Guidelines? Y N

CATEGORY: SCENIC RESOURCES

THRESHOLD: ROADWAY AND SHORELINE RATINGS

INDICATOR: ratings

- 1. a. Is the project located within, or visible from, a roadway or shoreline unit targeted for scenic upgrading? Y N
- b. If yes, is the project consistent with the TRPA Scenic Quality Implementation Program (SQUIP)? Y N
- 2. a. Is the project located within, or visible from, a roadway or shoreline unit not targeted for scenic upgrading? Y N
- b. If yes, is there evidence in the record that the project will not cause a significant decrease in scenic quality, and is the project consistent with the TRPA Design Review Guidelines? Y N

CATEGORY: RECREATION

THRESHOLD: PRESERVE AND ENHANCE THE HIGH QUALITY RECREATION EXPERIENCE

INDICATOR: dispersed rec. capacity

- 1. a. Is the project located in a conservation or recreation plan area? Y N
- b. If yes, is the project consistent with the applicable plan area statement? Y N

CATEGORY: CODE/RULES OF PROCEDURE REQUIREMENTS

- 1. Does the project require Governing Board Review (Chapter 2)? Y N
- 5. Does the project require notice to adjacent property owners (Art. XII Rules of Procedure)? Y N

6. Is the project consistent with the following:

Chapter 2	(Project Review)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 6	(Tracking-Data Sheets/Log Book)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 21	(Permissible Uses)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 22	(Temporary Uses)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 30	(Coverage)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 31	(Density)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 32	(Basic Service)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.3	(Grading)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.4	(Special Reports)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.5	(Construction Schedule)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.6	(Vegetation Protection)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 34	(Driveways)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 34	(Parking)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 35	(Natural Hazards-Floodplain)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 36	(Design Standards)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 37	(Height)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 38	(Signs)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 50	(Allocations)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 51	(Transfers)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 52	(Bonus Units-MFD only)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 53	(IPES)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 60	(BMP's)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 60.1	(Water Quality)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 60.2	(Water Quality Mitigation)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.1	(Tree Removal)	N/A	<input type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.3.6	(Sensitive Plants/Fire Hazard)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.4	(Revegetation)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 62	(Wildlife)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 63	(Fish)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 65.1	(Air Quality)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 65.2	(Traffic/Air Quality Mitigation)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 67	(Historic Resource)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>