TAHOE REGIONAL PLANNING AGENCY

Mail
PO Box 5310
Stateline, NV 89449-5310

Location
128 Market Street
Stateline, NV 89449

Contact
Phone: 775-588-4547
Fax: 775-588-4527
www.trpa.gov

Date: August 10, 2023

To: TRPA Hearings Officer

From: TRPA Staff

Subject: Murphy Demolition/Rebuild of Eligible Historic Resource
747 Lakeview Avenue, City of South Lake Tahoe, California
APN 026-021-011, TRPA File Number ERSP2023-0004

Requested Action:
Hearings Officer action on the proposed project and a finding of no significant environmental effect.

Staff Recommendation:
Staff recommends the Hearings Officer make the required findings (Attachment A) and approve the proposed project based on this staff summary and the evidence contained in the project record. The recommended conditions of approval are contained in the attached Draft Permit (see Attachment B).

Project Description/Background:
The subject property is a single-family residence located at 747 Lakeview Avenue in the City of South Lake Tahoe, California. The property has a two-story cabin, rear and front decks, and a garage that is shared with the adjacent property at 741 Lakeview Avenue. The existing cabin was built in 1930 and is an eligible historic resource. It is significant for its architectural integrity. The building is a remaining example of the Tahoe Rustic architecture built during the first half of the twentieth century.
The project proposes to demolish the existing cabin and replace it with a new two-story residence with a deck on the north side of the residence, a pervious paver patio, and associated flatwork. The property is visible from Lake Tahoe, and as such a scenic assessment has been prepared. Best Management Practices will be installed on the entire property as part of this project.

Staff Analysis:

A. Environmental Documentation: TRPA staff has completed the "Project Review Conformance Checklist and Article V (g) Findings" in accordance with Subsection 4.4.2 of the TRPA Code of Ordinances. All responses contained on said checklist indicate compliance with the environmental threshold carrying capacities. A copy of the completed checklist will be made available at the Hearings Officer meeting and at TRPA.

B. Plan Area Statement: The project is located within Plan Area 099 –Al Tahoe, Special Area 1. The Land Use Classification is Residential, and the Management Strategy is Redirection. Agency staff has reviewed the subject Plan Area and has determined that the project is consistent with the applicable planning statement, planning

considerations, and special policies. The proposed use (single family dwelling) is listed as an allowed use.

C. Land Coverage*:* This project complies with the land coverage requirements in Chapter 30 of the TRPA Code of Ordinances. The parcel is verified as Land Capability Class 7, with a portion of the property within the backshore of Lake Tahoe. The parcel is 13,870 square feet in area with 3,416 square feet of base allowed coverage. A total of 4,438 square feet of coverage was previously approved as part of permit 19960679STD, and therefore considered legally existing. The project will utilize coverage exemptions defined in Chapter 30 of the TRPA Code of Ordinances and will create a total of 4,361 square feet of coverage. As a result of the project 77 square feet of Class 7 coverage will be banked on-site for future use. There is a five-foot-wide pedestrian access easement along the northern property line. The coverage rights within the easement area have been accrued to the City of South Lake Tahoe (Resolution 1993-39).

D. Density: This project complies with residential density requirements of the TRPA Code of Ordinances.

E. Historic Resources: The residence on the property is considered eligible as a historic resource by TRPA for planning purposes (Historic Determination file HIST2022-0940). It is significant for its architectural integrity. The building is a remaining example of the Tahoe Rustic architecture built during the first half of the twentieth century. It has not been nominated for designation as a historic resource per TRPA Code section 67.5, typically reserved for structures maintaining a high level of significance for Lake Tahoe (e.g. Camp Richardson or Thunderbird Lodge), and is not located within a recognized historic district. Additions, reconstruction, or demolition of eligible or designated historic resources requires review and approval by a Hearings Officer in accordance with Section 2.2.2.2.c of the TRPA Code. A resource recovery plan was prepared by two qualified Architectural Historians per the US Secretary of Interior Standards as mitigation for the loss of the eligible historic resource (Attachment E).

F. Scenic: This property is visible from scenic shoreline unit #32- Al Tahoe, which is currently in-attainment with scenic thresholds. The project proposes to achieve a contrast rating score of 24, which allows 1,035 square feet of visible area. With mitigation, the project results in 802 square feet of total visible area.

Contact Information:
If you have any questions, please contact Julie Roll, Senior Planner at jroll@trpa.gov or (775) 589-5247.

Required Actions:
Staff recommends that the Hearings Officer take the following actions:

I. Approve the findings contained in this staff summary, and a finding of no significant environmental effect.

II. Approve the project, based on the staff summary, and record evidence, subject to the conditions contained in the attached Draft TRPA Permit (Attachment B).

Attachments:

A. Required Findings/Rationale
B. Draft Permit
C. Site Plans
D. Photos
E. Resource Recovery Plan
F. Initial Environmental Checklist

Attachment A
Required Findings/Rationale

Attachment A: Required Findings/Rationale

The following is a list of the required findings as set forth in Chapters 4, 30, 37, and 67 of the TRPA Code of Ordinances. Following each finding, Agency staff have indicated if there is sufficient evidence contained in the record to make the applicable findings or have briefly summarized the evidence on which the finding can be made.

1. Chapter 4 – Required Findings:

   (a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

   Based on the findings provided on the Initial Environmental Checklist and the Article V(g) Findings Checklist, there is sufficient evidence in the project file to make this finding.

   (b) The project will not cause the environmental threshold carrying capacities to be exceeded.

   The project meets the provisions of the TRPA Code of Ordinances; no significant environmental impacts will occur, and it will not cause the environmental threshold carrying capacities to be exceeded.

   (c) Wherever federal, state or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TPRA Compact, the project meets or exceeds such standards.

   All potential effects are temporary and shall be mitigated through temporary and permanent Best Management Practices (BMPs). The applicant will meet or exceed all federal, state, or local water quality standards. Upon completion of construction, the project will have no impact upon water quality standards.

2. Chapter 30- Relocation of TRPA-Verified Existing Land Coverage

   (a) The relocation is to an equal or superior portion of the parcel or project area, as determined by references to the following factors:

      1. Whether the area of relocation already has been disturbed

      The area of relocation was previously disturbed during construction of the original residence in 1930.

      2. The slope of and natural vegetation on the area of relocation

      The slope and vegetation (species and coverage) are consistent across the portion of the parcel where coverage relocation will occur.

      3. The fragility of the soil on the area of relocation

Coverage relocation will occur on the high capability portion of the parcel (Class 7). This area is flat, with well-draining soil that is not prone to erosion.

4. Whether the area of relocation appropriately fits the scheme of use of the property

   The new residence will be located in approximately the same location as the existing residence. Coverage will be relocated for access and flatwork, but the overall use of the property will remain the same.

5. The relocation foes not further encroach into a stream environment zone, backshore, or the setbacks established in the Code for the protection of stream environment zones or backshore

   Existing coverage within the backshore will remain in its current location, with no additional backshore coverage added. Coverage relocation will occur in the Class 7 portion of the property.

6. The project otherwise complies with the land coverage mitigation program set forth in section 30.6

   Excess coverage mitigation fees will be assessed as part of the permit.

(b) The area from which the land coverage was removed for relocation is restored in accordance with Subsection 30.5.3.

The conditional permit contains a condition requiring that all disturbed areas be restored and revegetated.

(c) The relocation is not to Land Capability Districts 1a, 1b, 1c, 2, or 3 from any higher numbered land capability district.

All coverage relocation will be within the Class 7 portion of the parcel. No additional coverage will be added to the backshore.

(d) If the relocation from one portion of a stream environment zone to another portion, there is a net environmental benefit to the stream environment zone.

No relocation of coverage within a stream environment zone is proposed.

(e) Retirement of land coverage in the affected stream environment zone in the amount of 1.5:1 of the amount of land coverage being relocated within a stream environment zone; or

No relocation of coverage within a stream environment zone is proposed.

(f) For projects involving the relocation of more than 1,000 square feet of land coverage within a stream environment zone, a finding, based on a report prepared by a qualified

professional, that the relocation will improve the functioning of the stream environment zone and will not negatively affect the quality of existing habitats.

No relocation of coverage within a stream environment zone is proposed.

3. Chapter 37- Approval of Building Heights Greater than 26 feet.
Additional height for roof pitch greater than 5:12

(a) Finding 1: When viewed from major arterials, scenic turnouts, public recreation areas or the waters of Lake Tahoe, from a distance of 300 feet, the additional height will not cause a building to extend above the forest canopy, when present, or a ridgeline. For height greater than that set forth in Table 37.4.1-1 for a 5:12 roof pitch, the additional height shall not increase the visual magnitude beyond that permitted for structures in the shoreland as set forth in subsection 66.3.7. Additional Visual Magnitude, or Appendix H, Visual Assessment Tool, of the Design Review Guidelines.

As viewed from Lake Tahoe, the proposed building height will not extend above the forest canopy as the maximum building height will be 30-feet 8 ½ inches. As seen on the elevation/perimeter screening plan, the trees extend well beyond the proposed roof.

(b) Finding 2: When outside a community plan, the additional height is consistent with the surrounding uses.

The proposed two-story house is consistent with surrounding development in the neighborhood. Almost all the homes in close proximity to this property are two-stores tall.

(c) Finding 8: The maximum building height at any corner of two exterior walls of the building is not greater than 90 percent of the maximum building height. The maximum height at the corner of two exterior walls is the difference between the point of lowest natural ground elevation along an exterior wall of the building and point at which the corner of the same exterior wall meets the roof.

The architectural design is such that the maximum height at any corner does not exceed 90% of the maximum building height.

4. Chapter 67-Historic Resource Protection: Historic resources shall not be demolished, disturbed, or removed unless TRPA finds that:

A. The action will not be detrimental to the historic significance of the resource;

B. The action is pursuant to a recovery plan approved by the applicable state historic preservation office;

OR

C. It is the only feasible alternative to protect the health and safety of the public.

Two qualified Architectural Historians per the US Secretary of Interior Standards prepared a resource recovery plan for the property. Pursuant to the existing TRPA Code of Ordinances section 67.7.3.B,the plan was submitted to the California State Historic Preservation Office on May 12, 2023, but they declined to provide any comments. As of July 2023, both the California and Nevada State Historic Preservation Offices will no longer review projects and mitigation measures on private properties within the Lake Tahoe Basin per their request. TRPA is in the process of amending the applicable Code sections including 67.7.3.B and finding 4.B above, scheduled for consideration of approval by the TRPA Governing Board September 2023. The revised proposed language reads a “the action is pursuant to a recovery plan approved by TRPA.”

Attachment B
Draft Permit

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August 17, 2023

Exline & Company, Inc.
P.O. Box 16789
South Lake Tahoe, CA 96151
general@exlineandcompany.com

MURPHY SINGLE FAMILY DWELLING DEMOLITION/REBUILD, 747 LAKEVIEW AVENUE, CITY OF SOUTH LAKE TAHOE, CALIFORNIA, ASSESSOR'S PARCEL NUMBER (APN) 026-021-011, TRPA FILE NUMBER ERSP2023-0004

Dear Exline & Company:

Enclosed please find the Tahoe Regional Planning Agency (TRPA) permit and attachments for the project referenced above. If you accept and agree to comply with the Permit conditions as stated, please make a copy of the permit, sign the "Permittee's Acceptance" block on the first page the Permit, and return the signed copy to TRPA within twenty-one (21) calendar days of issuance. Should the permittee fail to return the signed permit within twenty-one (21) calendar days of issuance, the permit will be subject to nullification. Please note that signing the permit does not in itself constitute acknowledgement of the permit, but rather acceptance of the conditions of the permit.

TRPA will acknowledge the permit only after all standard and special conditions of approval have been satisfied. Please submit a final digital set of plans and a signed copy of the permit.

Pursuant to Rule 11.2 of the TRPA Rules of Procedure, this permit may be appealed within twenty-one (21) days of the date of this correspondence.

Thank you very much for your attention to this matter. If you have questions, please feel free to contact me by phone at (775) 589-5247 or by email at jroll@trpa.gov.

Sincerely,

Julie Roll

Julie Roll
Senior Planner
Permitting & Compliance Department

cc. The Murphy Family, shahbhome@yahoo.com

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DRAFT PERMIT

PROJECT DESCRIPTION: Single Family Dwelling Rebuild

APN: 026-021-011

PERMITTEE(S): Stephen & Michelle Murphy

FILE #: ERSP2023-0004

COUNTY/LOCATION: El Dorado/747 Lakeview Ave.

Having made the findings required by Agency ordinances and rules, the Hearings Officer approved the project on August 17, 2023 subject to the standard conditions of approval attached hereto (Attachment R) and the special conditions found in this permit.

This permit shall expire on August 17, 2026 without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Commencement of construction consists of pouring concrete for a foundation and does not include grading, installation of utilities or landscaping. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action which delayed or rendered impossible the diligent pursuit of the permit.

NO DEMOLITION, TREE REMOVAL, CONSTRUCTION OR GRADING SHALL COMMENCE UNTIL:

(1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
(2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
(3) THE PERMITTEE OBTAINS A CITY BUILDING PERMIT. TRPA'S ACKNOWLEDGEMENT IS NECESSARY TO OBTAIN A CITY BUILDING PERMIT. THE CITY PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
(4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

_____ _____
TRPA Executive Director/Designee Date

PERMITTEE'S ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of Permittee(s)_____ Date_____

PERMIT CONTINUED ON NEXT PAGE

APN 026-021-011
FILE NO. ERSP2023-0001

Security Posted (1): Amount $3,300 Type ___Paid _____ Receipt No. _____

Security Administrative Fee (2): Amount $242 Paid _____ Receipt No. _____

Scenic Monitoring Security (3): Amount $5,000 Type ____Paid _____ Receipt No. _____

Security Administrative Fee (2): Amount $242 Paid _____ Receipt No. _____

Scenic monitoring Inspection Fee (3): Amount $141 Paid _____ Receipt No. _____

Excess Coverage Mitigation Fee (4): Amount $8,347 Paid _____ Receipt No. _____

Notes:
(1) See Special Condition 5.B
(2) Subject to change; see TRPA Filing Fee Schedule for current administrative fee.
(3) See Special Condition 5.C
(4) See Special Condition 5.D

Required plans determined to be in conformance with approval: Date: _____

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date:

_____ _____
TRPA Executive Director/Designee Date

SPECIAL CONDITIONS

1. This permit specifically authorizes the demolition and reconstruction of a lakefront single-family dwelling. The project includes a new residence, deck, patio, and walkways. The existing detached garage will be refurbished in its existing location. The property is verified as land capability class 7 and 1b (backshore) with a total of 4,438 square feet of verified existing coverage. The project will use 4,361 square feet of coverage with 77 square feet of class 7 coverage to be banked on-site for future use. New Water Quality Best Management Practices will be installed, and certificate of completion # 12818 will be reissued once the project passes final inspection.

2. The property is visible from Shoreline Scenic Unit 32- Al Tahoe, which is currently in attainment with scenic thresholds. The project was reviewed under and complies with Level 5, Option 2 of the Visual Magnitude System (Section 66.3.3) of the TRPA Code of Ordinances). A contrast rating score of 24 will be achieved, and therefore the total square feet of visible area allowed for this project is 1,035 square feet. With the proposed mitigation, the approved visible area for this project is 802 square feet.

3. The existing residence was built in 1930 and is treated as an eligible historic resource for planning purposes. The resource recovery plan prepared by Summit Envirosolutions serves as mitigation for the loss of the historic resource.

4. The Standard Conditions of Approval listed in Attachment R shall apply to this permit.

5. Prior to permit acknowledgement, the following conditions of approval must be satisfied:

   A. Revise the plans as follows:

      (1) Remove the RCI Topographic and Coverage Survey (Sheet 2 of 2) from the final plan set. This sheet has conflicting coverage information, as the coverage within the access easement was not deducted.

      (2) Include the mitigated contrast rating scores on the elevation/perimeter sheet to show that a contrast rating score of 24 will be achieved with vegetative screening.

   B. The security required under Standard Condition A.3 of Attachment R shall be $3,300.00. Please see Attachment J, Security Procedures, for appropriate methods of posting the security and for calculation of the required security administration fee.

   C. The shorezone scenic security of $5,000 shall be required per TRPA Code of Ordinances Section 5.9. Please see Attachment J, Security Procedures, for appropriate methods of posting the security and for calculation of the required security administration fee. A $141 non-refundable inspection/review fee is due at permit acknowledgement.

   D. The affected property has 982 square feet of excess land coverage. To take advantage of coverage exemptions, the permittee shall mitigate all of the excess land coverage on this property by removing and retiring 982 square feet of coverage within Hydrologic Transfer Area South Stateline - California side, or by submitting an excess coverage mitigation fee of $8,347.

   E. A copy of the recovery plan report shall be donated to the Lake Tahoe Historical Society. The applicant shall provide evidence, such as a certified mail receipt or receipt of delivery, of such donation.

   F. Submit a physical sample of the proposed metal roof to demonstrate that it has a low glare/non-reflective finish.

   G. The permittee shall submit an electronic version of the final revised plan set.

6. By acceptance of this permit, the permittee agrees that the scenic mitigation authorized under this permit shall be maintained in perpetuity. Failure to meet scenic mitigation requirements is a violation of the permit and TRPA Code of Ordinance Section 5.4 and is subject to enforcement actions. If substantial changes to the approved plan are found by the TRPA Compliance Inspector, a post construction scenic analysis may be required.

A contrast rating score of 24 must be achieved to comply with the required scenic mitigation and qualify for security return. The project has a maximum of 5 years from final inspection to meet the necessary requirements. When the scenic mitigation requirements have been met, the following documentation shall be submitted at: https://www.trpa.gov/inspections-and-securities/.

- Post construction photos taken from 300 feet and one quarter mile offshore, with at least one photo from center and perpendicular to the project area, and photos of onsite existing conditions.

7. Tree roots must be protected during excavation to prevent damage to the tree. The following practices are recommended:

   - Tree roots four inches in diameter or greater shall not be severed, if avoidable. Hand dig around roots if necessary.
   - If roots cannot be avoided, cut as far away from the trunk as possible.
   - A clean, vertical cut will provide more protection for the tree than leaving roots torn or crushed.
   - Construction materials shall not be stored within the dripline of the tree.

8. Prior to security release photos shall be provided to TRPA taken during the construction of any subsurface BMP's or of any trenching and backfilling with gravel.

9. All Best Management Practices (BMPs) shall be maintained in perpetuity to ensure effectiveness which may require BMPs to be periodically reinstalled or replaced.

10. Temporary and permanent BMPs may be field fit by the Environmental Compliance Inspector where appropriate.

11. All exterior lighting shall be consistent with TRPA Code of Ordinances Section 36.8 Exterior Lighting Standards. Specifically, all exterior lighting shall be fully shielded and directed downward so as not to produce obtrusive glare onto the public right-of-way or adjoining properties. Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures projected above the horizontal is prohibited.

12. All areas where coverage is removed for relocation must be restored in accordance with the revegetation standards in Sections 61.4 and 36.7 of the TRPA Code of Ordinances.

13. Maximum excavation depth shall not exceed five feet.

14. The permittee is responsible for ensuring that the project, as built, does not exceed the approved land coverage figures shown on the site plan. The approved land coverage figures shall supersede scaled drawings when discrepancies occur.

15. This approval is based on the permittee's representation that all plans and information contained in the subject application are true and correct. Should any information or

representation submitted in connection with the project application be incorrect or untrue, TRPA may rescind this approval, or take other appropriate action.

16. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board, its Planning Commission, its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

Attachment C
Site Plans

MR. + MRS. STEVE MURPHY
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

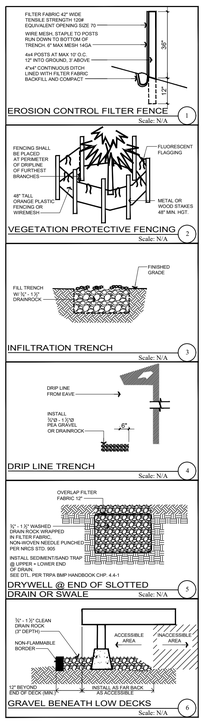
BEST MANAGEMENT PRACTICES:

PROVIDE TEMPORARY BMP INSTALLATION DURING CONSTRUCTION TO CAPTURE SEDIMENT RUN-OFF FOR THE CONSTRUCTION AREA AND TO PROTECT EXISTING VEGETATION. PROVIDE PERMANENT BMP INSTALLATION BY PROJECT COMPLETION (***SEE SHEET BMP***), INCLUDING: RE-VEGETATION OF BARREN AREAS; DRIP LINE INFILTRATION TRENCHES; DRIVEWAY INFILTRATION; PARKING BARRIERS; SLOPE STABILIZATION AND GRAVEL BENEATH DECKS AND PORCHES.

INFILTRATION TRENCH SIZES:

A	ROOF-A	31.5'L x 24"W x 4"D
B	ROOF-B	31.5'L x 24"W x 4"D
C	ROOF-C	7'L x 24"W x 4"D
D	ROOF-D	10'L x 24"W x 4"D
E	ROOF-E	44'L x 24"W x 4"D
F	ROOF-F	25.5'L x 24"W x 4"D
G	ROOF-G	65.5'L x 24"W x 4"D
H	ROOF-H	45'L x 6"W x 6"D

SEE BMP CALCS



SEE SHEET BMP

ARBORIST RECOMMENDATIONS:

(IF REQUIRED) FUTURE UTILITIES TO DOCK SHALL BE BROUGHT DOWN MIDDLE OF PROPERTY TO CREATE THE LEAST ROOT DISTURBANCE TO NEARBY TREES.

CARE SHALL BE TAKEN WITH ALL TREES IN THE VICINITY OF FENCES PROPOSED TO BE REMOVED OR INSTALLED.

CARE SHALL BE TAKEN WITH ALL TREES AND GRASS ON SLOPE ABOVE RETAINING WALL TO HELP STABILIZE THIS SLOPE. CARE SHALL BE TAKEN OF THESE TREE ROOTS DURING CONSTRUCTION OF THE RETAINING WALL.

AT PUBLIC PATH, SEE ARBORIST REPORTS FOR ANY REQUIREMENTS TO BE MET.

SEE ARBORIST REPORT DATED 11.13.2022 BY SINNOTT CONSULTING FOR FURTHER DETAILS ON TREE PROTECTION AND ROOT PRUNING PROCEDURES.

LAND COVERAGE INFORMATION:

747 LAKEVIEW - APN: 026-021-011

VERIFIED COVERAGE PER TRPA FILE# 960679; 950108 + 11/27/95 LETTER

LAND CLASS	1b/BACKSHORE 1%	CLASS 7 30%	TOTAL
LAND AREA	1,995	11,928	13,923
ALLOWABLE COVERAGE	20	3,578	3,598
HOUSE		969	969
GARAGE		1,145	1,145
CONCRETE WALKS		520	520
DECK, PORCH + STAIRS	235	1,459	1,694
COMPACTED DIRT DRIVE		110	110
TOTAL VERIFIED COVERAGE	**235**	**4,203**	**4,438**
EXCESS COVERAGE	215	625	840
EXISTING OFF-SITE COVERAGE			
COMPACTED DIRT DRIVE		696	696

PROPOSED COVERAGE

LAND CLASS	1b/BACKSHORE 1%	CLASS 7 30%	TOTAL
LAND AREA	2,570	11,300	13,870
ALLOWABLE COVERAGE	26	3,390	3,416
RESIDENCE	0	1,887	1,887
STOOP	0	62	62
EXISTING GARAGE	0	1,160	1,160
ASPHALT	0	46	46
PERVIOUS PAVER WALKWAY	0	550	550
PERVIOUS PAVER FIREPLACE TERRACE	0	297	297
PERVIOUS DECK	404	571	975
STAIRS	80	0	80
MECHANICAL PAD	0	81	81
PROPOSED COVERAGE	**484**	**4,654**	**5,138**
COVERAGE EXEMPTIONS		777	777
PROPOSED COVERAGE W/ EXEMPTIONS	***484***	***3,877***	***4,361***

PERVIOUS COVERAGE EXEMPTIONS

PERVIOUS DECK	0	565	565
PERVIOUS PAVER WALKWAY	0	138	138
PERVIOUS PAVER FIREPLACE TERRACE	0	74	74
TOTAL COVERAGE EXEMPTIONS	0	777	777

PERVIOUS DECK CALCULATIONS

PROPOSED PERVIOUS DECK	0	571	571
MAX. PERVIOUS DECK EXEMPTION	0	565	565
PROPOSED DECK COVERAGE	0	6	6
** 5% OF NON-SENSITIVE LANDS*			

PROPOSED OFF-SITE COVERAGE

ASPHALT	0	595	595
COMPACTED DIRT PARKING	0	147	147
TOTAL OFF-SITE COVERAGE	0	742	742

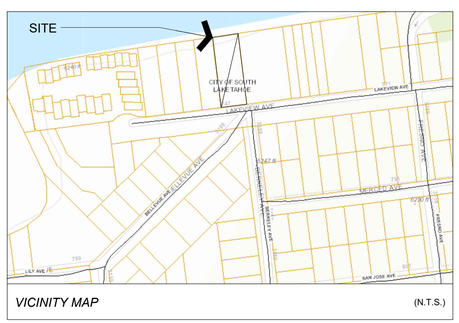
SLOPE CALCULATION ACROSS BLDG. SITE:

CROSS SLOPE = (6249 - 6249) / 72 = 0.000 x 100 = 0%

ROOF AREA CALCULATIONS:

747 LAKEVIEW:

RESIDENCE	2,275 SF
EXISTING GARAGE	1,191 SF
TOTAL:	*3,466 SF*



VICINITY MAP (N.T.S.)

PROJECT DESCRIPTION:

PROPOSED PROJECT CONSISTS OF A 2-STORY SINGLE-FAMILY RESIDENCE w/ (E) DETATCHED 3-CAR GARAGE. SITE IMPROVEMENTS INCLUDE REFURBISHING THE (E) REAR DECK. CURRENT PROPOSAL REDUCES AND REPLACES PREVIOUSLY PERMITTED 2-STORY SINGLE-FAMILY RESIDENCE PROJECT ON THIS SITE.

GENERAL INFORMATION:

PROJECT SITE: APN 026-021-011

PROPERTY ADDRESS: 747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA.
EL DORADO COUNTY

PROPERTY OWNER: MR. + MRS. STEVE MURPHY

PROJECT AREA:

RESIDENCE:	1,887 SF
(E) GARAGE:	1,160 SF
TOTAL PROJECT:	3,047 SF

BUILDING CODE DATA:

OCCUPANCY GROUP: R-1

USE: SINGLE FAMILY RESIDENTIAL

CONSTRUCTION TYPE: V-B

APPLICABLE CODES:

ALL CONSTRUCTION SHALL COMPLY WITH **2019 EDITIONS** OF:
CALIFORNIA RESIDENTIAL CODE (CRC)
CALIFORNIA MECHANICAL CODE (CMC)
RESIDENTIAL + NON-RESIDENTIAL ENERGY STDS
CALIFORNIA FIRE CODE (CFC)
CALIFORNIA PLUMBING CODE (CPC)
CALIFORNIA ELECTRICAL CODE (CEC)
CAL GREEN
CITY ORDINANCES + STATE LAWS
WILDLAND URBAN INTERFACE (WUI)

SHEET INDEX:

(*) = FUTURE BUILDING SHEETS

SUBMITTALS TO BE DEFERRED AND STAMPED BY ARCHITECT OR ENGINEER OF RECORD: TRUSS CALCS. AND SHOP DRAWINGS; FIRE SPRINKLER + ALARM DRAWINGS.

CONSULTANTS:

DESIGNER
FORM+ONE DESIGN
CONTACT: TIM RADUENZ
4843 SILVER SPRINGS DR.
PARK CITY, UT. 84098
P: 415.819.0304
E: tim@formonedesign.com

OWNERS
MR. + MRS. STEVE MURPHY
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA. 96150

INTERIOR DESIGNER
TRUESTYLE + DESIGN
CONTACT: SHANNON MASTALIR
P: 415.215.0367
E: shantbhome@yahoo.com

LANDSCAPE ARCHITECT
RO ANDERSON
CONTACT: MARIE HULSE
1603 ESMERALDA AVE
MINDEN, NV. 89423
P: 775.782.2322

SURVEYOR
RESOURCE CONCEPTS INC.
CONTACT: JASEN SOLT, PLS
340 N. MINNESOTE ST.
CARSON CITY, NV. 89703
P: 775.883.1600

ARBORIST
SINNOTT CONSULTING ISA
CERTIFIED ARBORIST
P.O. BOX 3293
CARSON CITY, NV. 89702
P: 775.721.1231

SCENIC ANALYSIS
3DFX DESIGN
CHICO, CA.
P: 530.682.0535
E: asouza@3dfxdesign.com

STRUCTURAL
T.B.D.
-
-
P: -
E: -

TRPA CONSULTANTS
EXLINE + COMPANY INC.
P.O. BOX 16789
SOUTH LAKE TAHOE, CA. 96151
P: 775.240.9361

TITLE 24
NRG COMPLIANCE INC.
P.O. BOX 3777
SANTA ROSA, CA. 95402
P: 707.237.6957
E: asouza@3dfxdesign.com

PRELIMINARY 3D

STPUD NOTES:

1" LINE TO SERVICE DOMESTIC WATER TO RESIDENCE.
1" LINE TO SERVICE FIRE SPRINKLER SYSTEM TO RESIDENCE.

DEFENSIBLE SPACE REQUIREMENTS:

REF. GUIDELINES FOR CREATING DEFENSIBLE SPACE AT www.livingwithfire.info/tahoe

1. ALL DEAD VEGETATION INCLUDING TREES, BRUSH AND OTHER VEGETATION SHALL BE REMOVED.
2. ALL RESIDUAL TREES SHALL BE LIMBED TO 10' FROM THE GROUND, AT THE HIGH SIDE OF THE NATURAL SLOPING GRADE. REMOVAL OF MIDDLE BRANCHES SHALL NOT EXCEED ⅓ OF THE TOTAL TREE HEIGHT. IF MORE THAN ⅓ OF THE LIVE CROWN IS REMOVED TO ACHIEVE THIS LIMBING THEN USE GUIDELINES IN #6 BELOW.
3. ALL RESIDUAL TREES SHALL BE LIMBED TO ACHIEVE 10' OF CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE, IF LESS THAN 60% OF THE LIVE CROWN REMAINS AFTER LIMBING, THEN THE TREE SHALL BE REMOVED.
4. ALL BRUSH, TREES OR FLAMMABLE MATERIAL SHALL BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPS.
5. NO FLAMMABLE MATERIAL SHALL BE WITHIN 5' OF THE FOUNDATION OR SUPPORT POSTS OF ANY PART OF THE HOUSE.
6. TREE CANOPIES SHALL BE SPACED 10' APART, BETWEEN EDGES OF CROWNS, WHEN THEY ARE LOCATED 5' TO 30' FROM THE HOUSE. TREES GROUPED CLOSE TOGETHER ACTING AS ONE UNIT SHALL MEET ALL OTHER REQUIREMENTS. LARGE STANDS OF TREES LOCATED 30' TO 100' FROM THE HOUSE SHALL REMAIN IF ALL VEGETATION UNDERNEATH THEM ARE REMOVED.
7. BRUSH FIELDS SHALL BE SPACED HORIZONTALLY A MINIMUM DISTANCE OF 2X THE HEIGHT OF THE BRUSH, WHEN THEY ARE LOCATED 5' TO 30' FROM THE HOUSE. INDIVIDUAL BRUSH PLANT SHALL BE MAXIMUM 100 SF IN AREA AND 3' HIGH.

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

PLANNING SET

Title : TITLE PAGE
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RADUENZ
Date : 12.08.22

T1.0

Sheet

Scale: See Details

AGENDA ITEM NO. V. A.

MECHANICAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROPER DESIGN AND INSTALLATION OF MECHANICAL SYSTEM. SEE MECHANICAL DWGS. BY OTHER FOR SPECIFIC INFORMATION.
3. MECHANICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE DISTRIBUTION SYSTEM PER TITLE 24. MECH. CONTRACTOR TO FIELD VERIFY AND DETERMINE SIZE AND CONFIGURATION OF DUCTS AND REGISTER. SEE SHEET INDEX FOR LOCATION OF TITLE 24 CONFORMANCE WORKSHEETS AND ENERGY COMPLIANCE NOTES WITHIN THIS SET. HVAC DUCTS LOCATED IN ATTIC SPACE SHALL BE PLACED AS CLOSE TO PERIMETER AS POSSIBLE SO AS NOT TO INTERFERE WITH USEABLE ATTIC STORAGE SPACE.
4. MECHANICAL LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY.
5. PROVIDE COMBUSTION AIR SUPPLY TO GAS FIRED APPLIANCES BY COMBUSTION AIR DUCTS PER (CMC) & CPC. VERIFY DUCT SIZE WITH MANUFACTURER'S SPECIFICATIONS.
6. FURNACES OR BOILERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA MECHANICAL CODE (CMC)
7. PER CMC, COMBUSTION AIR DUCTS FROM THE ATTIC SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12 INCHES OF THE ENCLOSURE. DUCTS SHALL BE SEPARATE AND SHALL NOT BE OBSTRUCTED.
8. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED BY CMC. WATER HEATERS TO BE SECURED WITH A MINIMUM OF 2 STRAPS, ONE EACH TO BE LOCATED IN THE UPPER AND LOWER THIRD OF THE UNIT.
9. UNDERCUT ALL INTERIOR DOORS (AS APPROPRIATE) FOR AIR RETURN CIRCULATION TO VENTS, TYPICAL OF INTERIOR CONDITIONED SPACES.
10. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
11. ALL FIXTURES TO BE SELECTED (OR APPROVED) BY OWNER.
12. EXHAUST FANS IN LAUNDRY AND BATHROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. EXHAUST FAN VENTS MUST TERMINATE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING AND BE PROVIDED WITH BACKDRAFT DAMPERS.
13. AT NEW FORCED AIR FURNACE INSTALLATIONS PROVIDE 3' MIN. WORKING SPACE ALONG EACH SIDE (WITH A TOTAL OF AT LEAST 12" ON BOTH SIDES COMBINED), BACK AND TOP OF FURNACE.
14. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

PLUMBING NOTES:
1. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
2. ALL FIXTURES TO BE SELECTED AND (OR APPROVED) BY OWNERS.
3. ALL NEW WATER CLOSETS SHALL BE 1.28 GALLON/FLUSH MAXIMUM.
4. NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR-GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAINBOARD, WHICHEVER IS HIGHER
5. (N) ELECTRIC WATER HEATER PER T24 REQUIREMENTS

ELECTRICAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRIC CODE (CEC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
2. PER CEC, ALL ELECTRICAL RECEPTACLES INSTALLED AT CRAWL SPACES AT OR BELOW GRADE, AND OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (G.F.C.I.) PROTECTION. ALL RECEPTACLES LOCATED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (G.F.C.I.) PROTECTION.
3. SMOKE DETECTORS SHALL BE INSTALLED PER CBC. A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO ROOMS USED FOR SLEEPING PURPOSES. A DETECTOR SHALL BE INSTALLED ON EACH LEVEL OF A MULTI-STORY DWELLING, INCLUDING BASEMENT LEVELS. IN SPLIT-LEVEL OR MULTI-LEVEL FLOORS, A SMOKE DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL, OR ON BOTH LEVELS IF THE LOWER LEVEL CONTAINS SLEEPING AREAS. WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS. WHEN THE VALUATION OF AN ADDITION OR REPAIR EXCEEDS $1,000.00, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS. IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS, OR IN BUILDINGS WITHOUT COMMERCIAL POWER, OR IN BUILDINGS WHICH UNDERGO ALTERATION, REPAIRS, OR ADDITIONS REGULATED AS OUTLINED ABOVE.
4. TELEPHONE OUTLETS TO BE PREWIRED BY SUBCONTRACTOR. CONTRACTOR TO COORDINATE AS REQUIRED. VERIFY LOCATION OF ALL TELEPHONE OUTLETS WITH OWNER PRIOR TO INSTALLATION.
5. ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART.
6. PER CEC, RECEPTACLE SPACING SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL.
7. PER CEC, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM; IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER, AND OUTDOOR ENTRANCES OR EXITS.
8. PER CEC, LIGHTING FIXTURES LOCATED WITHIN CLOTHES CLOSETS SHALL BE MOUNTED ON THE WALL ABOVE THE DOOR OR ON THE CEILING. CLEARANCES SHALL BE AS FOLLOWS:
A. SURFACE MOUNTED INCANDESCENT FIXTURES - 12"
B. SURFACE MOUNTED FLUORESCENT FIXTURES - 6" 9. ELECTRICAL CONTRACTOR RESPONSIBLE FOR PROVIDING NECESSARY TEMPORARY POWER.
10. VERIFY ANY AND ALL LANDSCAPE LIGHTING AND SWITCHES WITH OWNER PRIOR TO INSTALLATION OF ROUGH ELECTRICAL.
11. ALL ELECTRICAL HANGING FIXTURES TO BE SELECTED AND PURCHASED BY OWNER. VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
13. ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER PER ***2019*** CALIFORNIA ENERGY CODE AND RATED IC OR APPROVED EQUAL MEETING UL RATING OR OTHER TESTING /RATING LABORATORIES RECOGNIZED BY THE ICC.
14. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. NEW ELECTRICAL SHALL BE DESIGN-BUILD. NEW ELECTRICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND APPLICABLE CODES, STANDARDS AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMIT. ELECTRICAL CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD ELECTRICAL SYSTEM AS REQUIRED TO PROVIDE THE (NEW) SERVICE SHOWN (SCHEMATICALLY) ON THE DRAWINGS.

GENERAL NOTES:
ALL WORK SHALL COMPLY W/ THE ***2019*** EDITION OF THE CA. BUILDING CODE AND ALL OTHER CODES AND REQUIREMENTS, IN THEIR MOST RECENT EDITION INCLUDING THE FOLLOWING:
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2. THE INTENTION OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT FACILITIES AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK IN AN ACCEPTABLE INDUSTRY'S STANDARDS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS FOR THIS OR HER WORK.
3.THE MIN. ACCEPTABLE QUALITY OF MATERIALS, WORKMANSHIP, AND METHOD OF INSTALLATION SHALL MEET THE FOLLOWING CRITERION: CONFORM TO THE AMERICAN NATIONAL INSTITUTE STANDARDS WHERE SUCH STANDARDS EXISTS.
4. CONTRACTOR SHALL PERFORM ALL ADDITIONAL ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK REQUIRED BY THE BUILDING DEPARTMENT.
5. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BID TO REVIEW SCOPE OF WORK, DEMOLITION, ETC.
6. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR REVIEW.
7. DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED, (U.O.N.)
8. DIMENSIONS NOTED CLEAR (CLR.) ARE NOT ADJUSTABLE WITHOUT
APPROVAL FROM THE DESIGNER.
9. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
10. CUTTING AND DEMOLITION SHALL BE DONE BY METHODS, WHICH WILL AND WILL NOT JEOPARDIZE STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION AND WILL NOT DAMAGE PORTIONS TO REMAIN.
11. CONTRACTORS SHALL REMOVE, CUT, CAP, AND REPAIR, AS NECESSARY, ANY UTILITES. INCLUDING BUT NOT LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE SPRINKLERS, WHERE PARTITIONS ARE SCHEDULED FOR DEMOLITION OR ARE NO LONGER OPERATIONAL OR IN SERVICE. ALL OTHER EXISTING UTILITES ARE TO REMAIN FULLY OPERATIONAL.
12. IN GENERAL, THE OWNER RESERVES THE RIGHT TO RETAIN ALL MATERIALS AND EQUIPMENT REMOVED FROM THE PROJECT. ANY ITEMS OR MATERIAL NOT DESIRED BY THE OWNER ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
13.CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST PROTECTION AND/OR BARRICADING REQUIRED TO PROTECT ADJACENT SPACES AND EXISTING FINISHES. CONTRACTOR OS RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY CONTRACTOR OR THEIR SUB-CONTRACTORS.
14. PATCH AND REPAIR ANY DAMAGES TO FLOORS, WALLS, CEILINGS, HARDWARE, FIXTURES, WINDOWS, ETC. AS A RESULT OF THE DEMOLITION PROCESS. MATCH EXISTING ADJACENT FINISHES AS CLOSELY AS POSSIBLE.
15. IF ANY QUESTIONS ARISE TO THE INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT, OR WITH THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CLARIFY THE QUESTIONS W/ THE DESIGNER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE W/O THE DESIGNERS AND OR OWNERS APPROVAL.
16. TOTAL THICKNESS OF NEW WALLS SHALLMATCH THAT OF ADJACENT WALLS.
17. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE ITS PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATION, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGE IN EXECUTION OF WORK, SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
18. ALL WORK SHALL BE SCHEDULED AND PERFORMED SO AS NOT TO DISTURB ANY OTHER TENANTS IN THE BUILDING. ANY WORK THAT WILL DISTURB ANOTHER TENANT, ABOVE OR BELOW, OR IN THE FLOOR , SHALL BE PERFORMED MOST EXPEDITIOUSLY AND THE DISTURBED TENANT SHALL HAVE FULL USE OF THE PREMISE.
19. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE W/ JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPER FINISHED JOB. ANY CUSTOMARY AND NECESSARY ITEMS WHICH ARE REASONABLY IMPLIED AND REQUIRED TO COMPLETE PROPERLY THE WORK OUTLINED SHALL BE FURNISHED, EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATION.
20. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION CLEAN-UP, DURING AND FINAL.
21. THE AMERICANS WITH DISABILITIES ART (ADA) IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE ADA AS IT APPLIES TO THE SUBJECT PROJECT. IT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE ADA BY OTHERS.

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

PLANNING SET

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : General Notes

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22

Drawn : TIM RADUENZ

Job No. : 22_42

GN

Sheet

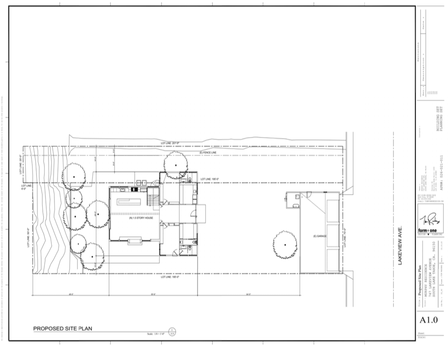
Scale: See Details

AGENDA ITEM NO. V. A.

SINNOTT CONSULTING ARBORIST
Post Office Box 3293
Carson City, NV 89702
775.721.1231
sincon@sbcglobal.net

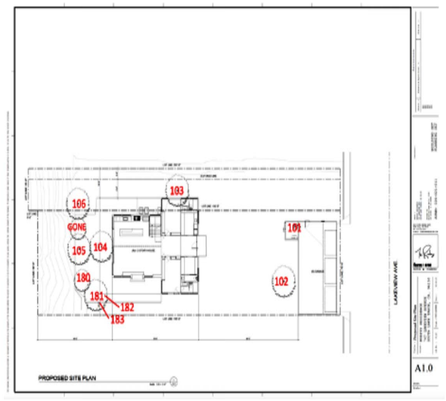
TREE PRESERVATION PLAN & MITIGATION MEASURES
747 LAKEVIEW AVE., SOUTH LAKE TAHOE, CA
APN 26-021-06

A Tree Preservation Plan with Mitigation Measures has been developed for 747 Lakeview Ave., South Lake Tahoe, California. Implementing the Tree Preservation Plan and Mitigation Measures can help reduce construction impact on trees if measures are followed throughout the entire project. With the majority of roots normally in the first approximately 2 feet of soil, tree protection to minimize root damage during the construction process is vital.



Site plan courtesy of Form + One Design

Tree Inventory Locations



Site plan courtesy of Form + One Design
Tree identifications noted by Sinnott Consulting Arborist

Tree Inventory

Tree Number	Tree Species	Trunk Diameter (inches)	Condition	Additional information
101	Jeffrey Pine, *Pinus jeffreyi*	20	Good	Not shown on site plan
102	Jeffrey Pine, *Pinus jeffreyi*	65	Good	Codominant leaders, recommend inspection by qualified tree service
103	Jeffrey Pine, *Pinus jeffreyi*	46	Good	Remove dead, hanging broken branch
104	Jeffrey Pine, *Pinus jeffreyi*	32	Good	
105	Jeffrey Pine, *Pinus jeffreyi*	37	Good	
106	Jeffrey Pine, *Pinus jeffreyi*	32	Good	
180	Jeffrey Pine, *Pinus jeffreyi*	37	Good	Old sapsucker bird injury
181	Jeffrey Pine, *Pinus jeffreyi*	37	Good	Remove dead, hanging broken branch
182	Jeffrey Pine, *Pinus jeffreyi*	12	Poor	Remove, suppressed
183	Jeffrey Pine, *Pinus jeffreyi*	8	Poor	Remove, suppressed

Overall Tree Recommendations

1. The majority of trees on this site are large, old, mature trees. They normally do not have a high tolerance to root disturbance compared to healthy, young trees that have more vigor.
2. Remove any tree with a health rating of poor on the tree inventory.
2. If the new structure conflicts with any trees, remove branches that will banging into or rub on the eaves, roof, windows, gutters, etc. This requires a TRPA permit or approval of the TRPA planner if it is in the upper two-thirds of the crown of a tree.
3. Prune heavy dead wood from the crown of the trees.
4. All trees are numbered with metal tags.
5. Implementing the tree preservation and mitigation measures will increase the chances of ***not*** jeopardizing the health of the impressive, mature trees on this site.
6. Irrigate, irrigate, irrigate throughout the construction process, dry soil leads to stressed tree health which leads to dead and dying roots and promotes bark beetle infestation.

Specific Tree Recommendations

1. Tree #101 is not shown on the site plan.
2. Extreme care needs to be taken if any root disturbance is intended within the drip line of tree #102. This is a large, mature tree that will not tolerate extensive root damage.
3. Tree #102 is recommended to be assessed by a qualified tree service for evidence of weak attachments (cracks or gaps in the bark attachment) at the sites of the multiple codominant stems. Codominant stems are sites where one of the two stems can rip out due to a weak attachment.
4. The tree shown on the site plan between #105 and #106 has been removed.
5. Trees #103 and #181 have heavy dead limbs that have broken out from above and are hung up in the lower live branches. These dead limbs present a risk to anyone below and are recommended to be removed promptly.
6. Tree #180 has old sapsucker bird injury, the elliptical holes in the bark on the main stem of the tree. There is nothing that needs to be done, it is not detrimental to the tree. The holes ***do not*** indicate bark beetle infestation.
7. The base of trees #104, #105, and #180 were unable to be assessed due to the existing deck covering the base of the trees.
8. Trees #182 and #183 are recommended to be removed due to poor health; they have been suppressed, are deformed and growing into the lower crown of tree #181.

TREE PRESERVATION PLAN & MITIGATION MEASURES
747 LAKEVIEW AVE., SOUTH LAKE TAHOE, CA

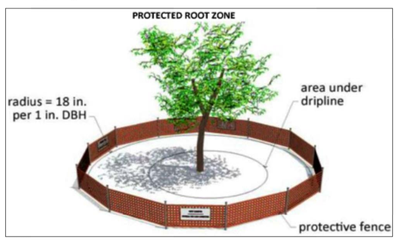
Pre-construction and Planning Phase

A. **Note Save Trees On All Improvement Plans**

1. All trees to be preserved shall be noted on all site improvement plans.
2. Emphasize tree protection prior to operation of any equipment on site.
3. Review the responsibility of all parties involved in the construction process to protect trees designated to be saved.

B. **Tree Protection Zones (TPZ)**

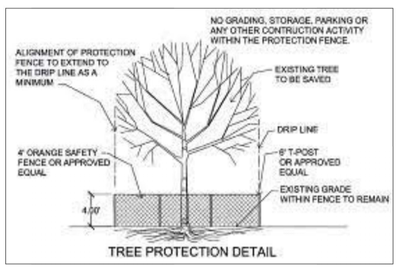
1. Tree Protection Zone (TPZ) is a defined area where activities are prohibited or restricted to prevent / minimize potential construction injury to trees designated to be saved.
2. Establish tree protection zones (TPZ) as far beyond the dripline (outermost circumference of a tree's canopy) as possible with the minimum distance being the actual dripline, encompassing all soil and roots within the circumference.



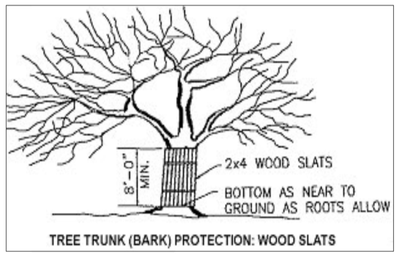
3. Maintain the existing grade within the TPZ. Increased soil suffocates tree roots and inhibits water and nutrients to the root system. Decreased soil removes small feeder roots and large stabilizing roots.
4. Install six inches of wood mulch chips in the TPZ to prevent drying of soil if there is not existing ground cover.
5. Trenching to be designed to avoid crossing the TPZ of any protected tree.

C. **Tree Protection Fencing**

1. Tree protection fencing to be installed prior to the arrival of construction equipment or materials on site.
2. Protective fencing to be installed between the tree and construction activity to prevent trunk wounds, soil disturbance and/or root compaction.
3. Fence individual trees or preferably entire groups of trees with minimum four foot high plastic poly-type high visibility orange fencing or chain link out to the TPZ to ensure the fence is visible to workers operating construction equipment.



4. Bark protection to be installed on any tree if construction is required within the tree protection fencing in order to protect bark from contact with equipment. The entire trunk of the tree to be enclosed with 2x4 lumber encircled with banding. Do not attach boards or banding directly into bark. Height of the 2x4's to be the height that guarantees protection from equipment with the minimum height being 8 feet.
5. Any tree damaged during construction is to be repaired in accordance with accepted arboriculture methods.



D. **Root Pruning**

1. Combine utility trenches to minimize the impact on tree roots.
2. Root pruning to be performed by or under the direction of a qualified arborist.
3. Because roots are not visible until exposed in the soil, root pruning recommendations often need to be made in the field.
4. Roots encountered and/or exposed that are larger than two inch diameter are to be carefully hand dug to expose and corrective root pruning be performed, if needed.
5. Care is to be taken not to damage bark tissue on roots during hand excavation.
6. All tools are to be clean and sharp.
7. ***An excavator or any sort of heavy equipment is not considered a root pruning tool.***

E. **Irrigation**

1. Install temporary irrigation that will be functional throughout the entire project, until a permanent system is in place if the soil is dry.
2. If a temporary irrigation system is needed, develop a watering schedule to ensure soil moisture.

F. **Crown Pruning**

1. Prune using a qualified, reputable tree service.

Construction Phase

A. **Tree Protection Zones (TPZ)**

1. Activities not permitted within the TPZ:
   a. Driving
   b. Parking
   c. Storage
   d. Dumping Anything (Spoils)
   e. Spoils Flowing into TPZ
   f. Washing Out Anything
   g. Placement of Sani Huts
   h. Using Tree Trunk for Temporary Power Pole, Sign Post, Etc.
2. Maintain existing grade within the TPZ, increased soil suffocates roots, decreased soil removes roots.
3. Tunnel or bore under roots, hand dig or air spade in TPZ to minimize any root damage.

B. **Tree Protection Fencing**

1. Maintain all tree protection fencing as originally installed and approved to prevent trunk wounds and root compaction.
2. Inspect fencing daily for damage, repair as necessary to provide and maintain a physical barrier from construction activities.

C. **Root Exposure**

1. Promptly cover exposed roots to prevent desiccation from sunlight and drying air which causes roots to become non-functional.
2. Keep roots covered with tarps kept damp, shotcrete or a material that will deter roots from desiccating. Burlap is not recommended due to it drying too rapidly.

D. **Root Pruning**

1. Cleanly prune exposed roots back to the soil horizon; ragged, crushed or torn roots promote decay and susceptibility to disease.
2. Small roots to be cut with hand pruners, roots over two inches with loppers, handsaw, reciprocating saw or chain saw.
3. Tunnel or bore under roots if possible; hand dig or Air Spade® in all TPZ areas to minimize root damage.

Revisions
Rev.: | Description: | Date:
001
002
003
004
005
006

Contractor:

BUILDING SET
PLANNING SET

Owner: MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title: Arborist Report
Project: MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No.: 22_42
Drawn: TIM RADUENZ
Date: 10.10.22

AR

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

E. Irrigation

1. If temporary irrigation is required, inspect the weekly to ensure system is functioning properly and providing adequate irrigation.
2. Irrigate within the dripline of the trees ***if natural precipitation does not occur***: once a week during hot, summer months, once every three weeks in the spring and fall and once a month in the winter. *Irrigation is vital to tree survival*.
3. Monitor soil once a week, year round if natural precipitation does not occur, to ensure soil moisture. Increase or decrease watering as soil moisture monitoring dictates.
4. Irrigate to a soil depth of 24 inches.
5. Do not saturate soil where foot and/or equipment traffic occurs.
6. Irrigate preferably when there will not be site activity, eg. Friday afternoon so that soil drains thus allowing the vicinity to be usable the following week, this avoids compaction and lessens site damage.

F. Crown Pruning

1. Prune tree branches that are going to conflict with structures, utility lines, vehicles and/or machinery.
2. Prune using current ANSI (American National Standards Institute) A300 pruning standards and adhere to ANSI Z133.1 safety standards.
3. Prune making proper pruning cuts without the use of climbing spikes.
4. Use a qualified, reputable tree service.

G. Tree Damage

1. Any tree damaged is to be evaluated by the project arborist to determine if there is a possible repair method.

Molly Sinnott
ISA Certified Arborist #WE-0369A

Tree Photos

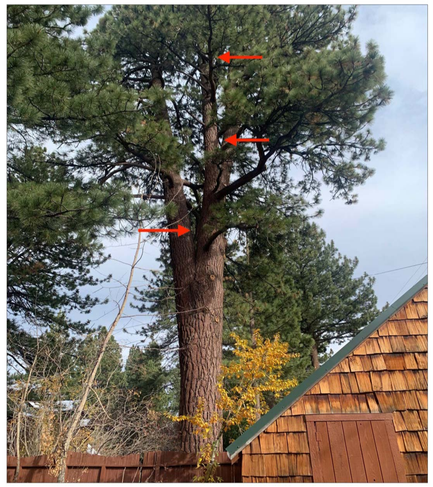


Photo above showing tree #102. Red arrows indicate codominant stems in the tree, points of possible weak attachments.

Photo above: red arrow indicating codominant stem in tree #102.
Photo below: red arrows indicating multiple codominant stems in tree #102.

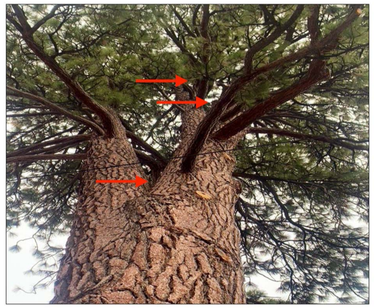


Photo above: red arrows indicate a dead, broken branch hanging in the crown of tree #103, remove to prevent possible injury below.

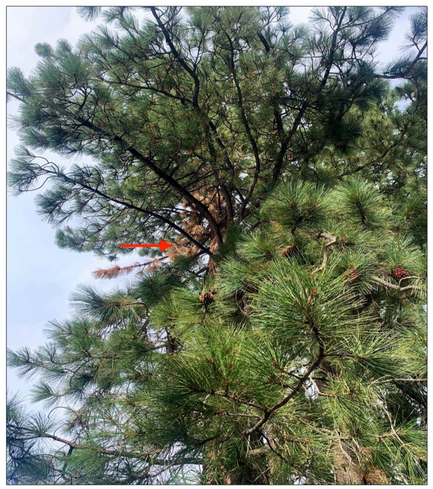


Photo above: red arrow indicates a dead, broken branch hanging in the crown of tree #181, remove to prevent possible injury below.

Photo above: tree #182 (red arrow) and tree #183 (blue arrow) suppressed by healthy tree #181 (green arrow) that has broken, hanging dead branch.

Photo below: tree #182 (red arrow) and tree #183 (blue arrow) are deformed and suppressed due to growing into the crown of healthy tree #181 (green arrow).

Photo above: red arrow indicating horizontal, elliptical holes drilled by sapsucker birds in the bark of tree #180, this is not an indicator of bark beetle infestation. Yellow arrow indicates metal tree tag #180

ASSUMPTIONS AND LIMITING CONDITIONS

1. Any ownership to property provided to the consultant is assumed to be correct. Any and all property is evaluated as though free and clear. Property is assumed to not be in violation of any applicable codes, ordinances, statutes or other governmental regulations.
2. Care has been taken to obtain all information from reliable sources. Site plans provided to Sinnott Consulting Arborist for this report have been obtained from Form + One Design.
3. The consultant shall not be required to give testimony or to attend meetings, hearings, or trials by reason of this report unless subsequent contractual arrangements are made.
4. Loss or alteration of any part of this report invalidates the entire report.
5. Possession of this report or a copy thereof does not imply right to publication or use for any purpose by any other than the person to whom it is addressed without the prior expressed written or verbal consent of the consultant.
6. This report represents the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a stipulated result, the occurrence of a subsequent event, nor any finding to be reported.
7. Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection. There is no warranty or guarantee, expressed or implied that problems or deficiencies of the plants or property in question may not arise in the future.
8. Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.
9. Unless otherwise expressed this report covers only examined items and their condition at the time of inspection. The inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

Molly Sinnott
ISA Certified Arborist #WE-0369A

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

BUILDING SET
PLANNING SET

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

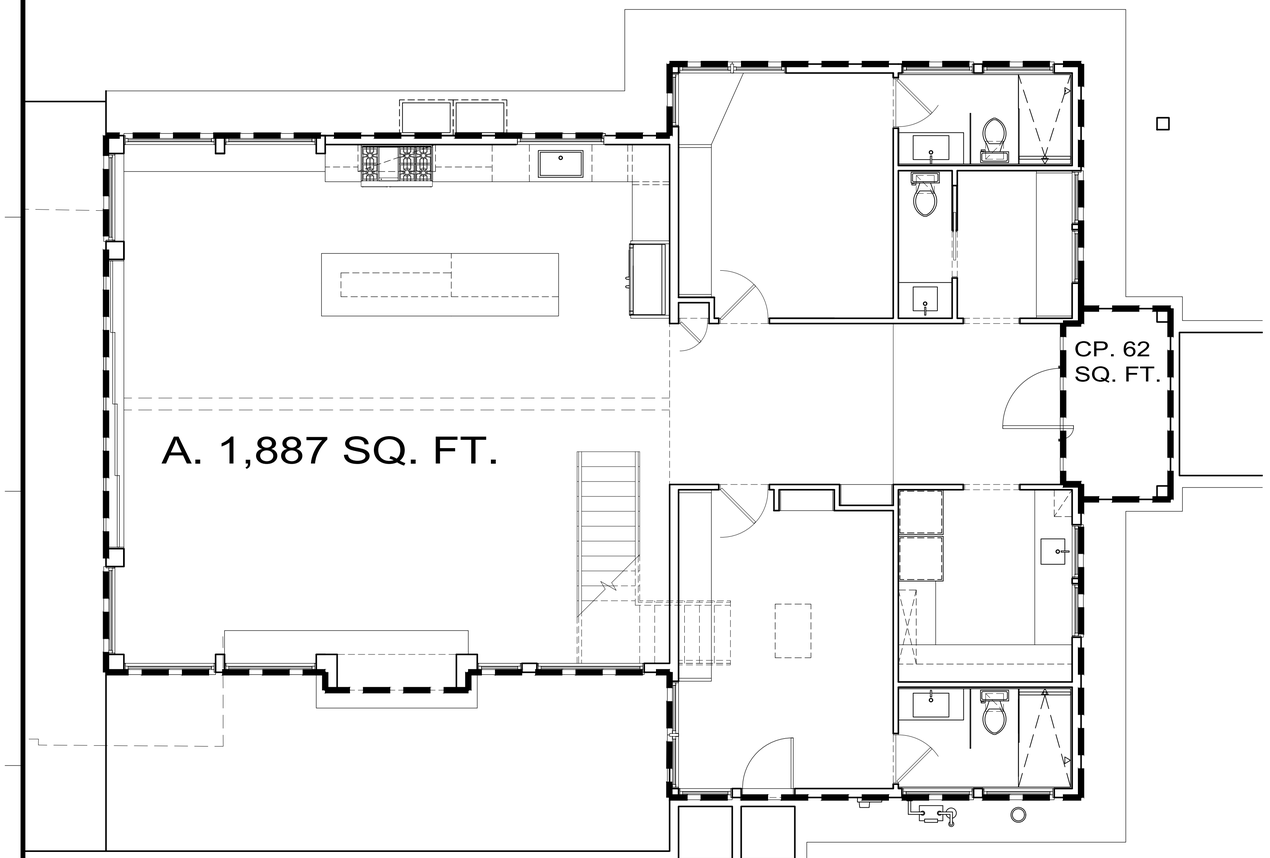
form + one
DESIGN ■ PLANNING

Title : Arborist Report (Cont.)
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Date : 10.10.22
Drawn : TIM RADUENZ
Job No. : 22_42

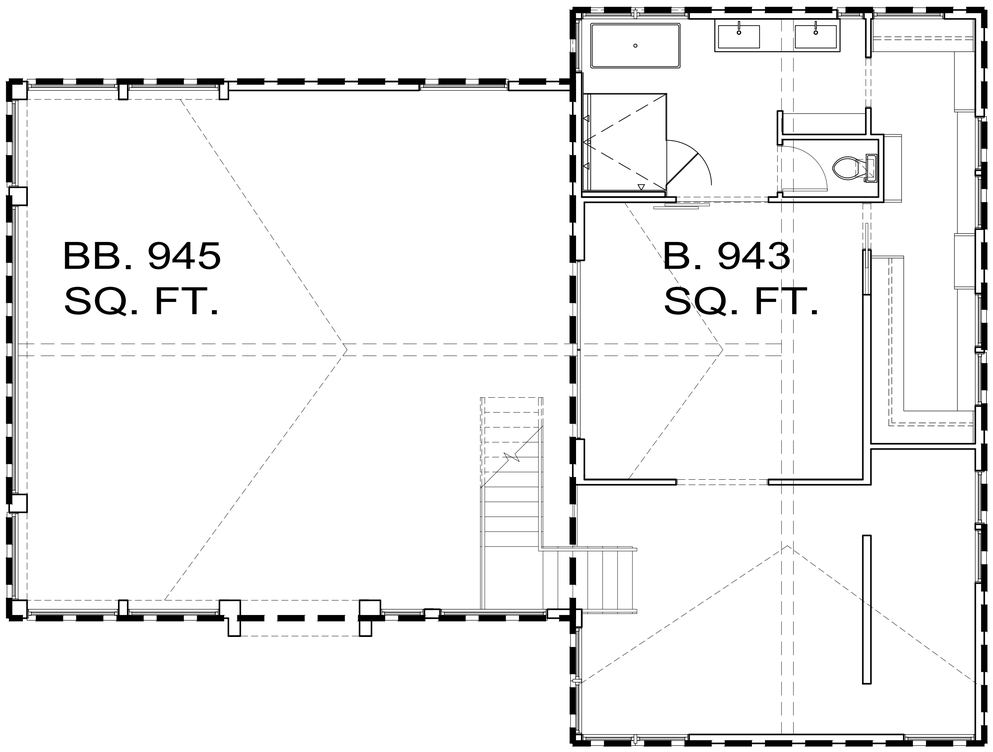
AR2

Sheet
Scale: See Details

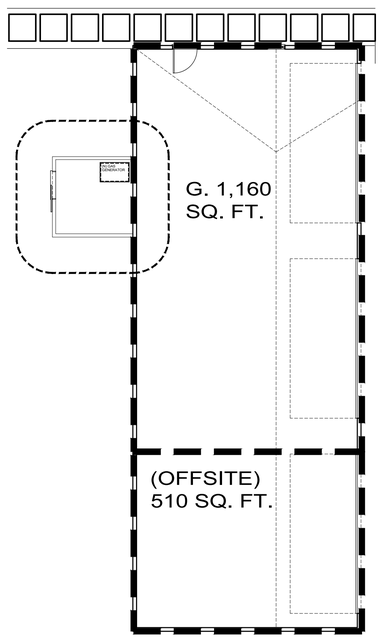
AGENDA ITEM NO. V. A.



FLOOR AREA CALC. (1 / FAR)
PROPOSED FIRST FLOOR Scale: 1/4" = 1'-0"



FLOOR AREA CALC. (2 / FAR)
PROPOSED SECOND FLOOR Scale: 1/4" = 1'-0"



FLOOR AREA CALC. (3 / FAR)
(E) GARAGE Scale: 1/8" = 1'-0"

COMPLETE FAR

	LOCATION	FAR SQ. FT.:	LOT COVERAGE SQ. FT.:	REMARKS:
1ST FLR	A	1,887	1,887	NEW HOUSE - FIRST FLOOR - PROPOSED
	CP	-	62	NEW COVERED FRONT PORCH - PROPOSED
		-	-	-
2ND FLR	B	943	-	NEW HOUSE - SECOND FLOOR - PROPOSED
	BB	-	-	(N) HOUSE - SECOND STORY VOL. 945 SQ.
		-	-	-
GARAGE	G	-	1,160 (ON SITE)	(E) GARAGE - NO WORK
		-	-	-
		-	-	-
TOTAL:		2,830	3,109	

DETAILS

APN = 026-021-011

LOT SIZE: 13,939 SQ. FT.

MAX ALLOWABLE FAR = N/A

MAX ALLOWABLE LOT COVERAGE = N/A

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

PLANNING SET

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

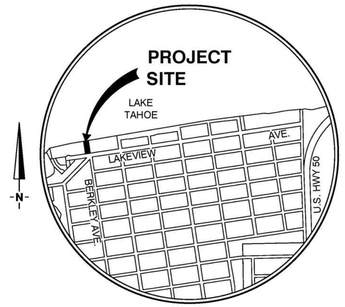
form+one
DESIGN ■ PLANNING

Title : Floor Area Calc.
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RADDENZ
Date : 12.08.22

FAR

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

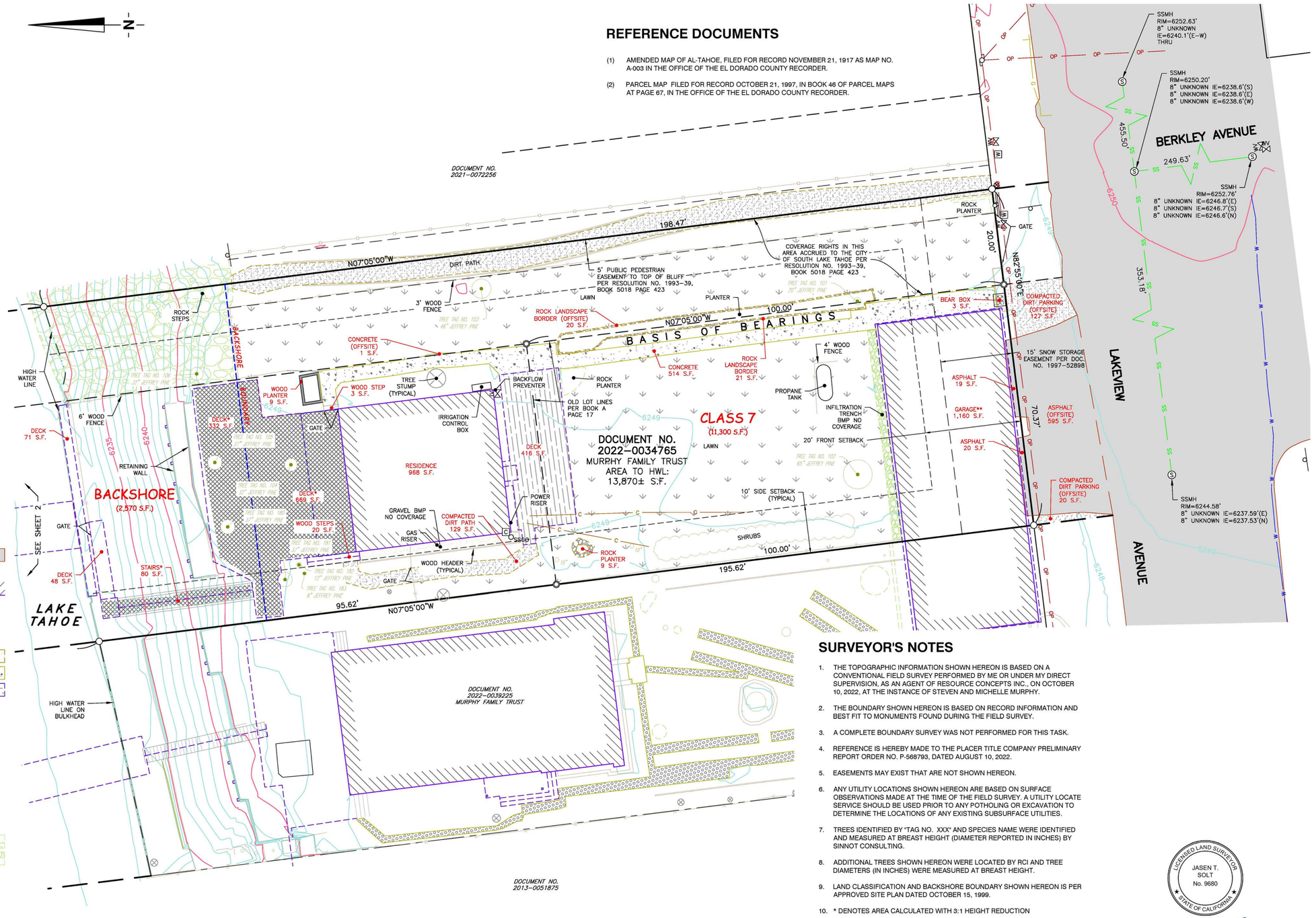


VICINITY MAP

NO SCALE

LEGEND

- FOUND IRON PIPE AT LOT/BLOCK CORNER, NO IDENTIFICATION
- DIMENSION POINT, NOTHING FOUND OR SET
- BOLLARD
- COMM BOX
- POWER METER
- GUY ANCHOR
- UTILITY POLE
- SIGN
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- HOSE BIB
- FIRE HYDRANT
- IRRIGATION CONTROL BOX
- IRRIGATION CONTROL VALVE
- WATER METER
- WATER VALVE
- ADJOINING LOT LINE
- ASPHALT
- BOUNDARY LINE
- BUILDING
- BUILDING OVERHANG
- BUILDING SETBACK LINE
- COMMUNICATIONS LINE
- COMPACTED DIRT / GRAVEL
- CONCRETE
- DECK
- EXISTING EASEMENT
- FENCE LINE
- HIGH WATER/LOW WATER LINE
- LOT LINE PER (1)
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- OVERHEAD POWER LINE
- RIGHT OF WAY LINE
- RIPRAP
- ROCK
- SANITARY SEWER LINE
- STAIR
- STEP
- TREE
- WALL TOE
- WATER LINE
- COVERAGE CALCULATED WITH 3:1 HEIGHT REDUCTION



BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE EASTERLY LINE OF BLOCK 1 AS SHOWN ON THE AMENDED MAP OF AL-TAHOE, FILED FOR RECORD NOVEMBER 21, 1917 AS MAP NO. A-003, IN THE OFFICE OF THE EL DORADO COUNTY RECORDER. (N 07° 05' 00" E)

BASIS OF ELEVATIONS

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE DATUM OF LAKE TAHOE AS PUBLISHED BY THE USGS FOR THE LAKE TAHOE GAUGE ON OCTOBER 10, 2022 (6223.18').

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A CONVENTIONAL FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AS AN AGENT OF RESOURCE CONCEPTS INC., ON OCTOBER 10, 2022, AT THE INSTANCE OF STEVEN AND MICHELLE MURPHY.
2. THE BOUNDARY SHOWN HEREON IS BASED ON RECORD INFORMATION AND BEST FIT TO MONUMENTS FOUND DURING THE FIELD SURVEY.
3. A COMPLETE BOUNDARY SURVEY WAS NOT PERFORMED FOR THIS TASK.
4. REFERENCE IS HEREBY MADE TO THE PLACER TITLE COMPANY PRELIMINARY REPORT ORDER NO. P-568793, DATED AUGUST 10, 2022.
5. EASEMENTS MAY EXIST THAT ARE NOT SHOWN HEREON.
6. ANY UTILITY LOCATIONS SHOWN HEREON ARE BASED ON SURFACE OBSERVATIONS MADE AT THE TIME OF THE FIELD SURVEY. A UTILITY LOCATE SERVICE SHOULD BE USED PRIOR TO ANY POTHOLING OR EXCAVATION TO DETERMINE THE LOCATIONS OF ANY EXISTING SUBSURFACE UTILITIES.
7. TREES IDENTIFIED BY "TAG NO. XXX" AND SPECIES NAME WERE IDENTIFIED AND MEASURED AT BREAST HEIGHT (DIAMETER REPORTED IN INCHES) BY SINNOT CONSULTING.
8. ADDITIONAL TREES SHOWN HEREON WERE LOCATED BY RCI AND TREE DIAMETERS (IN INCHES) WERE MEASURED AT BREAST HEIGHT.
9. LAND CLASSIFICATION AND BACKSHORE BOUNDARY SHOWN HEREON IS PER APPROVED SITE PLAN DATED OCTOBER 15, 1999.
10. * DENOTES AREA CALCULATED WITH 3:1 HEIGHT REDUCTION
11. ** AREA OF GARAGE CALCULATED BASED ON EXTERIOR GARAGE DIMENSIONS AND LOCATION OF SURVEYED BOUNDARY LINE.
12. SEE SHEET 2 FOR COVERAGE TABLES AND LOW WATER LINE.

LICENSED LAND SURVEYOR
JASEN T. SOLT
No. 9680
STATE OF CALIFORNIA

12-16-2022

REVISION	DATE

0 10 20
SCALE:1"=10'

A.P.N. 026-021-11
MRPHY FAMILY TRUST
747 LAKEVIEW AVE.

TOPOGRAPHIC AND COVERAGE SURVEY

RCI Resource Concepts Inc.

Engineering • Surveying • Water Rights
Resources • Environmental • Services
www.rci-nv.com

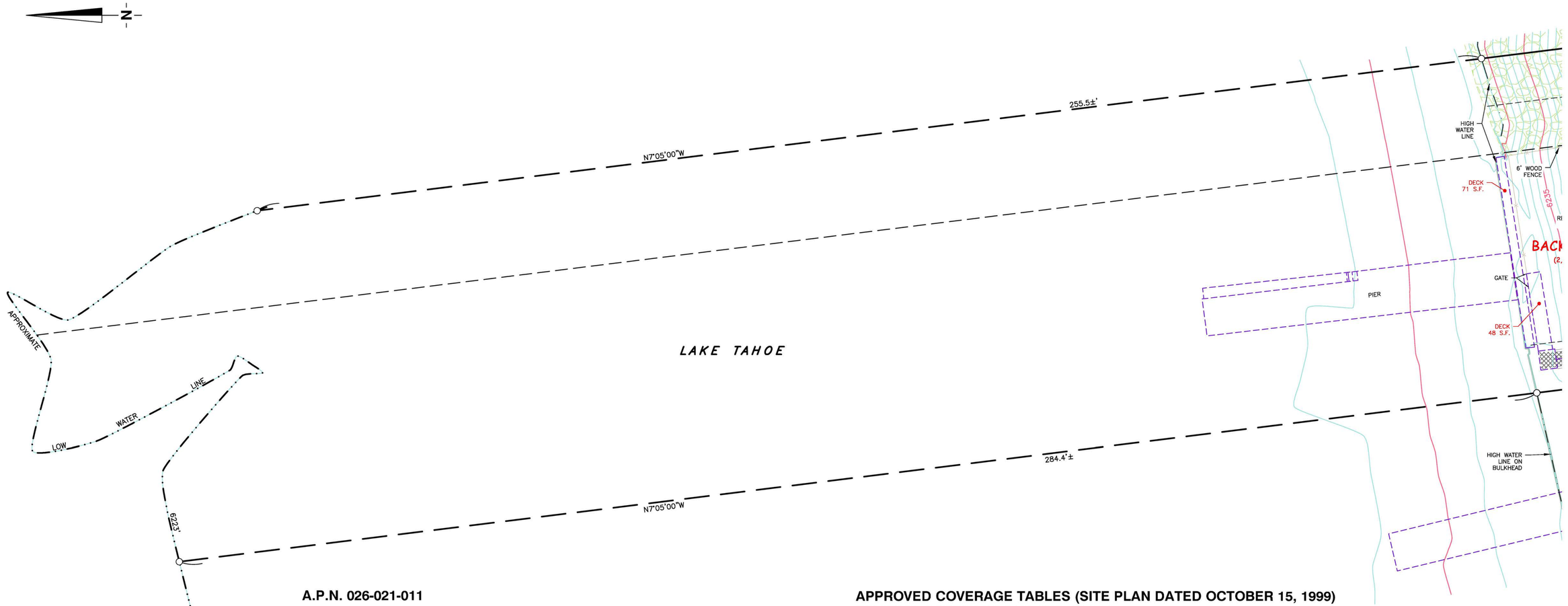
Carson City
340 N. Minnesota St. Carson City, NV 89703-4152
775-883-1600

Lake Tahoe
276 Kingsbury Grade, Ste. 206
Stateline, NV 89449
775-588-7500

JOB NO.:	22-617
DATE:	12-16-2022
DESIGNED:	
DRAWN :	JTS,MB
CHECKED:	JTS

SHEET 1 OF 2

AGENDA ITEM NO. V. A.



A.P.N. 026-021-011

EXISTING COVERAGE BY LAND CLASS

	BACKSHORE	CLASS 7	TOTAL
ASPHALT		39	39
BUILDINGS (RESIDENCE AND GARAGE)		2,128	2,128
BEAR BOX		3	3
COMPACTED DIRT PATH		129	129
CONCRETE		514	514
DECK	451	1,085	1,536
ROCK LANDSCAPE WALLS/BORDERS		30	30
WOOD STEPS/STAIRS/PLANTER	80	32	112
TOTALS:	**531**	**3,960**	**4,491 S.F.**

A.P.N. 026-021-011

PARCEL AREA BY LAND CLASS

	BACKSHORE	CLASS 7	TOTAL
AREA	2,570	11,300	13,870
ALLOWABLE COVERAGE	26	3,390	3,416
EXISTING COVERAGE	531	3,960	4,491

EXISTING OFFSITE COVERAGE

ASPHALT	595
CONCRETE	1
COMPACTED DIRT PARKING	147
ROCK LANDSCAPE WALL/BORDER	20
TOTAL OFFSITE COVERAGE:	**763 S.F.**

APPROVED COVERAGE TABLES (SITE PLAN DATED OCTOBER 15, 1999)

EXISTING COVERAGE BY LAND CLASS

	BACKSHORE	CLASS 7	TOTAL
HOUSE		969	969
GARAGE		1,145	1,145
CONCRETE WALKS		520	520
DECK, PORCH AND STAIRS	235	1,459	1,694
COMPACTED DIRT DRIVE		110	110
DIRT PATH		469	469
TOTALS:	**235**	**4,672**	**4,907 S.F.**

PARCEL AREA BY LAND CLASS (SITE PLAN DATED OCTOBER 15, 1999)

	BACKSHORE	CLASS 7	TOTAL
AREA	1,995	11,928	13,923
ALLOWABLE COVERAGE	20	3,578	3,598
EXISTING COVERAGE	235		4,907

EXISTING OFFSITE COVERAGE (SITE PLAN DATED OCTOBER 15, 1999)

COMPACTED DIRT DRIVE	496
TOTAL OFFSITE COVERAGE:	**496 S.F.**

REVISION	DATE

0 10 20
SCALE:1"=10'

A.P.N. 026-021-11
MRPHY FAMILY TRUST
747 LAKEVIEW AVE.

TOPOGRAPHIC AND COVERAGE SURVEY

Resource Concepts Inc.
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340 N. Minnesota St. Carson City, NV 89703-4152
775-883-1600
Lake Tahoe
276 Kingsbury Grade, Ste. 206
Stateline, NV 89449
775-588-7500

JOB NO.:	22-617
DATE:	12-16-2022
DESIGNED:	
DRAWN :	JTS,MB
CHECKED:	JTS

SHEET 2 OF 2

AGENDA ITEM NO. V. A.

GENERAL NOTES & SCOPE

1. EXISTING INFORMATION ON THIS SITE PLAN OBTAINED FROM SURVEY DATED 12/07/2022 BY JASEN T. SOLT, R.C.E. & TRPA STAMPED APPROVED SITE PLAN DATED 12/07/2022.
2. ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES, CHAPTER 30, SECTION 30.8, EXTERIOR LIGHTING STANDARDS.
3. ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES, AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.
4. EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE FOUNDATION FOOTPRINT TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE BUILDING FOOTPRINT.
5. ALL EXCAVATION WITHIN THE DRIP LINE OF EXISTING TREES TO BE RETAINED SHALL BE PERFORMED BY HAND-DIGGING ONLY SO AS TO MINIMIZE ROOT DAMAGE.
6. DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL. MEASURE WITHIN 35ft. OF STRUCTURES.

LAND CAPABILITY CLASS: 7 + BACKSHORE

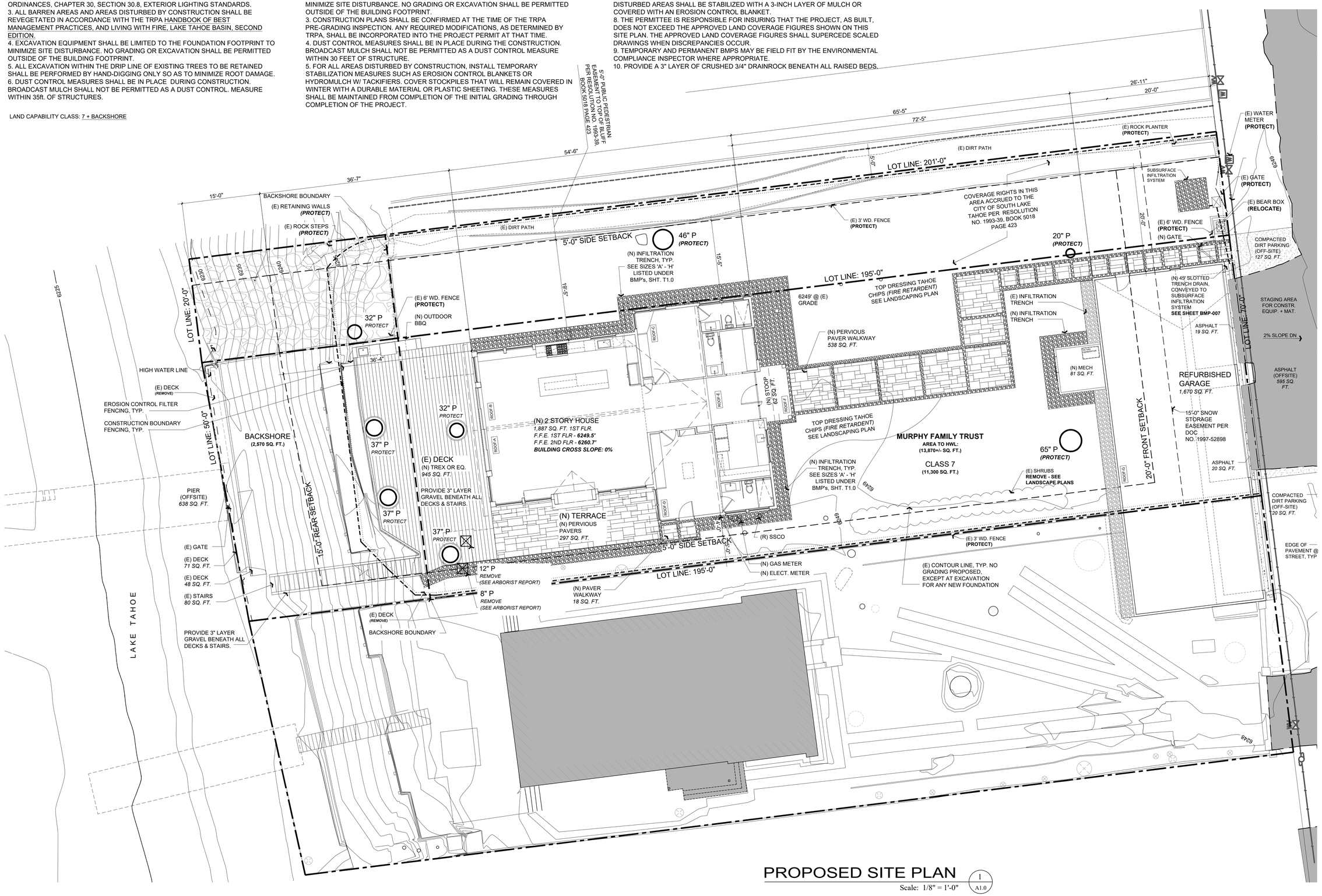
REVEGETATION + TRPA NOTES:

1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA "HANDBOOK OF BEST MANAGEMENT PRACTICES" AND "LIVING WITH FIRE", LAKE TAHOE BASIN, SECOND EDITION.
2. EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE FOUNDATION FOOTPRINT TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE BUILDING FOOTPRINT.
3. CONSTRUCTION PLANS SHALL BE CONFIRMED AT THE TIME OF THE TRPA PRE-GRADING INSPECTION. ANY REQUIRED MODIFICATIONS, AS DETERMINED BY TRPA, SHALL BE INCORPORATED INTO THE PROJECT PERMIT AT THAT TIME.
4. DUST CONTROL MEASURES SHALL BE IN PLACE DURING THE CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 30 FEET OF STRUCTURE.
5. FOR ALL AREAS DISTURBED BY CONSTRUCTION, INSTALL TEMPORARY STABILIZATION MEASURES SUCH AS EROSION CONTROL BLANKETS OR HYDROMULCH W/ TACKIFIERS. COVER STOCKPILES THAT WILL REMAIN COVERED IN WINTER WITH A DURABLE MATERIAL OR PLASTIC SHEETING. THESE MEASURES SHALL BE MAINTAINED FROM COMPLETION OF THE INITIAL GRADING THROUGH COMPLETION OF THE PROJECT.

REVEGETATION + TRPA NOTES:

6. ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARD AND BE CONSISTENT WITH TRPA CODE OF ORDINANCES, SECTION 36.8, EXTERIOR LIGHTING STANDARDS.
7. THIS SITE SHALL BE WINTERIZED IN ACCORDANCE WITH THE PROVISIONS OF ATTACHMENT R BY OCTOBER 15TH OF EACH CONSTRUCTION SEASON. ALL DISTURBED AREAS SHALL BE STABILIZED WITH A 3-INCH LAYER OF MULCH OR COVERED WITH AN EROSION CONTROL BLANKET.
8. THE PERMITTEE IS RESPONSIBLE FOR INSURING THAT THE PROJECT, AS BUILT, DOES NOT EXCEED THE APPROVED LAND COVERAGE FIGURES SHOWN ON THIS SITE PLAN. THE APPROVED LAND COVERAGE FIGURES SHALL SUPERCEDE SCALED DRAWINGS WHEN DISCREPANCIES OCCUR.
9. TEMPORARY AND PERMANENT BMPS MAY BE FIELD FIT BY THE ENVIRONMENTAL COMPLIANCE INSPECTOR WHERE APPROPRIATE.
10. PROVIDE A 3" LAYER OF CRUSHED 3/4" DRAINROCK BENEATH ALL RAISED BEDS.

GRADING QUANTITIES:
CUT: 55 C.Y.
FILL: 25 C.Y.



PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"

1 / A1.0

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

PLANNING SET

Owner : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Zoning: RI
Existing Use: Residence 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

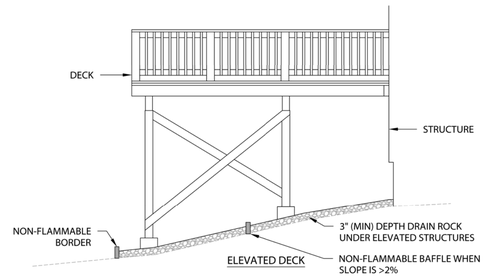
form+one
DESIGN ■ PLANNING

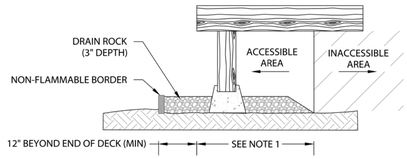
Title : Proposed Site Plan
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RASUBENI
Date : 12.08.22

A1.0

Sheet
Scale:

AGENDA ITEM NO. V. A.





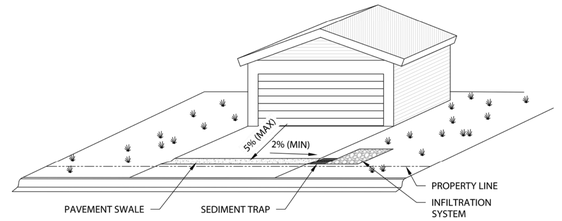
LOW DECK

NOTES:
1. FOR THE RETROFIT OF EXISTING DECKS, DRAIN ROCK SHOULD BE INSTALLED AS FAR BACK UNDER THE LOW ELEVATED STRUCTURE AS POSSIBLE. DISTANCE DEPENDS ON ACCESSIBILITY UNDER THE STRUCTURE.
2. USE WASHED, CLEAN 3/4" TO 1-1/2" DRAIN ROCK. NATIVE ROCK MAY BE SUBSTITUTED IF AVAILABLE.
3. FOLLOW FIRE DEFENSIBLE SPACE GUIDELINES. SEE "LIVING WITH FIRE" AT WWW.LIVINGWITHFIRE.INFO.

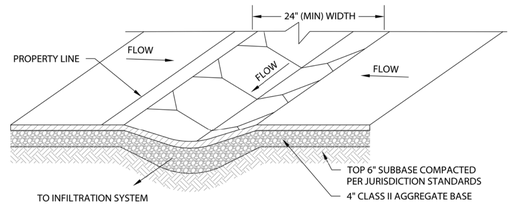
Rock Armor - Elevated Structure

TAHOE REGIONAL PLANNING AGENCY

BMP-211
November 2012



PAVEMENT SWALE

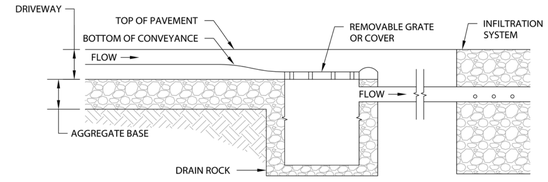


TYPICAL SECTION

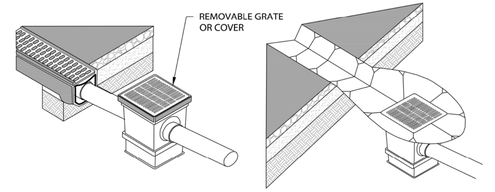
Pavement Swale

TAHOE REGIONAL PLANNING AGENCY

BMP-306
November 2012



CONVEYANCE TO INFILTRATION SYSTEM SECTION



SLOTTED DRAIN CHANNEL

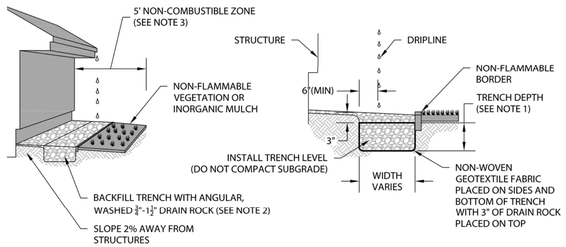
ASPHALT/CONCRETE SWALE

NOTES:
1. DESIGN SUMP TO HAVE ONE CUBIC FOOT OF STORAGE FOR EVERY 100 SQUARE FEET OF IMPERVIOUS AREA DRAINING TO SEDIMENT TRAP.

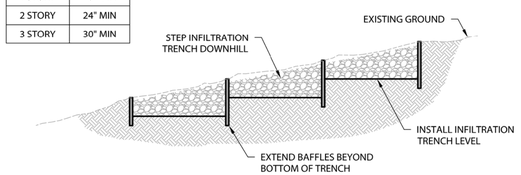
Sediment Trap - Small Scale

TAHOE REGIONAL PLANNING AGENCY

BMP-405
November 2012



TRENCH WIDTHS	
1 STORY	18" MIN
2 STORY	24" MIN
3 STORY	30" MIN



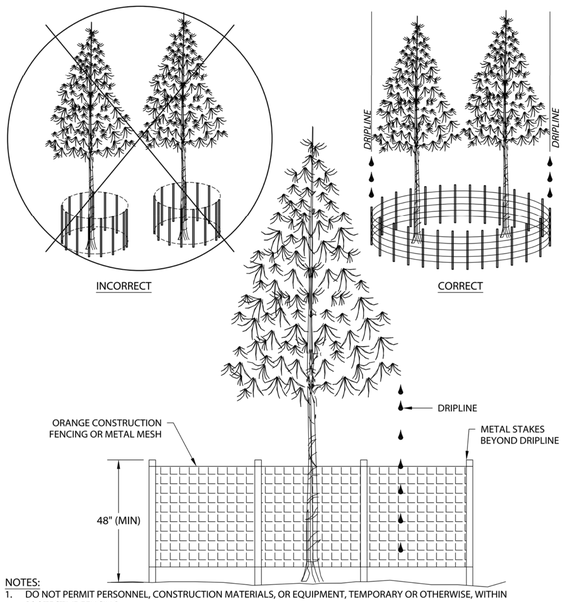
STEP INFILTRATION TRENCH DOWNHILL
(ON A SLOPE 5% OR GREATER)

NOTES:
1. LENGTH, WIDTH, AND DEPTH OF INFILTRATION TRENCHES SHALL BE DESIGNED TO STORE THE 20-YEAR 1-HOUR STORM EVENT. THE BMP CALCULATION SPREADSHEET AVAILABLE AT WWW.TAHOEBMP.ORG MAY BE USED TO SIZE INFILTRATION TRENCHES.
2. PROPRIETARY PRODUCTS MAY BE USED TO PROVIDE ADDITIONAL STORAGE CAPACITY RELATIVE TO DRAIN ROCK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
3. FIRE DEFENSIBLE SPACE GUIDELINES FOR LAKE TAHOE RECOMMEND A 5' NON-COMBUSTIBLE ZONE AROUND THE BUILDING PERIMETER. SEE "LIVING WITH FIRE" AT WWW.LIVINGWITHFIRE.INFO

Infiltration Trench

TAHOE REGIONAL PLANNING AGENCY

BMP-103
December 2012

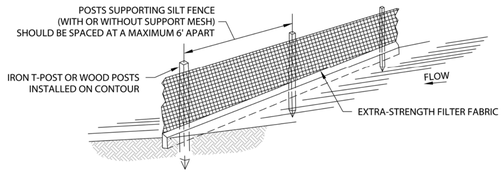


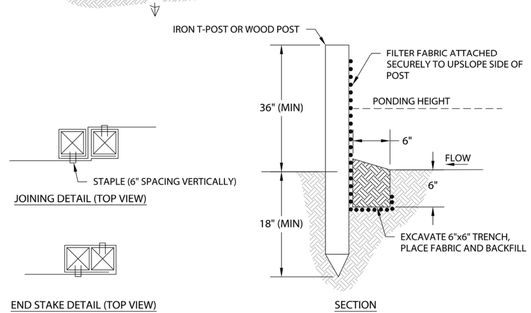
NOTES:
1. DO NOT PERMIT PERSONNEL, CONSTRUCTION MATERIALS, OR EQUIPMENT, TEMPORARY OR OTHERWISE, WITHIN PROTECTIVE FENCING.
2. VEGETATION PROTECTION IS REQUIRED FOR ALL PROJECTS AS A CONDITION OF PROJECT APPROVAL.
3. METAL OR WIRE MESH FENCING MAY BE REQUIRED.
4. CALCULATE THE PROTECTIVE PERIMETER FOR SHIELDING LARGER SPECIMEN TREES MEASURING OVER 30" DBH AS FOLLOWS: COMPUTE THE PROTECTIVE RADIUS BY ADDING ONE FOOT, AS MEASURED OUT FROM THE TREE BOLE, FOR EVERY INCH IN DBH. (E.G. A TREE WITH A 30" DBH WOULD RECEIVE A 30' PROTECTIVE PERIMETER)

Vegetation Protection

TAHOE REGIONAL PLANNING AGENCY

BMP-507
November 2012





NOTES:
1. USED IN AREAS WHERE SHEET FLOW OCCURS.
2. DO NOT USE IN STREAMS, CHANNELS, OR ANYWHERE FLOW IS CONCENTRATED. DO NOT USE SILT FENCES TO DIVERT FLOW.
3. DO NOT USE BELOW SLOPES SUBJECT TO CREEP, SLUMPING, OR LANDSLIDES.
4. SILT FENCE SHOULD BE WOVEN POLYPROPYLENE WITH A MINIMUM WIDTH OF 36 INCHES AND A MINIMUM TENSILE STRENGTH OF 100 LB FORCE.
5. INSTALL ALONG A LEVEL CONTOUR SO WATER DOES NOT POND MORE THAT 1.5 FEET AT ANY POINT ALONG THE SILT FENCE.
6. THE MAXIMUM LENGTH OF SLOPE DRAINING TO ANY POINT ALONG THE SILT FENCE SHOULD BE 200 FEET OR LESS.
7. THE MAXIMUM SLOPE PERPENDICULAR TO THE FENCE LINE SHOULD BE 1:1.
8. PROVIDE SUFFICIENT ROOM FOR RUNOFF TO POND BEHIND THE FENCE AND TO ALLOW SEDIMENT REMOVAL EQUIPMENT TO PASS BETWEEN THE SILT FENCE AND TOES OF SLOPES OR OTHER OBSTRUCTIONS.
9. TURN THE ENDS OF THE FILTER FENCE UPHILL TO CREATE A "J" SHAPE, TO PREVENT STORMWATER FROM FLOWING AROUND THE FENCE.
10. LEAVE AN UNDISTURBED OR STABILIZED AREA IMMEDIATELY DOWN SLOPE FROM THE FENCE WHERE FEASIBLE.
11. SILT FENCES SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
12. REMOVE SEDIMENT WHEN DEPOSITS REACH APPROXIMATELY 1/3 HEIGHT OF BARRIER.

Silt Fence

TAHOE REGIONAL PLANNING AGENCY

BMP-513
November 2012

Revisions

Rev. :	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

BUILDING SET
PLANNING SET

Owner : MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
Lot SIZE: 0.28 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : BMP DETAILS
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Drawn : TIM RADUENZ | Date : 10.10.22
Job No. : 22_42

BMP

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

LAKE TAHOE STANDARD DRAWING

(RESIDENTIAL USE ONLY)

BEST MANAGEMENT PRACTICE

INFILTRATION SYSTEM COMPONENTS

STANDARD DRAWING NO.

BMP-006

DATE: 4-6-2012

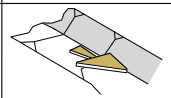
STANDARD DRAWING REFERENCES:

NOTES:

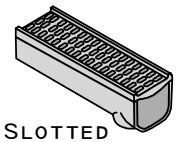
1. THIS DRAWING ILLUSTRATES THE VARIOUS COMPONENTS AND ALTERNATIVE PRODUCTS AVAILABLE TO DESIGN INFILTRATION SYSTEMS. THE NATURAL RESOURCES CONSERVATION SERVICE AND THE CONSERVATION DISTRICTS DO NOT ENDORSE ANY PARTICULAR BMP PRODUCTS.
2. REFER TO BMP "SITE EVALUATION RECOMMENDED TREATMENTS" FORM AND BMP SITE PLAN FOR FOR THE APPLICABLE BMPS DESIGNED FOR THE PROPERTY.
3. INSTALL CLEAN OUTS AS NECESSARY FOR SUBSURFACE CONVEYANCE SYSTEMS. REFER TO DETAILS IN BMP-005, "SUBSURFACE CONVEYANCE SYSTEM."
4. USE PRODUCTS SHOWN (OR EQUAL) IN CONJUNCTION WITH ROOF GUTTER SYSTEMS TO PROVIDE INLETS AND OUTLETS, CLEAN-OUTS, AND JOIN MULTIPLE PIPES AS NECESSARY.

CONVEYANCE

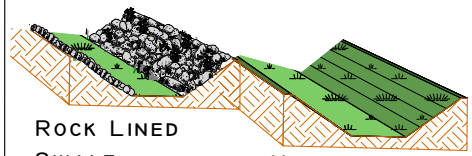
BMP-020, 021, 022, 005, 007



DRIVEWAY CONVEYANCE SWALE

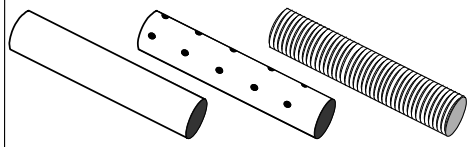


SLOTTED CHANNEL DRAIN

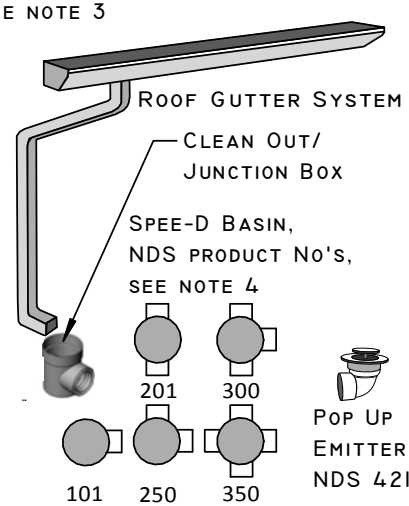


ROCK LINED SWALE

VEGETATED SWALE



SUBSURFACE CONVEYANCE: SOLID AND PERFORATED HDPE SMOOTH WALL RIGID PIPE, & CORRUGATED FLEXIBLE PIPE HDPE, SEE NOTE 3



ROOF GUTTER SYSTEM

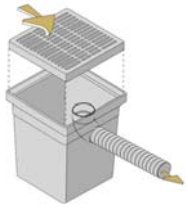
CLEAN OUT/ JUNCTION BOX

SPEE-D BASIN, NDS PRODUCT NO'S, SEE NOTE 4

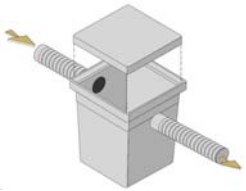
POP UP EMITTER NDS 421

FILTRATION

BMP-030

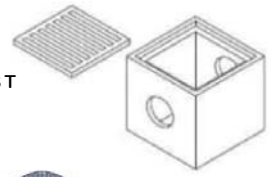


SEDIMENT TRAP - TOP INLET

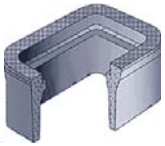


SEDIMENT TRAP - SIDE INLET

SEDIMENT TRAP ALTERNATIVES:



PRECAST 12X12



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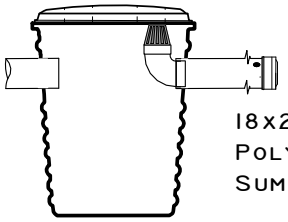
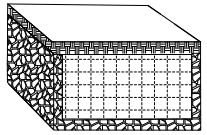


18X24 POLYETHYLENE SUMP

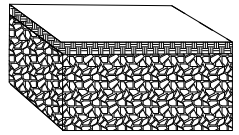
INFILTRATION

BMP-007



PREFABRICATED INFILTRATION SYSTEM

DRAIN ROCK INFILTRATION SYSTEM



PREFABRICATED SYSTEM PRODUCT ALTERNATIVES:

INVISIBLE STRUCTURES RAINSTORE®

CULTEC STORMCHAMBER®

D-RAINTANK®

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
TAHOE RESOURCE CONSERVATION DISTRICT, AND
NEVADA TAHOE CONSERVATION DISTRICT

DRAWN BY:	APPROVED BY:	DATE
CLT		

THIS STANDARD DRAWING IS BASED ON A REFERENCE TO THE NRCS STANDARD PRACTICE 570-STORMWATER RUNOFF CONTROL, 560-ACCESS ROAD, AND 558-ROOF RUNOFF STRUCTURE. THIS DRAWING IS INTENDED TO ASSIST THE DESIGNER IN PREPARATION OF A COMPLETE SITE SPECIFIC DESIGN, AND IT IS NOT TO REPLACE THE INDEPENDENT JUDGMENT AND ANALYSIS BY A QUALIFIED DESIGNER. INFILTRATION SYSTEM SIZING IS CALCULATED BASED ON THE HYDRAULIC CONDUCTIVITY OF THE SOILS ON SITE AND VOLUME OF RUNOFF BEING CAPTURED.

LAKE TAHOE STANDARD DRAWING

(RESIDENTIAL USE ONLY)

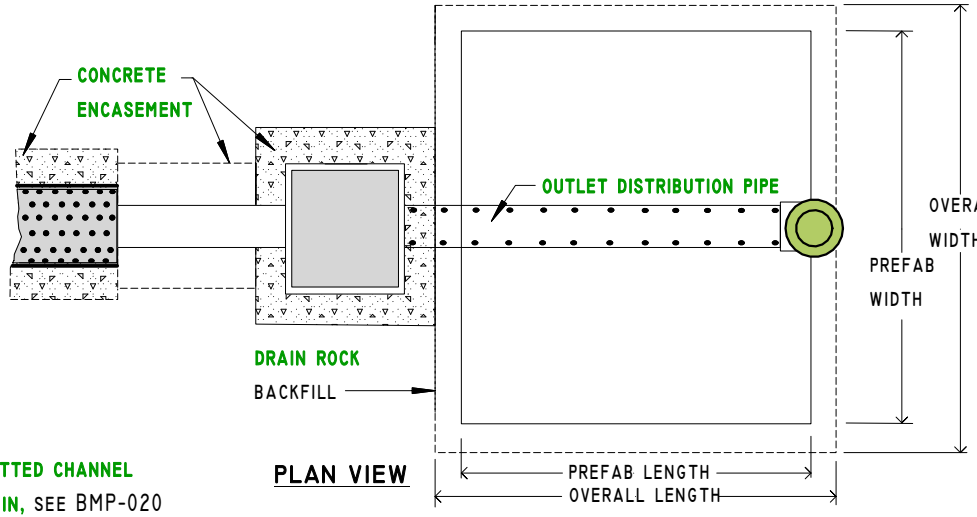
BEST MANAGEMENT PRACTICE

INFILTRATION SYSTEM

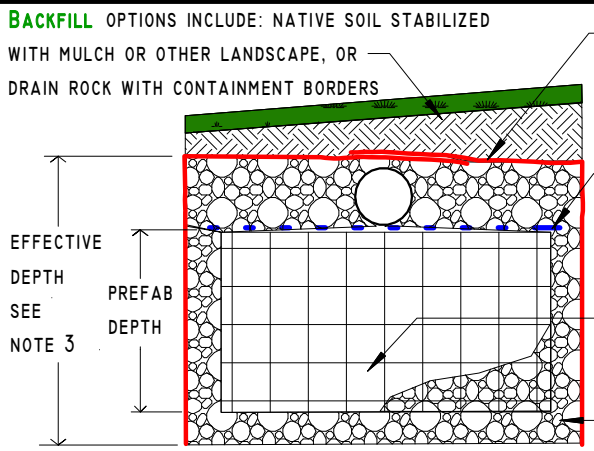
STANDARD DRAWING NO.

BMP-007

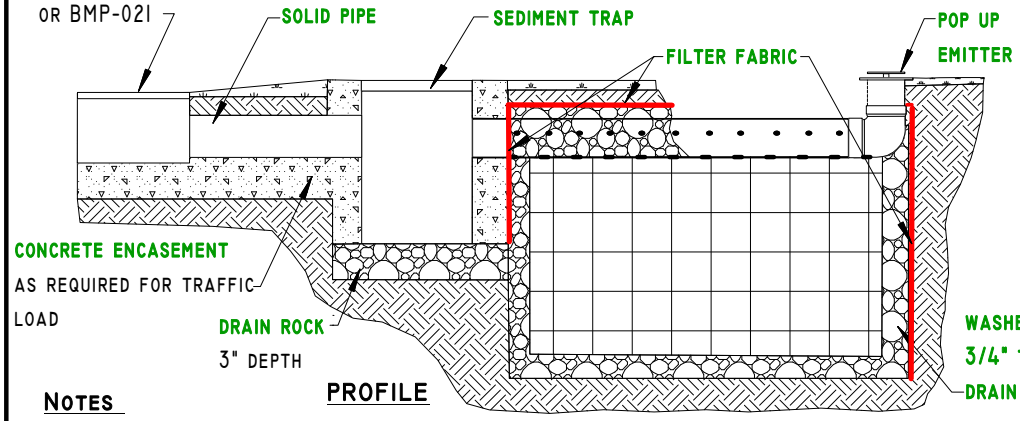
DATE: 4-6-2012



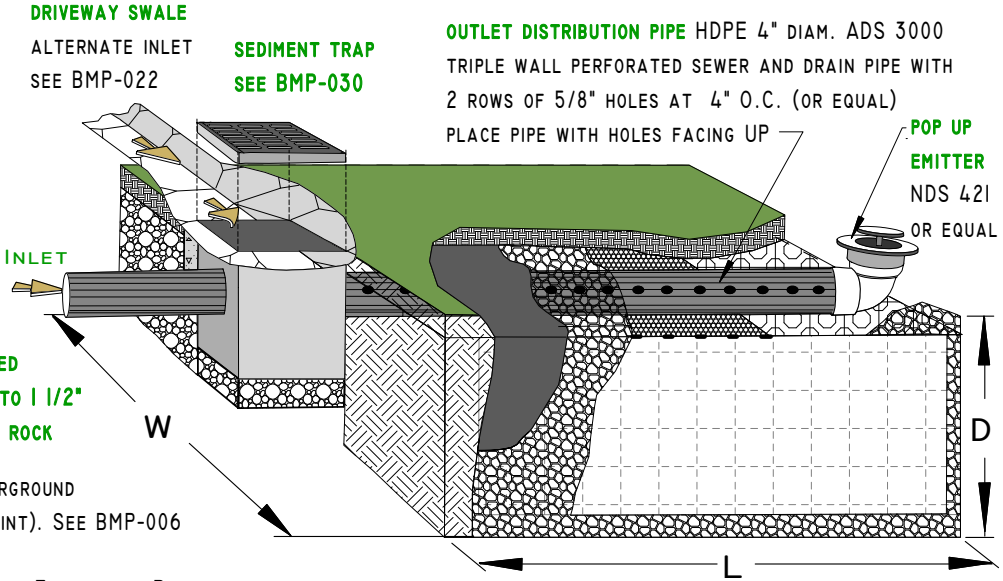
PLAN VIEW



END VIEW



PROFILE



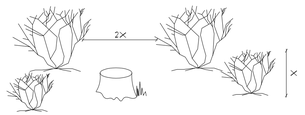
NOTES

1. INFILTRATION SYSTEM PRACTICE APPLIES WHERE CONCENTRATED STORMWATER RUNOFF IS INFILTRATED UNDERGROUND (E.G. AT THE END OF A PIPE, DRIVEWAY CONVEYANCE SWALE OR SLOTTED CHANNEL DRAIN, OR AT A LOW POINT). SEE BMP-006 FOR OTHER INFILTRATION SYSTEM COMPONENTS AND ALTERNATIVE MATERIALS THAT MAY APPLY.
2. FOR SITE SPECIFIC TRENCH DIMENSIONS (L, W AND D) AND BACKFILL REQUIREMENTS, REFER TO THE BMP "SITE EVALUATION RECOMMENDED TREATMENTS" FORM OR OTHER APPROVED BMP SIZING CALCULATIONS. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION AND REFER TO THE NRCS "INSTALLING INFILTRATION SYSTEMS" TIP SHEET. ALLOW FOR 3" DRAIN ROCK ENVELOPE ON ALL SIDES OF PREFAB. UNITS.
3. BOTTOM OF TRENCH MUST BE LEVEL. ON SLOPED SITES, EFFECTIVE DEPTH IS MEASURED ON THE DOWNHILL SIDE OF THE TRENCH.
4. *REGULARLY SCHEDULED MAINTENANCE IS NECESSARY TO MAINTAIN FULL FUNCTION. INSPECT IN SPRING, FALL AND AFTER HEAVY RAINS. REMOVE AND DISPOSE OF DEBRIS, PINE NEEDLES AND ACCUMULATED SEDIMENT PROPERLY. REMOVE POP-UP EMITTER COVER AND BACKFLUSH PERFORATED OUTLET PIPE IF NEEDED.*

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
TAHOE RESOURCE CONSERVATION DISTRICT, AND
NEVADA TAHOE CONSERVATION DISTRICT

DRAWN BY:	APPROVED BY:	DATE
CLT		

THIS STANDARD DRAWING IS BASED ON A REFERENCE TO THE NRCS STANDARD PRACTICE 570 - STORMWATER RUNOFF CONTROL.
USERS OF THESE DRAWINGS AND ASSOCIATED INFORMATION MUST BE QUALIFIED PERSONNEL TRAINED TO INTERPRET AND ADAPT TECHNOLOGY TO SITE AND LOCAL CONDITIONS.
INFILTRATION SYSTEM SIZING IS CALCULATED BASED ON THE HYDRAULIC CONDUCTIVITY OF THE SOILS ON SITE AND VOLUME OF RUNOFF BEING CAPTURED.
USDA IS AN EQUAL OPPORTUNITY PROVIDER AND EMPLOYER



SEPARATION BETWEEN TREES & SHRUBS — 2 / A1.0
NTS

SAGEBRUSH, MANZANITA, HUCKLEBERRY OAK, AND OTHER SHRUBS:
ON FLAT TO GENTLY SLOPING TERRAIN, INDIVIDUAL SHRUBS OR SMALL CLUMPS OF SHRUBS WITHIN THE DEFENSIBLE SPACE ZONE SHOULD BE SEPARATED FROM ONE ANOTHER BY AT LEAST TWICE THE HEIGHT OF THE AVERAGE SHRUB. FOR HOMES LOCATED ON STEEPER SLOPES, THE SEPARATION DISTANCE SHOULD BE GREATER.

FOR EXAMPLE, IF THE TYPICAL SHRUB HEIGHT IS 2 FEET, THEN THERE SHOULD BE A SEPARATION BETWEEN SHRUB BRANCHES OF AT LEAST 4 FEET. REMOVE SHRUBS OR PRUNE TO REDUCE THEIR HEIGHT AND/OR DIAMETER.

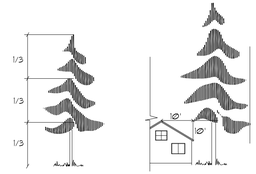
NOTE*: IF THERE IS A NEED TO REMOVE ADDITIONAL TREES NOT INDICATED ON THIS PLAN THE PROPERTY OWNER IS TO CONTACT THEIR LOCAL FIRE AGENCY. ANY AND ALL TREES BETWEEN THE LAKE AND THE BUILDING(S) OR STRUCTURE(S) TO BE REMOVED SHALL BE REVIEWED BY TRPA FOR SCENIC IMPACTS.

FOR SLOPED PROPERTIES, USE THE FOLLOWING STANDARDS FOR THE ABOVE REQUIREMENTS:

TREES	SLOPE	SPACING
	0 - 20%	10 FEET BETWEEN EDGES OF CROWNS
	20 - 40%	20 FEET BETWEEN EDGES OF CROWNS
	40% - UP	30 FEET BETWEEN EDGES OF CROWNS
BRUSH	**SLOPE**	**SPACING**
	0 - 20%	2X HEIGHT OF RESIDUAL BRUSH
	20 - 40%	4X HEIGHT OF RESIDUAL BRUSH
	40% - UP	6X HEIGHT OF RESIDUAL BRUSH

FOREST TREES — 3 / A1.0
NTS

ON FLAT OR GENTLY SLOPING TERRAIN, TREES SHOULD BE THINNED TO PROVIDE AN AVERAGE SEPARATION BETWEEN THE CANOPIES OF AT LEAST 10 FEET (TRPA). FOR HOMES LOCATED ON STEEPER SLOPES, THE SEPARATION DISTANCE SHOULD BE GREATER. STUMPS SHOULD BE CUT FLUSH TO THE GROUND FOR TREES LESS THAN 6 INCHES IN DIAMETER AT CHEST HEIGHT, AND TO WITHIN 6 INCHES OF THE GROUND FOR LARGER TREES. THE STUMPS CUT SURFACE SHOULD BE COATED WITH POWDERED BORAX TO RETARD THE SPREAD OF ROOT DISEASES. WHEN SELECTING TREES FOR REMOVAL, CONSIDER CUTTING UNHEALTHY, DAMAGED, OR WEAK TREES. RETAIN LESS COMMON SPECIES OF TREES, SUCH AS INCENSE CEDAR, SUGAR PINE, AND WESTERN JUNIPER IF POSSIBLE.



GUIDELINES FOR TRIMMING TREES — 4 / A1.0
NTS

ALL RESIDUAL TREES WILL BE LIMBED TO A HEIGHT OF 10'-0" FROM GROUND, NOT TO EXCEED 1/3 OF THE TOTAL TREE HEIGHT.

ALL RESIDUAL TREES WILL BE LIMBED TO ACHIEVE (10) FEET OF CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF THIS WOULD REQUIRE REMOVAL OF THE CROWN EXCEEDING THE LOWER 1/3 OF THE TREE, THEN THE ENTIRE SHEET SHOULD BE REMOVED.

TRIM ALL LOW HANGING LIMBS SO THAT NONE ARE LOWER THAN 10'-0" OF THE GROUND.

SEPARATION BETWEEN TREE BRANCHES & LOWER GROWING PLANT:
IF TREES ARE PRESENT WITHIN THE DEFENSIBLE SPACE ZONE, THERE SHOULD BE A REPARATION BETWEEN THE LOWER GROWING VEGETATION AND THE LOWEST TREE BRANCHES. VEGETATION THAT CAN CARRY FIRE BURNING IN LOW GROWING PLANTS TO TALLER PLANTS IS CALLED "LADDER FUEL." FOR LARGE TREES, THE RECOMMENDED SEPARATION FOR LADDER FUELS IS THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER. PRUNE BRANCHES FROM LOWER THIRD OF THE TREE HEIGHT, SHORTEN THE HEIGHT OF THE SHRUBS, OR REMOVE PLANTS. DO NOT REMOVE MORE THAN ONE-THIRD OF THE TOTAL TREE BRANCHES. WHEN THERE IS NO UNDERSTORY VEGETATION PRESENT, REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST FIVE FEET ABOVE GROUND. DURING FIRE, THIS WILL HELP PREVENT BURNING NEEDLES AND TWIGS THAT ARE LYING ON THE GROUND FROM IGNITING THE TREE. FOR SHORTER TREES, WHERE THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER EXTENDS BEYOND THE LOWER THIRD OF THE TREE HEIGHT, SHORTEN THE HEIGHT OF THE SHRUBS OR REMOVE PLANTS BELOW THE TREE.

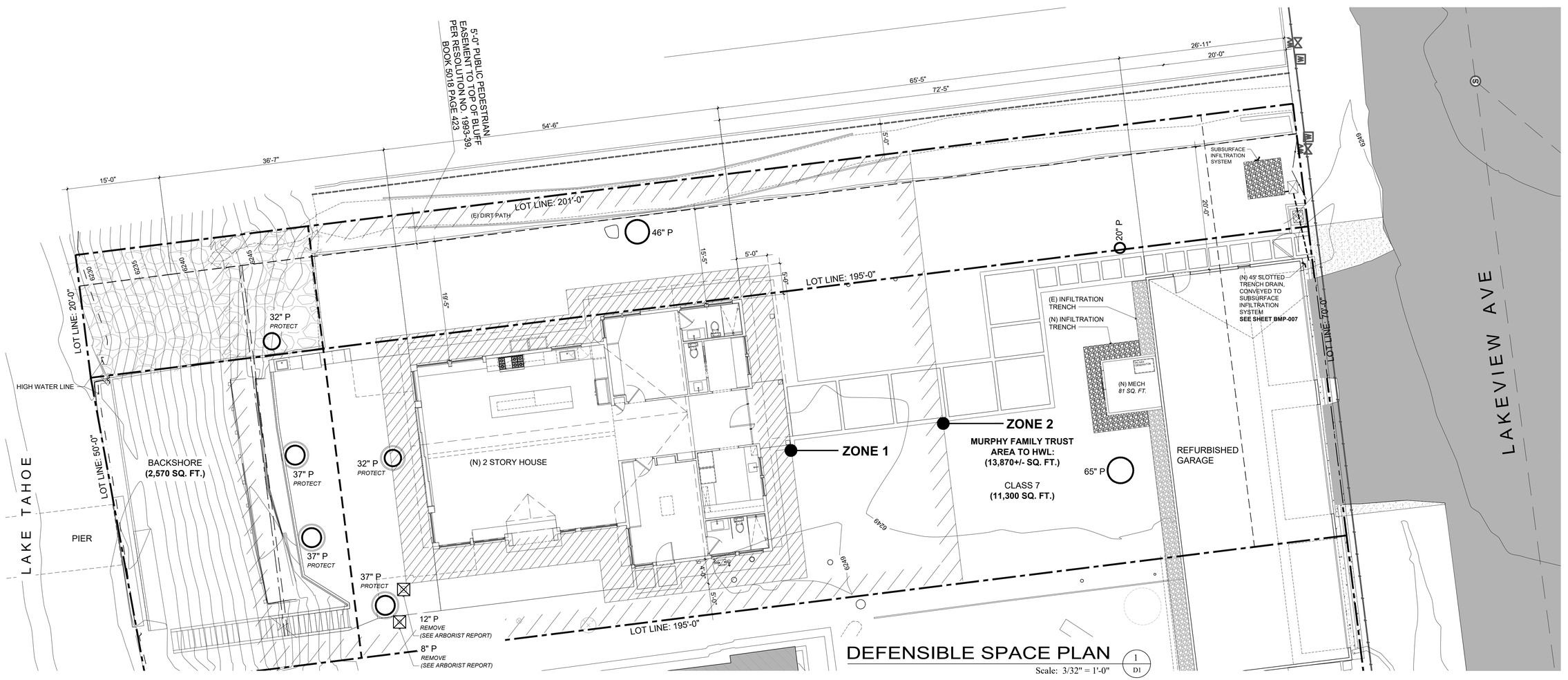
NOTE: SEE PRUNING AND PROTECTION NOTES FROM ARBORIST.

TRPA REVEGETATION NOTES:
1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA "HANDBOOK OF BEST MANAGEMENT PRACTICES" AND "LIVING WITH FIRE", LAKE TAHOE BASIN, SECOND EDITION.
2. FERTILIZER USE SHALL BE IN ACCORDANCE WITH THE FERTILIZER MANAGEMENT STANDARDS IN TRPA CODE 60.1.8.
3. ALL VEGETATION SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THE TRPA CODE OF ORDINANCES, INCLUDING THE SPECIFICATION FOR SIZING AND SPECIES TYPE. PLANT SPECIES ON THE TRPA RECOMMENDED NATIVE AND ADAPTED PLANT LIST SHALL BE USED FOR LANDSCAPING AND REVEGETATION PER TRPA CODE OF ORDINANCES.
4. REMOVAL OF TREES 14" DIAMETER AT CHEST HEIGHT OR GREATER REQUIRE TRPA APPROVAL. REMOVAL OF TREES GREATER THAN 6" DBH ON LAKEFRONT PARCELS THAT ARE BETWEEN A STRUCTURE AND THE LAKE REQUIRE TRPA APPROVAL. ANY TREES THAT ARE REQUIRED TO BE PLANTED OR RETAINED AS PART OF A PERMIT, OR THAT ARE LOCATED IN A STREAM ENVIRONMENT ZONE OR BACKSHORE AREA, CANNOT BE REMOVED WITHOUT TRPA APPROVAL.
5. TREE ROOTS MUST BE PROTECTED DURING EXCAVATION TO PREVENT DAMAGE TO THE TREE. THE FOLLOWING PRACTICES ARE RECOMMENDED:
   A. TREE ROOTS FOUR INCHES IN DIAMETER OR GREATER SHALL NOT BE SEVERED, IF AVOIDABLE. HAND DIG AROUND ROOTS IF NECESSARY.
   B. IF ROOTS CANNOT BE AVOIDED, CUT AS FAR AWAY FROM THE TRUNK AS POSSIBLE.
   C. A CLEAN, VERTICAL CUT WILL PROVIDE MORE PROTECTION FOR THE TREE THAN LEAVING ROOTS TORN OR CRUSHED.
   D. CONSTRUCTION MATERIALS SHALL NOT BE STORED WITHIN THE DRIPLINE OF THE TREE.
6. THE TREES ON THIS PARCEL SHALL BE CONSIDERED AS SCENIC MITIGATION AND SHALL NOT BE REMOVED OR TRIMMED FOR PURPOSES OF VIEW ENHANCEMENT. ANY SUCH REMOVAL OR TRIMMING SHALL CONSTITUTE A VIOLATION OF PROJECT APPROVAL.
7. REMOVAL OF ANY ADDITIONAL TREES ON THE LAKESIDE OF THE PROPERTY MAY TRIGGER THE REQUIREMENT FOR A REVISED SCENIC ANALYSIS.

ZONE 1: 0' - 5' NONCOMBUSTIBLE AREA:
CREATE A NONCOMBUSTIBLE AREA AT LEAST 5 FEET WIDE AROUND THE BASE OF THE STRUCTURE (INCLUDING ALL DECKS). THIS AREA NEEDS TO HAVE A VERY LOW POTENTIAL FOR IGNITION FROM FLYING EMBERS. USE IRRIGATED HERBACEOUS PLANTS SUCH AS LAWN, GROUND COVER, AND FLOWERS THAT ARE RECOMMENDED FOR THE LAKE TAHOE BASIN; ROCK MULCHES; OR HARD SURFACES, SUCH AS BRICK AND PAVERS, IN THIS AREA.
1. THE AREA WITHIN 0' - 5' OF THE FOUNDATION OR SUPPORT POSTS SHOULD CONTAIN NO COMBUSTIBLE MATERIALS, INCLUDING COMBUSTIBLE PLANT MATERIAL. A 3" GRAVEL MOAT IS THE PREFERRED MATERIAL OF USE. DRIP LINES MAY BE INCORPORATED INTO THIS AREA.
2. REMOVE ALL PINE NEEDLES AND FOREST DUFF WITHIN THIS AREA.

ZONE 2: 5' - 30' LEAN, CLEAN AND GREEN AREA:
FOR A DISTANCE OF 5 FEET TO 30 FEET FROM THE STRUCTURE, THERE SHOULD BE A LEAN, CLEAN, AND GREEN AREA. "LEAN" INDICATES THAT ONLY A SMALL AMOUNT OF FLAMMABLE VEGETATION, IF ANY, IS PRESENT WITHIN 30 FEET OF THE STRUCTURE. "CLEAN" MEANS THERE IS LITTLE OR NO ACCUMULATION OF DEAD VEGETATION OR FLAMMABLE DEBRIS WITHIN THE AREA DURING FIRE SEASON. "GREEN" IMPLIES THAT PLANTS LOCATED WITHIN THIS AREA ARE KEPT HEALTHY, GREEN AND IRRIGATED DURING FIRE SEASON.
1. TRIM ALL TREES OVER 20 FEET A MINIMUM OF 10 FEET ABOVE ADJACENT GRADE.
2. REMOVE ANY TREE 14 INCHES DIAMETER OR LESS (AS INDICATED ON DRAWINGS) TO CREATE A 10 FOOT SPACE BETWEEN ANY ADJACENT TREE CANOPY. REFER TO DETAIL 2.
3. REMOVE ACCUMULATION OF DEAD VEGETATION FROM TREES (FLAMMABLE DEBRIS, DEAD BRANCHES AND LIMBS) 10 FEET ABOVE ADJACENT GRADE.
4. WITHIN 5' - 30' OF THE STRUCTURE ONLY SINGLE SPECIMENS OF WELL MAINTAINED AND WELL IRRIGATED SHRUBS OR TREES SHOULD BE PRESENT. SUCH MATERIALS SHOULD NOT BE CAPABLE OF READILY TRANSMITTING FIRE TO THE STRUCTURE. COMBUSTIBLE MULCHES OR PINE NEEDLES SHOULD NOT BE USED AS GROUND COVER WITHIN THIS ZONE.
5. ALL BRUSH, TREES OR FLAMMABLE MATERIAL WILL BE REMOVED FROM UNDER THE DRIP LINE OF RESIDENTIAL TREES OF THE TREE GROUP.
6. REMOVE ALL PINE NEEDLES AND FOREST DUFF WITHIN THIS AREA.

ZONE 3: 30' - 100' WILDLAND FUEL REDUCTION AREA:
THE WILDLAND FUEL REDUCTION AREA LIES BEYOND THE LEAN, GREEN AREA AND OFTEN CONSISTS OF NATURALLY OCCURRING PLANTS (PINE TREES, MANZANITA, SAGEBRUSH, ETC.) WITHIN THIS AREA. REMOVE DEAD VEGETATION, INCLUDING DEAD SHRUBS, DRIED GRASS, FALLEN BRANCHES, THICK ACCUMULATION OF NEEDLES AND LEAVES ETC. THIN, DENSE STANDS OF SHRUBS AND TREES TO CREATE A SEPARATION BETWEEN THEM. REMOVING TREES MORE THAN 14" IN DIAMETER REQUIRES A PERMIT FROM THE TAHOE REGIONAL PLANNING AGENCY (TRPA) OR YOUR LOCAL FIRE PROFESSIONAL.
1. TREE CANOPIES WILL BE SPACED AT LEAST 10 FEET APART. IF TREES ARE GROUPED CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT, THEN ALL OTHER REQUIREMENTS MUST BE MET. REFER TO DETAIL 2.
2. BEYOND 30 FEET FROM THE STRUCTURE, BRUSH FIELDS MUST BE SPACED TO A DISTANCE EQUAL OR GREATER THAN (2) TIMES THE HEIGHT OF THE BRUSH. INDIVIDUAL BRUSH PLANTS WILL NOT EXCEED 100 SQUARE FEET. REFER TO DETAIL 1.
3. PINE NEEDLES ARE ACCEPTABLE WITHIN ZONE 3 AS LONG AS THEY ARE NO THICKER THAN 2 OR 3 INCHES.



DEFENSIBLE SPACE PLAN — 1 / D1
Scale: 3/32" = 1'-0"

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

PLANNING SET

Owner :
MURPHY RESIDENCE
TIM RASUBENI
SOUTH LAKE TAHOE, CA 96150

Zoning: RI
Existing Home Built: 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Defensible Space Plan
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RASUBENI
Date : 12.08.22

D1

Sheet
Scale:

AGENDA ITEM NO. V. A.

VERIFIED COVERAGE PER TRPA FILE# 960679; 950108 + 11/27/95 LETTER

LAND CLASS	1b/BACKSHORE 1%	CLASS 7 30%	TOTAL
LAND AREA	1,995	11,928	13,923
ALLOWABLE COVERAGE	20	3,578	3,598
HOUSE		969	969
GARAGE		1,145	1,145
CONCRETE WALKS		520	520
DECK, PORCH + STAIRS	235	1,459	1,694
COMPACTED DIRT DRIVE		110	110
TOTAL VERIFIED COVERAGE	**235**	**4,203**	**4,438**
EXCESS COVERAGE	215	625	840
EXISTING OFF-SITE COVERAGE			
COMPACTED DIRT DRIVE		696	696

PROPOSED COVERAGE

LAND CLASS	1b/BACKSHORE 1%	CLASS 7 30%	TOTAL
LAND AREA	2,570	11,300	13,870
ALLOWABLE COVERAGE	26	3,390	3,416
RESIDENCE	0	1,887	1,887
STOOP	0	62	62
EXISTING GARAGE	0	1,160	1,160
ASPHALT	0	46	46
PERVIOUS PAVER WALKWAY	0	550	550
PERVIOUS PAVER FIREPLACE TERRACE	0	297	297
PERVIOUS DECK	404	571	975
STAIRS	80	0	80
MECHANICAL PAD	0	81	81
PROPOSED COVERAGE	**484**	**4,654**	**5,138**
COVERAGE EXEMPTIONS		*777*	*777*
PROPOSED COVERAGE W/ EXEMPTIONS	***484***	***3,877***	***4,361***

PERVIOUS COVERAGE EXEMPTIONS

PERVIOUS DECK	0	565	565
PERVIOUS PAVER WALKWAY	0	138	138
PERVIOUS PAVER FIREPLACE TERRACE	0	74	74
TOTAL COVERAGE EXEMPTIONS	0	777	777

PERVIOUS DECK CALCULATIONS

PROPOSED PERVIOUS DECK	0	571	571
MAX. PERVIOUS DECK EXEMPTION	0	565	565
PROPOSED DECK COVERAGE	0	6	6
** 5% OF NON-SENSITIVE LANDS*			

PROPOSED OFF-SITE COVERAGE

ASPHALT	0	595	595
COMPACTED DIRT PARKING	0	147	147
TOTAL OFF-SITE COVERAGE	0	742	742

LOT INFO.

APN = 026-021-011
LOT SIZE: 13,370 SQ. FT.
LAND CAPABILITY CLASS: 7 + BACKSHORE

HARDSCAPE COVERAGE

DECK, TERRACE + WALKWAY

A	888 SQ. FT.
B	297 SQ. FT.
C	39 SQ. FT.
D	48 SQ. FT.
E	80 SQ. FT.
F	18 SQ. FT.
G1	64 SQ. FT.
G2	64 SQ. FT.
G3	64 SQ. FT.
G4	64 SQ. FT.
G5	64 SQ. FT.
G6	40 SQ. FT.
G7	64 SQ. FT.
G8	108 SQ. FT.
H	81 SQ. FT.
I1	19 SQ. FT.
I2	20 SQ. FT.
+ J	7 SQ. FT.
	2,029 SQ.FT.

2,029 SQ.FT. / 13,923 SQ.FT. (LOT SIZE) = ***14.57%***

= HARDSCAPE COVERAGE

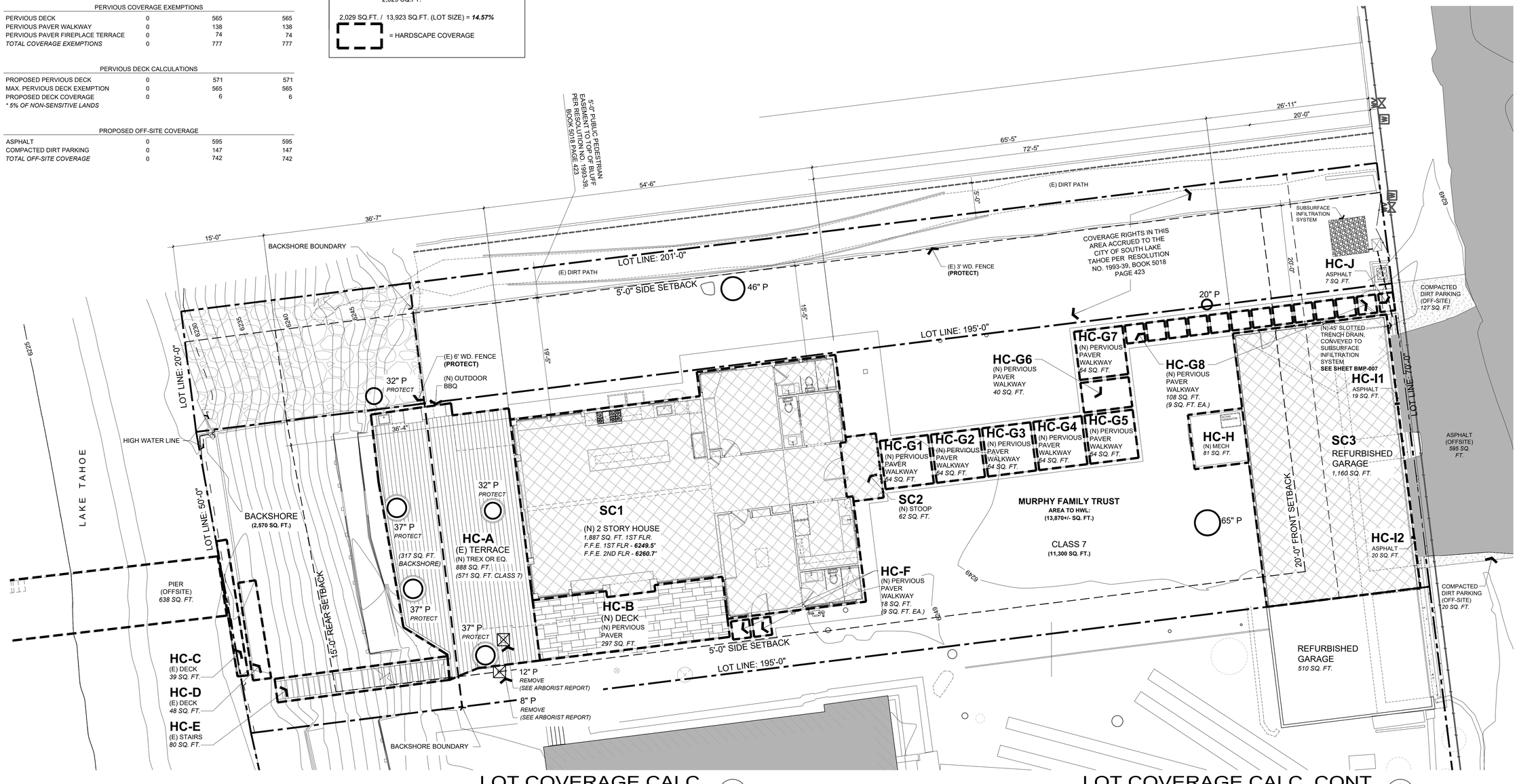
STRUCTURAL COVERAGE

RESIDENCE + GARAGE

SC1	1,887 SQ. FT.
SC2	62 SQ. FT.
SC3	1,160 SQ. FT.
TOTAL	3,109 SQ. FT.

3,109 SQ.FT. / 13,923 SQ.FT. (LOT SIZE) = ***22.33%***

= STRUCTURAL COVERAGE



LOT COVERAGE CALC. (1 LC)
Scale: 1/8" = 1'-0"

LOT COVERAGE CALC. CONT. (2 LC)
Scale: 1/8" = 1'-0"

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

PLANNING SET

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
Lot SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
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form+one
DESIGN ■ PLANNING

Title : Lot Coverage Calc.
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RADKENS
Date : 12.08.22

LC

Sheet
Scale:

AGENDA ITEM NO. V. A.

RELATED CODE REQUIREMENTS: (EGRESS + WINDOWS + DRS.)

1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
4. MAX. U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS ***2019*** CEC 150.0 (Q)
5. MAX. TOTAL AREA, 20%, NO MAXIMUM FOR WEST FACING AREA TABLE 150.1-A, & B
6. FENESTRATION MAX. U-FACTOR 0.30. NO SHGC REQUIREMENT TABLE 150.1-A, & B
7. DOOR MAX. U-FACTOR: 0.20 TABLE 150.1A, & B

2019 CODE REQUIREMENTS: (PLUMBING)

1. REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT HTTP://LEGINFO.CA.GOV/PUB/09-10/BILL/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED.HTML.
2. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1,FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE EXCESS OF ***1.6 GPF*** WILL NEED TO BE REPLACED WITH W.C. W/ A MAX. FLOW RATE OF ***1.28 GPF***. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAX. ***1.8 GPM*** SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN ***1.5 GPM*** WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

PLUMBING:
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE. THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE,
MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE ¼" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

BUILDING:
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" ABOVE THE DRAIN INLET WITH MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER AND IS NOT ALLOWED ON CEILINGS.
CEMENT BOARD WITH A MOISTURE BARRIER AND CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, AND AT EACH LEVEL PER THE BUILDING CODE.

RELATED CODE REQUIREMENTS: (BATHS)(CONT.)

ELECTRICAL:
- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
- A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
- LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT
SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.
MECHANICAL:
- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES.
BE INSPECTED UNDER TEST PRIOR TO COVERING.

GENERAL NOTES:

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
5. WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ ***1.28 GALLONS MAX.*** PER FLUSH, PER CPC & GCG 4.303.1.1
6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.
7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
8. SUB- PANEL ELECT., VERIFY LOCATION W/ OWNER.
9. ALL SHOWER HEADS TO HAVE ***1.8 GPM @ 60 PSA*** FLOW MAX. PER ***2019*** CPC SECT. 408.2 & (CGC 4.303.1.2)
10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
11. NA
12. ALL LAVATORY FAUCETS TO HAVE ***1.2 GPM***, + KITCHEN FAUCETS TO HAVE ***1.8 GPM*** FLOW MAX. PER ***2019*** CPC SECT. 403.7, & 403.6 (CGC 4.303.1.4.4)
13. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) ***2019*** CPC 609.10.
14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
16. (E) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
17. (E) ELECTRICAL METER LOCATION ***TO BE MOVED PER PLANS.***
18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. PER ***2019*** CRC R311.3
19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.
20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION . ***2019*** CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3
21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. ***2019*** CGC §4.505.3
22. FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
23. ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE. ***2019*** CGC 4.503.1
24. PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) ***2019*** CRC R311.3
25. WALLS WITH 2 X 6 AND LARGER FRAMING REQUIRE R-19 INSULATION 150.0(C)2
26. CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO THE WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M AND 5:00 P.M.

REVEGETATION + TRPA NOTES:

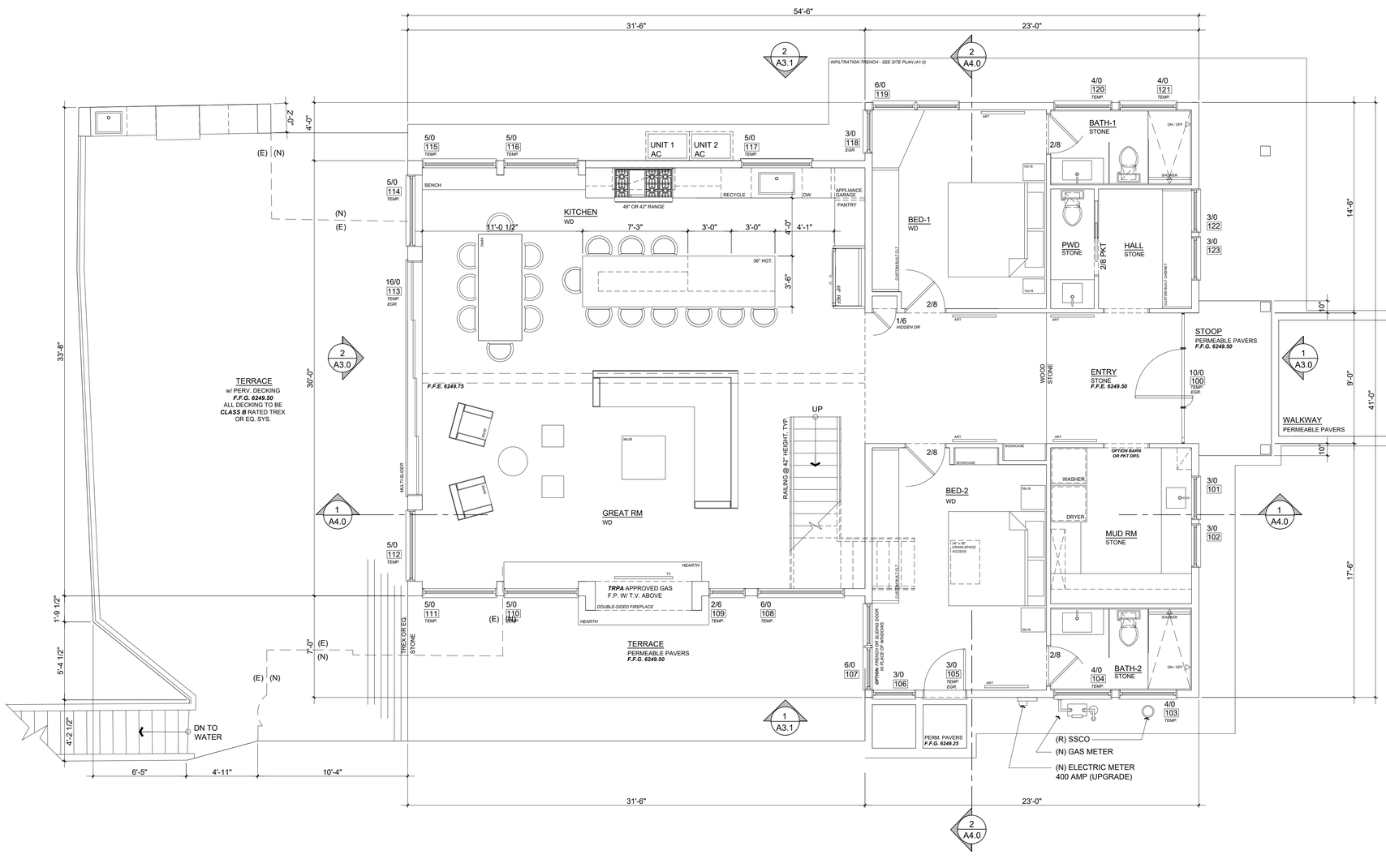
1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA "HANDBOOK OF BEST MANAGEMENT PRACTICES" AND "LIVING WITH FIRE", LAKE TAHOE BASIN, SECOND EDITION.
2. EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE FOUNDATION FOOTPRINT TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE BUILDING FOOTPRINT.
3. CONSTRUCTION PLANS SHALL BE CONFIRMED AT THE TIME OF THE TRPA PRE-GRADING INSPECTION. ANY REQUIRED MODIFICATIONS, AS DETERMINED BY TRPA, SHALL BE INCORPORATED INTO THE PROJECT PERMIT AT THAT TIME.
4. DUST CONTROL MEASURES SHALL BE IN PLACE DURING THE CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 30 FEET OF STRUCTURE.
5. FOR ALL AREAS DISTURBED BY CONSTRUCTION, INSTALL TEMPORARY STABILIZATION MEASURES SUCH AS EROSION CONTROL BLANKETS OR HYDROMULCH W/ TACKIFIERS. COVER STOCKPILES THAT WILL REMAIN COVERED IN WINTER WITH A DURABLE MATERIAL OR PLASTIC SHEETING. THESE MEASURES SHALL BE MAINTAINED FROM COMPLETION OF THE INITIAL GRADING THROUGH COMPLETION OF THE PROJECT.
6. ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARD AND BE CONSISTENT WITH TRPA CODE OF ORDINANCES, SECTION 36.8, EXTERIOR LIGHTING STANDARDS.
7. THIS SITE SHALL BE WINTERIZED IN ACCORDANCE WITH THE PROVISIONS OF ATTACHMENT R BY OCTOBER 15TH OF EACH CONSTRUCTION SEASON. ALL DISTURBED AREAS SHALL BE STABILIZED WITH A 3-INCH LAYER OF MULCH OR COVERED WITH AN EROSION CONTROL BLANKET.
8. THE PERMITTEE IS RESPONSIBLE FOR INSURING THAT THE PROJECT, AS BUILT, DOES NOT EXCEED THE APPROVED LAND COVERAGE FIGURES SHOWN ON THIS SITE PLAN. THE APPROVED LAND COVERAGE FIGURES SHALL SUPERCEDE SCALED DRAWINGS WHEN DISCREPANCIES OCCUR.
9. TEMPORARY AND PERMANENT BMPS MAY BE FIELD FIT BY THE ENVIRONMENTAL COMPLIANCE INSPECTOR WHERE APPROPRIATE.
10. PROVIDE A 3" LAYER OF CRUSHED 3/4" DRAINROCK BENEATH ALL RAISED BEDS.

POLLUTANT CONTROL NOTES:

1. PAINTS + COATINGS WILL COMPLY WITH VOC LIMITS PER **2019** CGC §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. ***2019*** CGC §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING + PRODUCT REQUIREMENTS FOUND IN THE ***2019*** CALIFORNIA GREEN BUILDING CODE. ***2019*** CGC §4.504.3
4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. ***2019*** CGC §4.504.4
5. HARDWOOD PLYWOOD, PARTICLEBOARD, + MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. ***2019*** CGC §4.504.5
6. AEROSOL PAINTS + COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND COMPLY W/ PERCENT VOC BY WEIGHT OF PRODUCT LIMITS, REGULATION 8, RULE 49. PER ***2019*** CGC 4.504.2.3
7. ADHESIVES, SEALANTS, + CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS ***2019*** CGC §4.504.2.1

INSULATION: (See Title-24 For Min.)

1. ALL EXTERIOR 2X6 WALLS: R-21 BATT INSULATION, ***OR*** MIN. BY TITLE-24
2. ALL EXTERIOR 2X4 WALLS: R-15 BATT INSULATION
OR MIN. BY TITLE-24
3. ALL CEILINGS TO RECEIVE R-32 MIN. INSULATION
OR MIN. BY TITLE-24
4. ALL UNDER FLOOR TO RECEIVE R-19 BAT INSULATION
5. ALL BATHROOMS, LAUNDRY ROOMS, TO RECEIVE SOUND BATT, INSULATION, TYPICAL.
6. CEILING INSULATION, MIN. R-30 INSULATION REQUIRED.
7. ***BUILDING ENVELOPE INSULATION:*** PER CLIMATE ZONE: 3 TABLE 150.1-A, & B
8. ***BUILDING ENVELOPE INSULATION:*** WALLS, ABOVE OR BELOW GRADE, MEET STANDARDS IN TABLE 150.1-A & B
9. QUALITY INSULATION INSTALLATION INSPECTION ***(QII)*** IS REQUIRED BY A THIRD PARTY.



PROPOSED FIRST FLOOR PLAN

SQUARE FOOTAGE 1ST FLR.: **1,887**

Scale: 1/4 = 1'-0"

1 / A2.0

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

PLANNING SET

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Proposed First Floor Plan

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22

Drawn : TIM RAUDENZ

Job No. : 22_42

A2.0

Sheet

Scale: See Details

AGENDA ITEM NO. V. A.

RELATED CODE REQUIREMENTS: (EGRESS + WINDOWS + DRS.)

1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
4. MAX. U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS ***2019*** CEC 150.0 (Q)
5. MAX. TOTAL AREA, 20%, NO MAXIMUM FOR WEST FACING AREA TABLE 150.1-A, & B
6. FENESTRATION MAX. U-FACTOR 0.30. NO SHGC REQUIREMENT TABLE 150.1-A, & B
7. DOOR MAX. U-FACTOR: 0.20 TABLE 150.1A, & B

2019 CODE REQUIREMENTS: (PLUMBING)

1. REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT HTTP://LEGINFO.CA.GOV/PUB/09-10/BILL/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED.HTML.
2. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1,FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE EXCESS OF ***1.6 GPF*** WILL NEED TO BE REPLACED WITH W.C. W/ A MAX. FLOW RATE OF ***1.28 GPF***. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAX. ***1.8 GPM*** SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN ***1.8 GPM*** WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

PLUMBING:
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE. THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE,
MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE ¼" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

BUILDING:
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" ABOVE THE DRAIN INLET WITH MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER AND IS NOT ALLOWED ON CEILINGS.
CEMENT BOARD WITH A MOISTURE BARRIER AND CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, AND AT EACH LEVEL PER THE BUILDING CODE.

RELATED CODE REQUIREMENTS: (BATHS)(CONT.)

ELECTRICAL:
- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
- A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
- LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT
SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.
MECHANICAL:
- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES.
BE INSPECTED UNDER TEST PRIOR TO COVERING.

GENERAL NOTES:

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
5.WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ ***1.28 GALLONS MAX.*** PER FLUSH, PER CPC & GCG 4.303.1.1
6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.
7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
8. SUB- PANEL ELECT., VERIFY LOCATION W/ OWNER.
9. ALL SHOWER HEADS TO HAVE ***1.8 GPM @ 60 PSA*** FLOW MAX. PER ***2019*** CPC SECT. 408.2 & (CGC 4.303.1.2)
10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
11. NA.
12. ALL LAVATORY FAUCETS TO HAVE ***1.2 GPM***, + KITCHEN FAUCETS TO HAVE ***1.8 GPM*** FLOW MAX. PER ***2019*** CPC SECT. 403.7, & 403.6 (CGC 4.303.1.4.4)
13. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) ***2019*** CPC 609.10.
14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
16. (E) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
17. (E) ELECTRICAL METER LOCATION ***TO BE MOVED PER PLANS.***
18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. PER ***2019*** CRC R311.3
19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.
20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION . ***2019*** CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3
21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. ***2019*** CGC §4.505.3

GENERAL NOTES: (cont.)

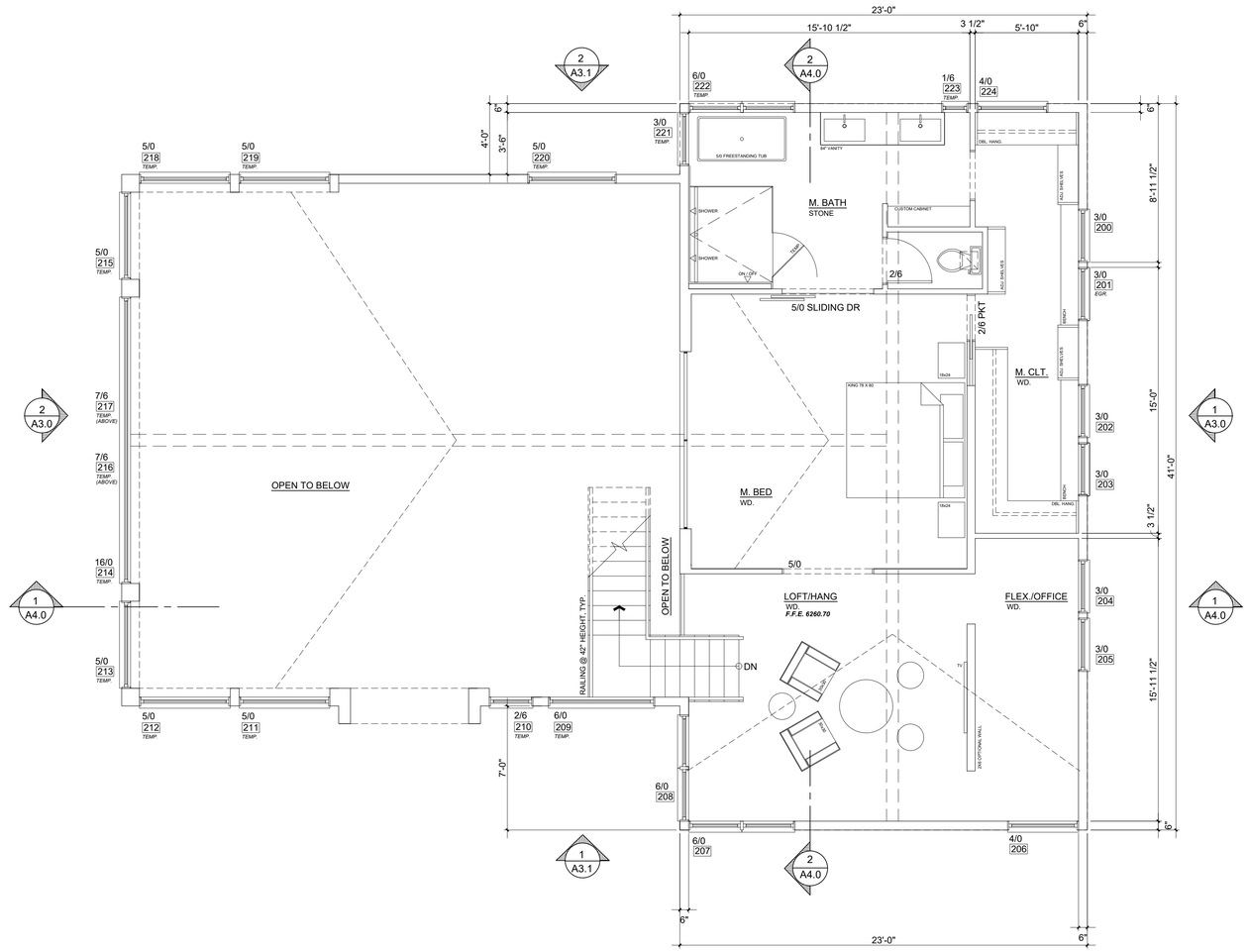
22. FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
23. ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE. ***2019*** CGC 4.503.1
24. PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) ***2019*** CRC R311.3
25. WALLS WITH 2 X 6 AND LARGER FRAMING REQUIRE R-19 INSULATION 150.0(C)2
26 CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO THE WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M AND 5:00 P.M.

INSULATION: (See Title-24 For Min.)

1. ALL EXTERIOR 2X6 WALLS: R-21 BATT INSULATION, ***OR*** MIN. BY TITLE-24
2. ALL EXTERIOR 2X4 WALLS: R-15 BATT INSULATION
OR MIN. BY TITLE-24
3. ALL CEILINGS TO RECEIVE R-32 MIN. INSULATION
OR MIN. BY TITLE-24
4. ALL UNDER FLOOR TO RECEIVE R-19 BAT INSULATION
5. ALL BATHROOMS, LAUNDRY ROOMS, TO RECEIVE SOUND BATT, INSULATION, TYPICAL.
6. CEILING INSULATION, MIN. R-30 INSULATION REQUIRED.
7. ***BUILDING ENVELOPE INSULATION:*** PER CLIMATE ZONE: 3 TABLE 150.1-A, & B
8. ***BUILDING ENVELOPE INSULATION:*** WALLS, ABOVE OR BELOW GRADE, MEET STANDARDS IN TABLE 150.1-A & B
9. QUALITY INSULATION INSTALLATION INSPECTION ***(QII)*** IS REQUIRED BY A THIRD PARTY.

POLLUTANT CONTROL NOTES:

1. PAINTS + COATINGS WILL COMPLY WITH VOC LIMITS PER **2019** CGC §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. ***2019*** CGC §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING + PRODUCT REQUIREMENTS FOUND IN THE ***2019*** CALIFORNIA GREEN BUILDING CODE. ***2019*** CGC §4.504.3
4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. ***2019*** CGC §4.504.4
5. HARDWOOD PLYWOOD, PARTICLEBOARD, + MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. ***2019*** CGC §4.504.5
6. AEROSOL PAINTS + COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND COMPLY W/ PERCENT VOC BY WEIGHT OF PRODUCT LIMITS, REGULATION 8, RULE 49. PER ***2019*** CGC 4.504.2.3
7. ADHESIVES, SEALANTS, + CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS ***2019*** CGC §4.504.2.1



PROPOSED SECOND FLOOR PLAN

SQUARE FOOTAGE 2ND FLR.: **943**

Scale: 1/4 = 1'-0"

1 A2.1

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

PLANNING SET

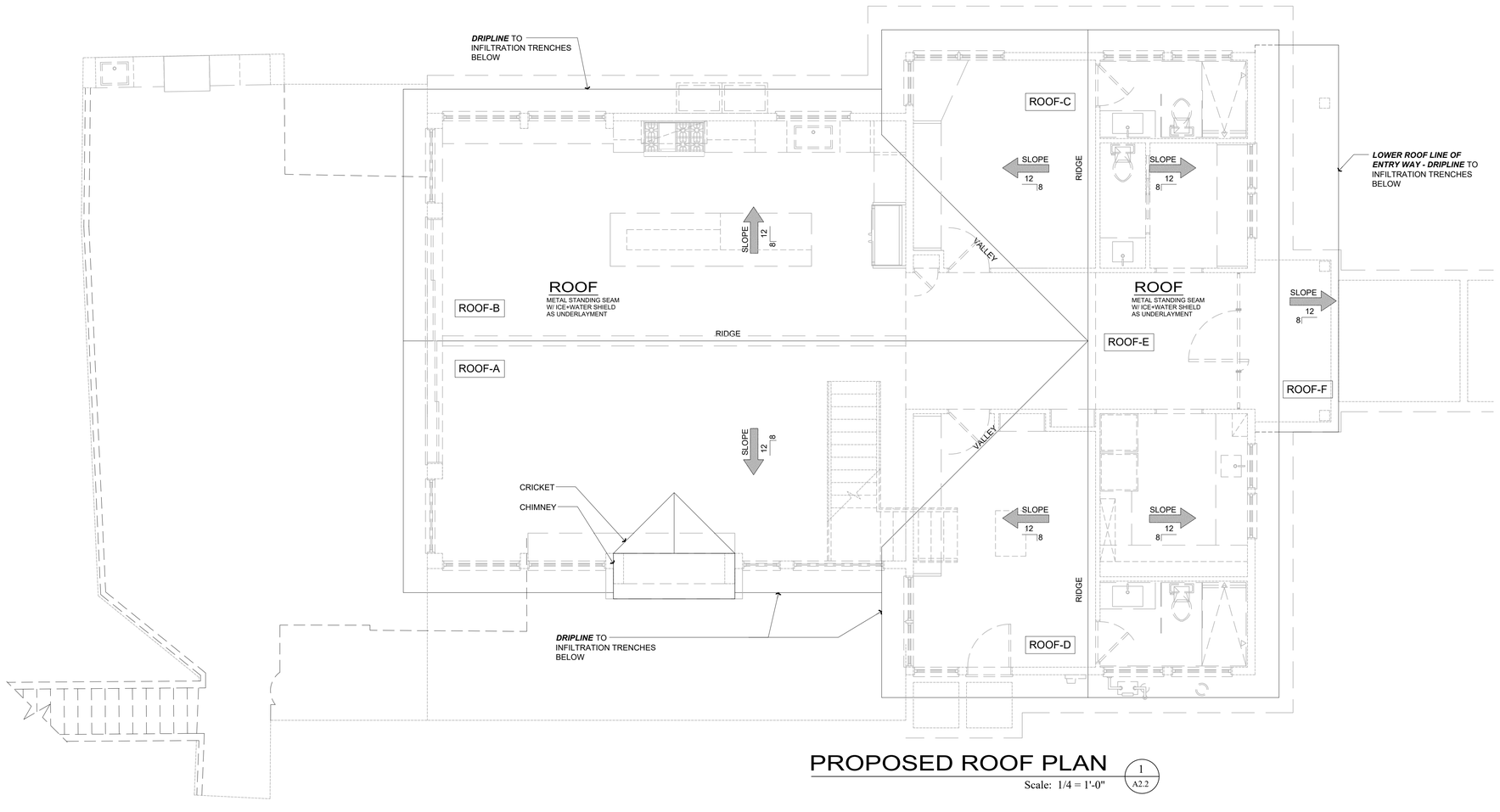
Title : Proposed Second Floor Plan
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22
Drawn : TIM RADUENZ
Job No. : 22_42

A2.1

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.



PROPOSED ROOF PLAN

Scale: 1/4 = 1'-0"

1 / A2.2

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

PLANNING SET

Contractor :

Owner : MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.34 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

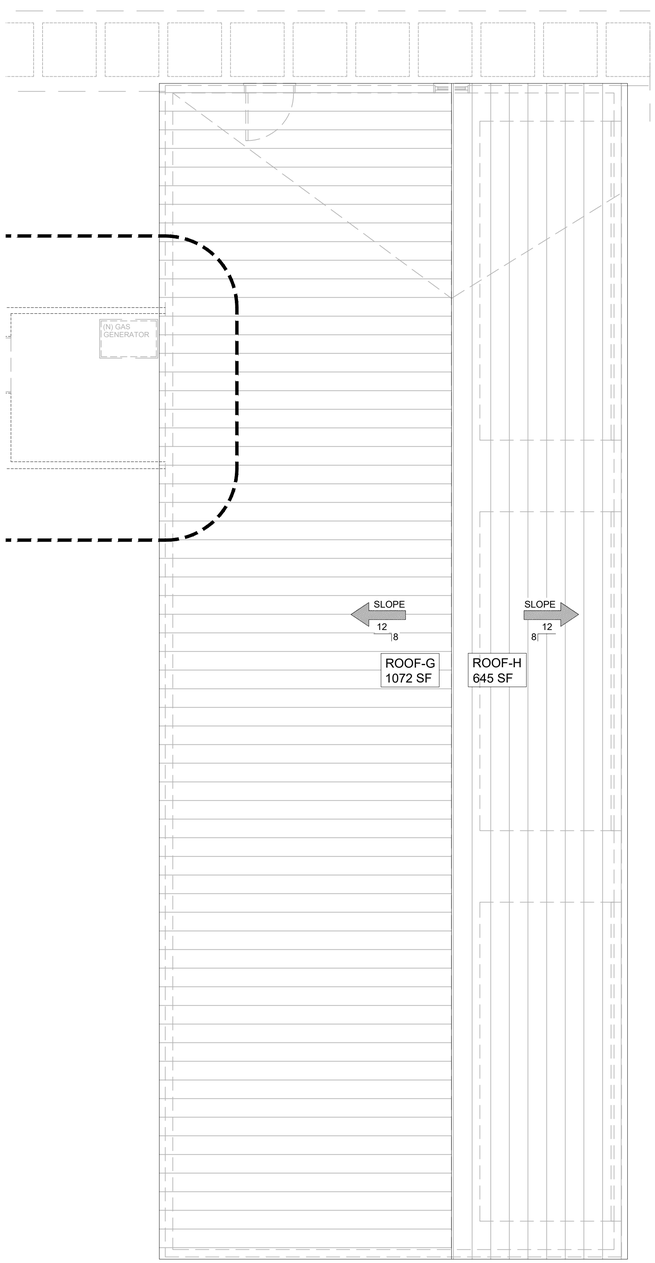
Title : Proposed Roof Plan
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RADUENZ
Date : 12.08.22

A2.2

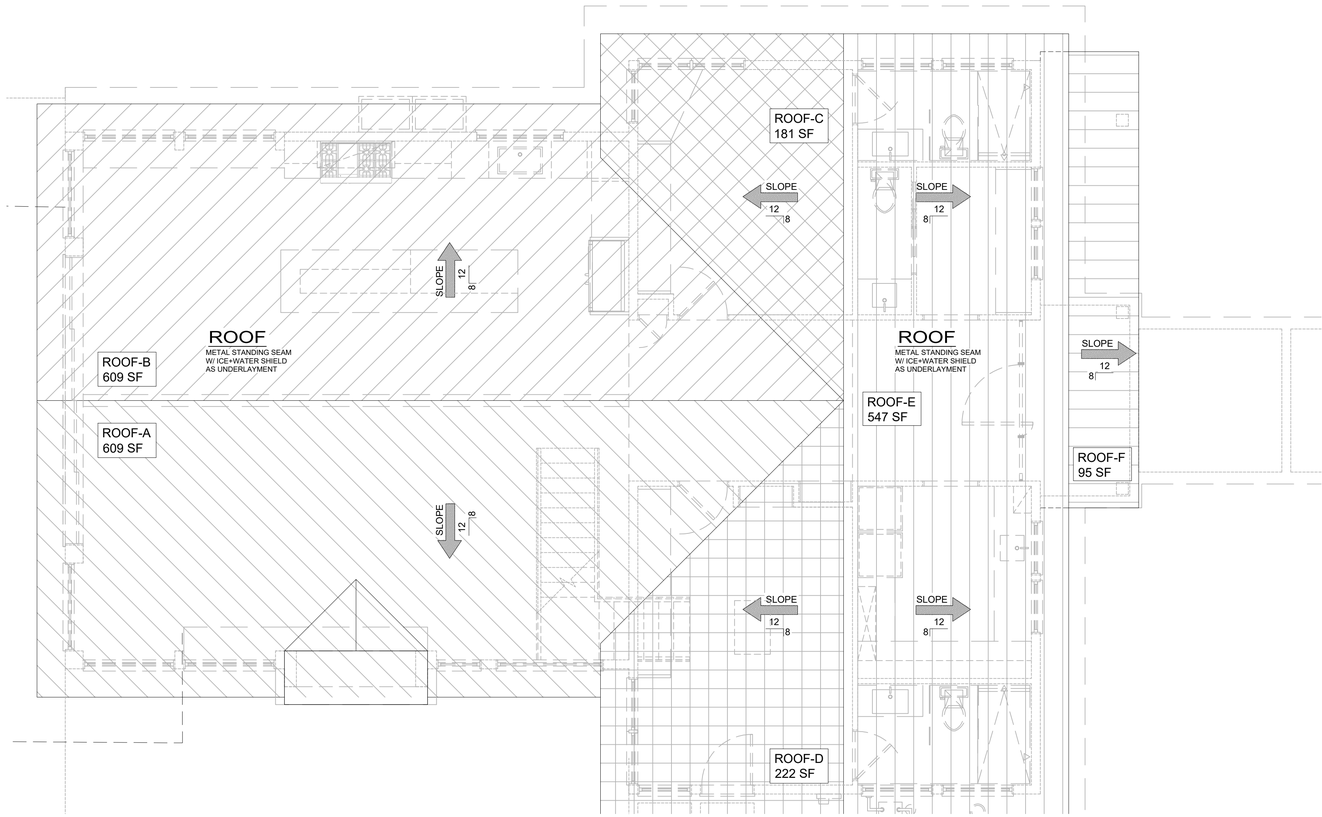
Sheet

Scale: See Details

AGENDA ITEM NO. V. A.



(E) GARAGE ROOF PLAN (2 / A2.3)
INFILTRATION Scale: 1/4 = 1'-0"



PROPOSED ROOF PLAN (1 / A2.3)
INFILTRATION Scale: 1/4 = 1'-0"

Revisions

Rev.:	Description :	Date :
001		
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Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

PLANNING SET

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Proposed Roof Plan - Infiltration
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Drawn : TIM RADUENZ
Date : 12.08.22
Job No. : 22_42

A2.3

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

HEIGHT CALCULATIONS:

CROSS SLOPE = (6249 - 6249) / 72
= 0.000 x 100 = 0%

ALLOWABLE BUILDING HEIGHT @ 0% CROSS SLOPE & 8:12 ROOF PITCH = 33'-7"

PROPOSED BUILDING HEIGHT:

0' - 0"	LOWEST POINT @ NAT. GRADE E. *6249*
+0' - 6"	TO MAIN FLOOR F.F. EL. *6249.50*
+11' - 2 3/4"	TO UPPER FLOOR F.F. EL. *6260.73*
+9' - 4"	TO ROOF PLATE EL. *6270.06*
+9' - 7 1/2"	TO HIGHEST RIDGE @ 8:12 ROOF PITCH EL. *6279.69*
=30' - 8 1/4"	HT. OF HIGHEST POINT OF ROOF FROM LOWEST POINT @ NATURAL GRADE

WUI REQUIREMENTS:

1. (N) ROOFING SHALL BE CLASS A, WITH CLASS A CONTINUOUS RIDGE VENT BY LOMANCO, OR APPROVED EQUAL, TYP.

2. (N) VALLEY FLASHING SHALL BE MINIMUM NO. 26 GALVANIZED SHEET GAGE.

3. ANY SPACE BETWEEN ROOF COVERING AND ROOF DECKING OR AT EAVE ENDS SHALL BE FIRE STOPPED TO PREVENT THE ENTRY OF FLAMES OR EMBERS.

4. ROOF GUTTERS AND DOWNSPOUTS SHALL BE OF NON-COMBUSTIBLE MATERIALS AND PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.

5. UNDERSIDE OF (N) ROOF OVERHANGS AND (N) BUILDING OVERHANGS SHALL BE SOFFITED WITH 2x6 WESTERN RED CEDAR BOARDS. EAVE VENTS SHALL BE BY VULCAN OR BRANDGUARD, OR APPROVED EQUAL.

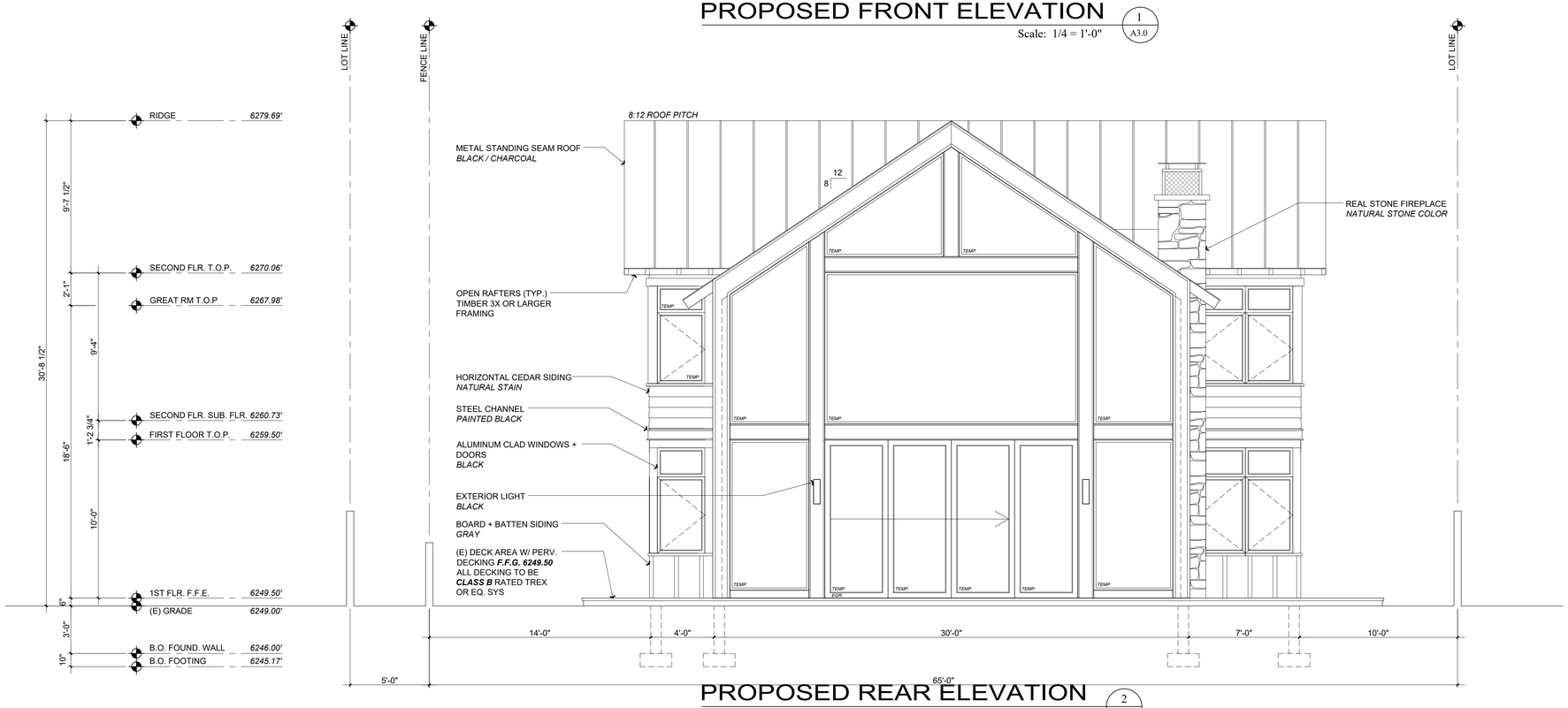
6. (N) EXTERIOR WALL FINISH THAT IS NON-IGNITION RESISTANT SHALL BE INSTALLED IN A FIRE RATED ASSEMBLY, USING TYPE 'X' GYPSUM BOARD ON THE UNDERSIDE OF THE COMBUSTIBLE SIDING, OR FIRE RESISTANT STRUCTURAL OSB SHEATHING BY LP-FLAMEBLOCK, OR APPROVED EQUAL.

7. (N) EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS AND SKYLIGHTS SHALL BE TEMPERED GLASS, INSULATING DUAL GLAZED GLASS UNITS, GLASS BLOCK OR HAVE A MINIMUM 20 MINUTE FIRE RESISTIVE RATING.

8. (N) EXTERIOR DOORS SHALL BE MINIMUM 1 ¾" SOLID CORE OR HAVE A 20 MINUTE FIRE RATING. DOOR TRIM, THRESHOLDS, SCREENS AND WEATHER STRIPPING HAVE NO WUI REQUIREMENTS.

9. (N) EXTERIOR DECKING SHALL BE NON-COMBUSTIBLE MATERIAL, OR CLASS B RATED DECK BOARDS. HANDRAILS, GUARDRAILS AND BALUSTERS HAVE NO WUI REQUIREMENT.

PROPOSED FRONT ELEVATION (1 / A3.0)
Scale: 1/4 = 1'-0"



PROPOSED REAR ELEVATION (2 / A3.0)
Scale: 1/4 = 1'-0"

Revisions

Rev.:	Description :	Date :
001		
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003		
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005		
006		

Contractor :

PLANNING SET

APN#: 026-021-011

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Proposed Elevations
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Date : 12.08.22
Drawn : TIM RADUENZ
Job No. : 22_42

A3.0
Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

PROPOSED LEFT ELEVATION

Scale: 1/4 = 1'-0"

1 / A3.1

PROPOSED RIGHT ELEVATION

Scale: 1/4 = 1'-0"

2 / A3.1

STANDING SEAM METAL ROOF - BLACK

HORIZ. CEDAR SIDING - NATURAL STAIN

BOARD + BATTEN SIDING - GRAY

FIREPLACE - NATURAL STONE

EXTERIOR LIGHTING
SEE ME3.0 FOR SPEC SHT.

Revisions

Rev.:	Description :	Date :
001		
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PLANNING SET

APN#: 026-021-011

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Proposed Elevations

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22

Drawn. : TIM RADUENZ

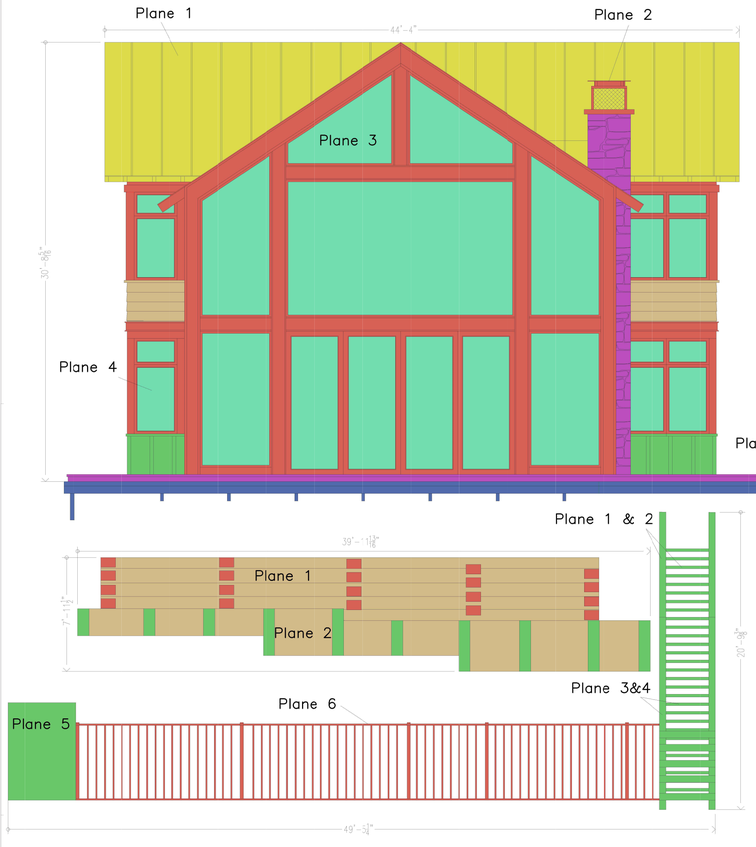
Job No. : 22_42

A3.1

Sheet

Scale: See Details

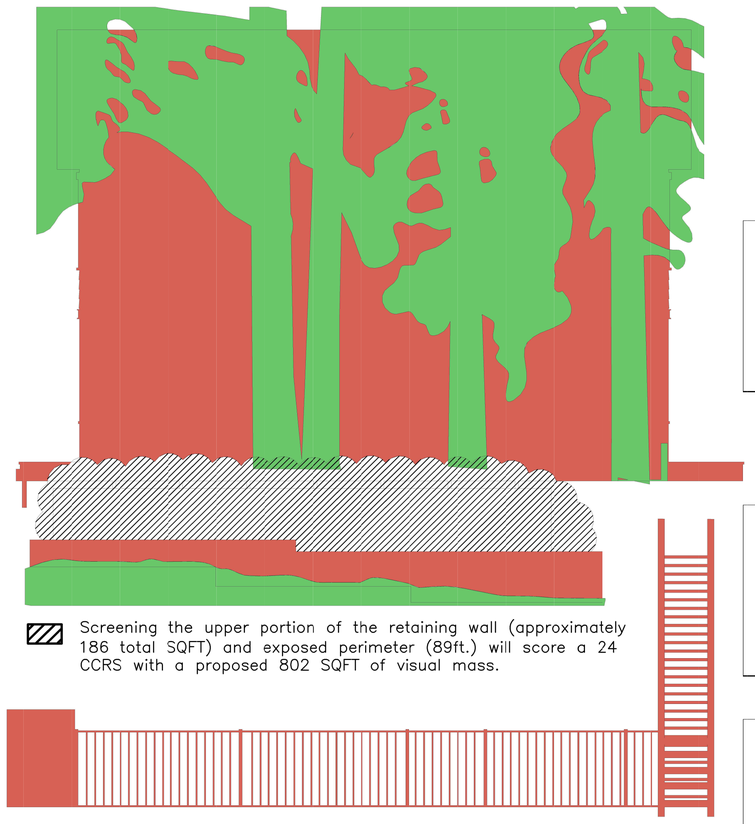
AGENDA ITEM NO. V. A.



RESIDENCE MATERIAL LIST	APPROXIMATE AREA IN FEET
Limestone Veneer	58
Cedar Wrap	29
Matte Black Metal Roof	273
Glass	579
Urban Bronze Trim	332
Board and Batten Bronze	29
Deck	44
	1,344

RETAINING WALL MATERIAL LIST	APPROXIMATE AREA IN FEET
Wood	23
Metal	14
Retaining Wall	213
	250

SITE WORK MATERIAL LIST	APPROXIMATE AREA IN FEET
Wood	74
Metal	49
	123



Screening the upper portion of the retaining wall (approximately 186 total SQFT) and exposed perimeter (89ft.) will score a 24 CCRS with a proposed 802 SQFT of visual mass.

Proposed Perimeter Length	
Visible Perimeter (ft)	51.8
Screened (ft)	120.1
Total Perimeter	171.9
% Visible	30.1%
Perimeter Score	8
Visible Mass (SQFT)	527

Retaining Wall Perimeter Length	
Visible Perimeter (ft)	51.2
Screened (ft)	44.6
Total Perimeter	95.9
% Visible	53.4%
Perimeter Score	5
Visible Mass (SQFT)	228

Site Work Perimeter Length	
Visible Perimeter (ft)	150.6
Screened (ft)	0.0
Total Perimeter	150.6
% Visible	100.0%
Perimeter Score	1
Visible Mass (SQFT)	123

CONTRAST RATING SHEET
Project: Murphy at Lakeview
Address: 747 Lakeview
Structure: Residence
Proposed

	Limestone Veneer	Cedar Wrap	Metal Roof	Glass	Bronze Trim	Board Batten	Deck	Total Façade
Area SF	58.0	29.0	273.0	579.0	332.0	29.0	44.0	1,344.0
Percentage	4%	2%	20%	43%	25%	2%	3%	100%
Color Rating (Munsell Color)	1 (5YR 7/2)	12 (7.5YR 5/6)	GLEY2 2.5/10B	>15%	17 (5YR 3/2)	17 (5YR 3/2)	17 (GLEY2 3/5PB)	
	0.0	0.3	3.5	0.4	4.2	0.4	0.6	9.3
Percentage	4%	2%	20%	43%	25%	2%	3%	+
SP & Texture	7 (Heavy)	6 (Moderate)	4 (None)	4 (None)	6 (Moderate)	7 (Heavy)	7 (Heavy)	
# of Planes: 6	0.30	0.13	0.81	1.72	1.48	0.15	0.23	4.8
								+
Perimeter Score	37.4%							7
CONTRAST SCORE								21.1

CONTRAST RATING SHEET
Project: Murphy at Lakeview
Address: 747 Lakeview
Structure: Retaining Wall
Existing

	Wood	Metal	Retaining Wall	Total Façade
Area SF	23.0	14.0	213.0	250.0
Percentage	9%	6%	85%	100%
Color Rating (Munsell Color)	17 (GLEY2 3/5PB)	17 (GLEY2 2.5/5PB)	17 (5YR 3/3)	
	1.6	1.0	14.5	17.0
Percentage	9%	6%	85%	+
SP & Texture	5 (Heavy)	2 (None)	5 (Heavy)	
# of Planes: 2	0.46	0.11	4.26	4.8
				+
Perimeter Score	53.4%			5
CONTRAST SCORE				26.8

CONTRAST RATING SHEET
Project: Murphy at Lakeview
Address: 747 Lakeview
Structure: Site Work
Existing

	Wood	Metal	Total Façade
Area SF	74.0	49.0	123.0
Percentage	60%	40%	100%
Color Rating (Munsell Color)	17 (GLEY2 3/5PB)	17 (GLEY2 2.5/5PB)	
	10.2	6.8	17.0
Percentage	60%	40%	+
SP & Texture	7 (Heavy)	4 (None)	
# of Planes: 6	4.21	1.59	5.8
			+
Perimeter Score	100.0%		1
CONTRAST SCORE			23.8

COMPOSITE CONTRAST RATING
Project: Murphy at Lakeview
Address: 747 Lakeview
Structure: Composite
Proposed

	Proposed	Retaining Wall	Site Work	Façade
Area SF	1,344.0	250.0	123.0	1,717.0
Percentage	78%	15%	7%	100%
	21.1	26.8	23.8	
	16.5	3.9	1.7	22.2
COMPOSITE CONTRAST RATING				22.0

VISIBLE SQ. FT. ASSESSMENT

Appendix H Allowable Visible Mass for a 22 CCRS	785
PROPOSED	
Total Lakefront Façade	1,717
Existing Screening	729
Proposed Visible SQFT	988
Net allowable SQFT remaining	**(203)**

3DFX DESIGN
GIS • CEQA • NEPA • Drone Mapping • Visual Assessments • Visual Simulations
www.3dfxdesign.com • 1612 Sunset Ave • Chico CA • 95926 • 530.682.0535
CONSULTANTS

Aaron Souza
3Dfx Design
1612 Sunset Ave.
Chico, CA 95926

747 Lakeview
South Lake Tahoe, CA 96150

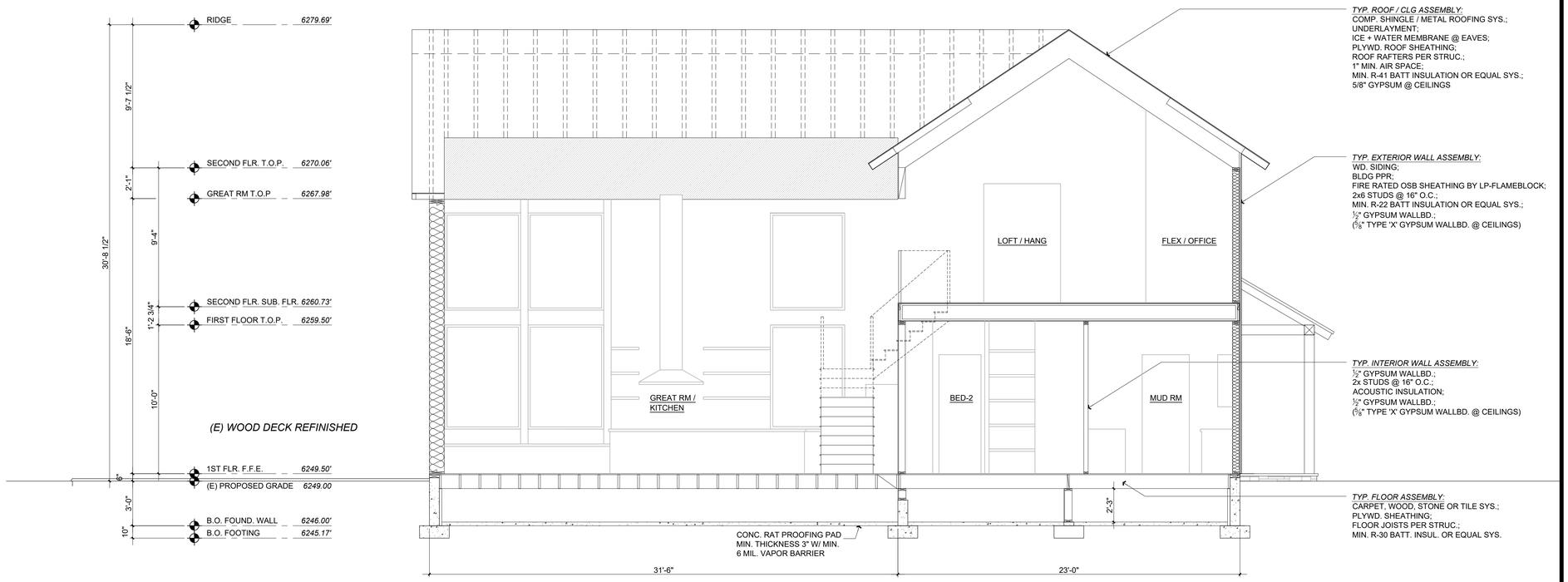
MARK	DATE	DESCRIPTION

PROJECT NO: #
CAD DWG FILE: 747 LAKEVIEW-RKIN1.DWG
DRAWN BY: Aaron Souza
CHK'D BY: ####
COPYRIGHT

SHEET TITLE
Elevation/Perimeter

SHEET 1 OF #

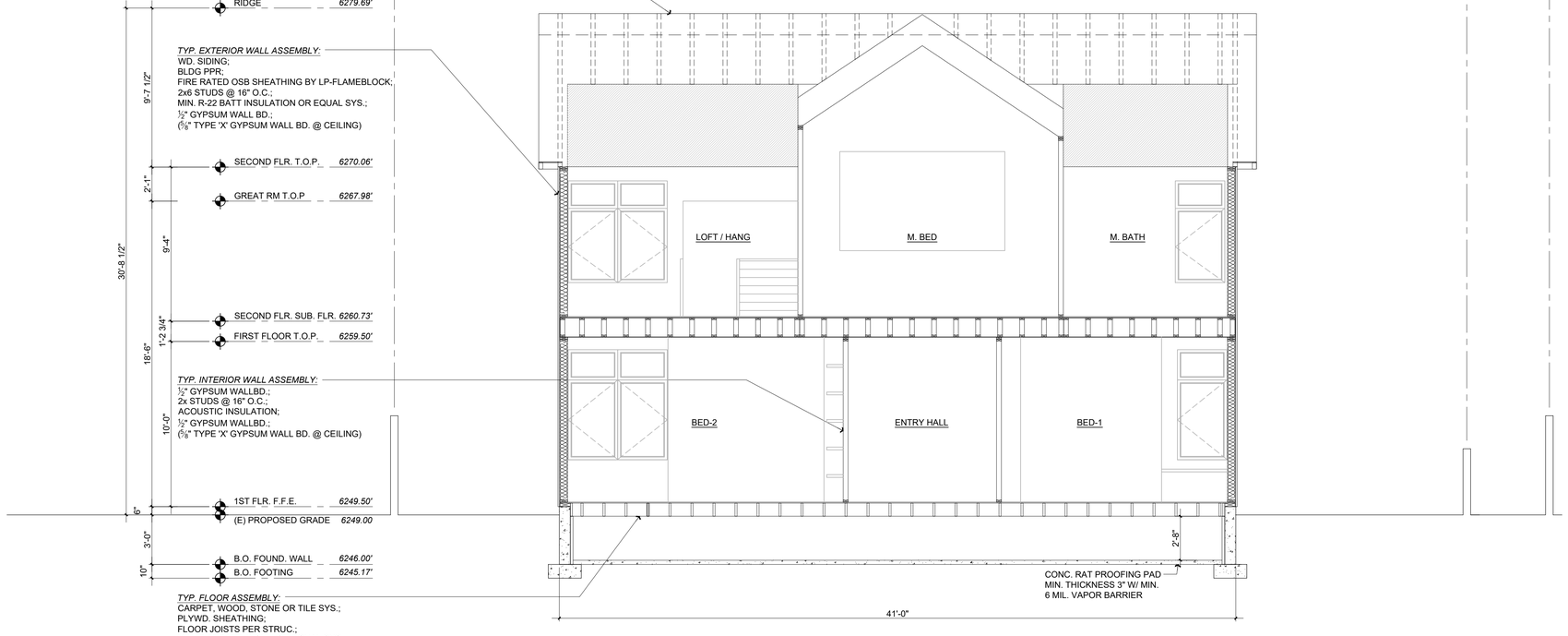
AGENDA ITEM NO. V. A.



PROPOSED BUILDING SECTION

Scale: 1/4 = 1'-0"

1 / A4.0



PROPOSED BUILDING SECTION

Scale: 1/4 = 1'-0"

2 / A4.0

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

PLANNING SET

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA. 96150

Zoning: R1
Existing Home Built: 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Proposed Building Section

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22

Drawn : TIM RAUDENZ

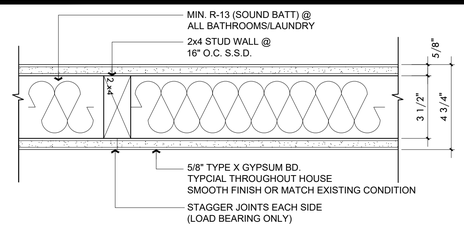
Job No. : 22_42

A4.0

Sheet

Scale: See Details

AGENDA ITEM NO. V. A.

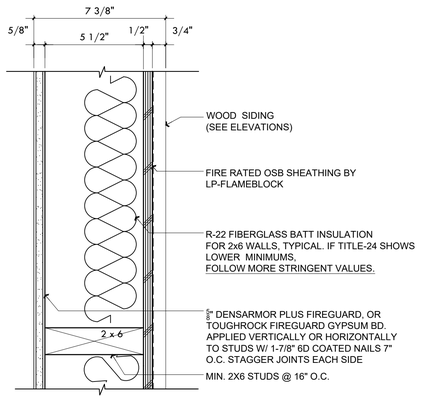


NOTES:
SEE WWW.GPGYPSUM.COM FOR
TECHNICAL SPEC'S

INTERIOR WALL DTLS.

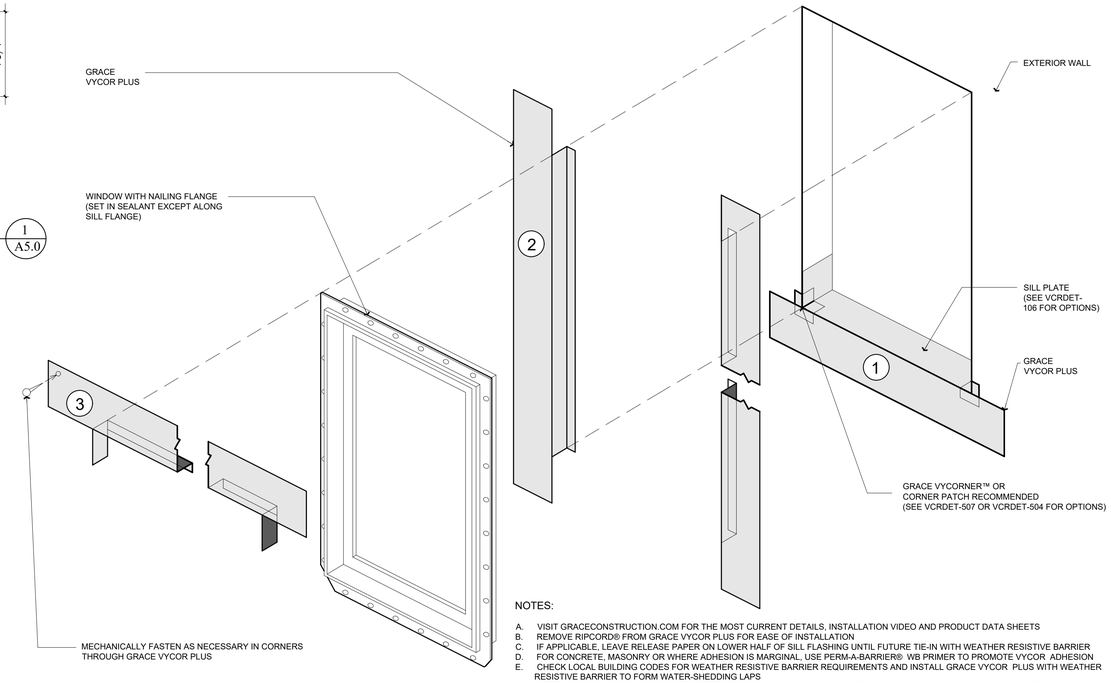
1 A5.0

Scale: 3" = 1'-0"



EXT. WALL DTLS.

2 A5.0



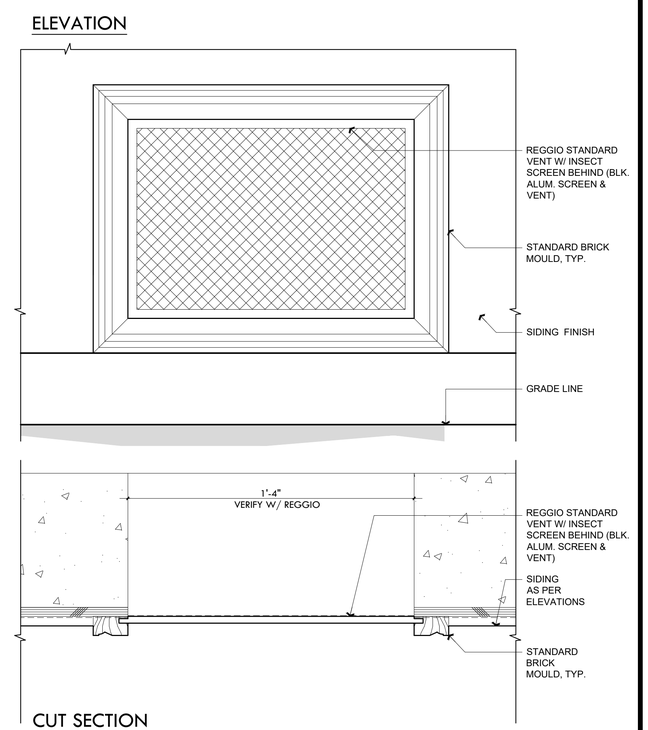
NOTES:

A. VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
B. REMOVE RIPCORD® FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
C. IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
D. FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERM-A-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
E. CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
F. INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATION AND USE APPROPRIATE SEALANT FOR WINDOW AND WOOD BUCK
G. DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL

WINDOW FLASHING DTLS.

3 A5.0

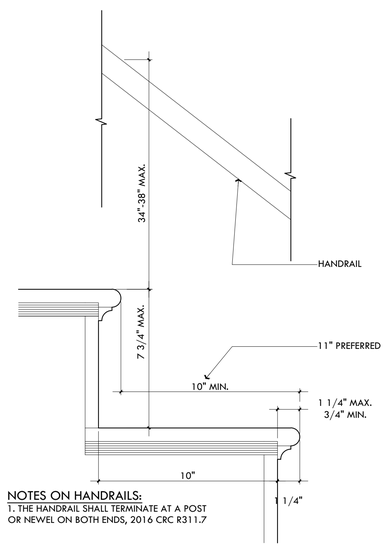
Scale: N.A.



(N) EXT. WALL VENT DTLS.

4 A5.0

Scale: 3" = 1'-0"

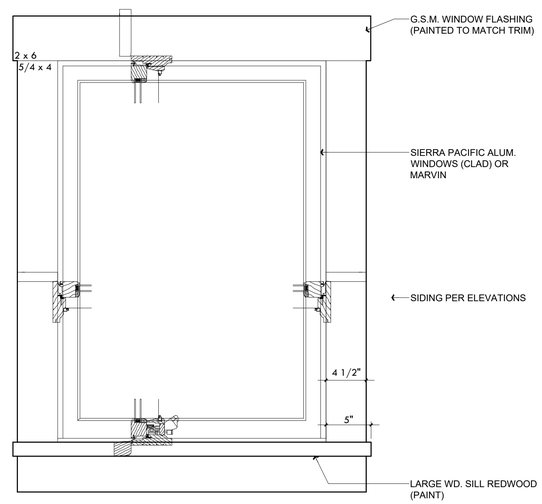


Interior Stair Detail

2019 CRC R311.7.8

5 A5.0

Scale: 3" = 1'-0"



TYPICAL WINDOW DETAIL

Sierra Pacific or Marvin or Equal

6 A5.0

Scale: 3" = 1'-0"

Revisions

Rev.:	Description :	Date :
001		
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005		
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747 LAKEVIEW AVE.
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LOT SIZE: 0.32 ACRES

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form+one
DESIGN ■ PLANNING

Title : Building Details

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22
Drawn : TIM RADUENZ
Job No. : 22_42

A5.0

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

ROOM FINISH SCHEDULE

	ROOM	FLOORING	PAINT WALLS	PAINT CEILING	PAINT MILLWORK	PAINT CROWN	REMARKS
1ST FLR	ENTRY	STONE/WD	TBS	TBS	PAINT (TBS)	TBS	
	HALL	STONE	TBS	TBS	PAINT (TBS)	TBS	
	PWD	STONE	TBS	TBS	PAINT (TBS)	TBS	
	MUD RM	STONE	TBS	TBS	PAINT (TBS)	TBS	
	BED-1	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	BATH-1	STONE	TBS	TBS	PAINT (TBS)	TBS	
	BED-2	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	BATH-2	STONE	TBS	TBS	PAINT (TBS)	TBS	
	KITCHEN	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	GREAT RM	WOOD	TBS	TBS	PAINT (TBS)	TBS	
2ND FLR	LOFT/HANG	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	FLEX/OFFICE	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	M. BED	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	M. BATH	STONE	TBS	TBS	PAINT (TBS)	TBS	
	M. CLT.	WOOD	TBS	TBS	PAINT (TBS)	TBS	

PAINT SPECS.

INTERIORS:
MAIN ROOMS:
AURA, NATURA, REGAL SELEVT, OR APPROVED EQUIVALENT
CEILINGS:
WATERBORNE CEILING PAINT, OR APPROVED EQUIVALENT
BATHROOMS:
AURA BATH AND SPA, OR APPROVED EQUIVALENT
EXTERIORS:
HOUSE:
AURA, REGAL SELECT, OR APPROVED EQUIVALENT

CAL GREEN NOTES:

1. PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS PER CGC §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2019 CGC §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING AND PRODUCT REQUIREMENTS FOUND IN THE 2019 CALIFORNIA GREEN BUILDING CODE. 2019 CGC §4.504.3
4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2019 CGC §4.504.4
5. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2019 CGC §4.504.5
6. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3
7. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2019 CGC §4.504.2.1
8. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (q)
9. REDUCED ***U-FACTOR (0.30)*** FOR HIGH PERFORMANCE WINDOWS 2019 CAL ENERGY CODE §150.1 (c)3 A
10. MAX. TOTAL AREA, 20%, NO MAX. FOR WEST FACING AREA, TABLE 150.1-A, AND B
11. DOOR MAX. U-FACTOR 0.20, TABLE 150.1-A, AND B

ROOM FINISH SCHEDULE

Scale: NA (1 / A9.0)

EXTERIOR DOORS & WINDOWS

		LOCATION	DOORS: DOOR SIZE WxH	TYPE	SYM.	MATERIALS: CORE	EXT. FIN.	INT.FIN.	GLASS	DETAILS: HEAD	JAMB	SILL	TRIM	HDWR.: TYPE	FIN.	REMARKS
1ST FLR	100	ENTRY	9'-0" x 10'-0"	ENTRY, SL, TR	A	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	101	MUD RM	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	102	MUD RM	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	103	BATH-2	4'-0" x 2'-0"	TRANSOM	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	104	BATH-2	4'-0" x 2'-0"	AWNING	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	105	BED-2	3'-0" x 9'-6"	ENTRY, TR	D	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	106	BED-2	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	107	BED-2	6'-0" x 6'-8"	CSMT, TR	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	108	GREAT RM	6'-0" x 9'-6"	FIXED	F	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	109	GREAT RM	2'-6" x 9'-6"	FIXED	G	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	110	GREAT RM	5'-0" x 9'-6"	FIXED	H	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	111	GREAT RM	5'-0" x 9'-6"	FIXED	H	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	112	GREAT RM	5'-0" x 9'-6"	FIXED	H	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	113	GREAT RM / KITCH.	16'-0" x 10'-0"	MULTI-SLIDER	I	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	114	KITCHEN	5'-0" x 9'-6"	FIXED	H	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	115	KITCHEN	5'-0" x 7'-0"	FIXED	J	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	116	KITCHEN	5'-0" x 7'-0"	FIXED	J	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	117	KITCHEN	5'-0" x 7'-0"	FIXED	J	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	118	BED-1	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	119	BED-1	6'-0" x 6'-8"	CSMT, TR	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	120	BATH-1	4'-0" x 2'-0"	AWNING	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	121	BATH-1	4'-0" x 2'-0"	TRANSOM	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	122	HALL	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	123	HALL	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
2ND FLR	200	M. CLT.	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	201	M. CLT.	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	202	M. CLT	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	203	M. CLT	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	204	FLEX / OFFICE	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	205	FLEX / OFFICE	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	206	FLEX / OFFICE	4'-0" x 6'-2"	CSMT, TR	L	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	207	LOFT / HANG	6'-0" x 6'-2"	CSMT, TR	M	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	208	LOFT / HANG	6'-0" x 6'-2"	CSMT, TR	M	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	209	GREAT RM	6'-0" x 6'-6"	FIXED	N	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	210	GREAT RM	2'-6" x 6'-6"	FIXED	O	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	211	GREAT RM	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	212	GREAT RM	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	213	GREAT RM	5'-0" x 11'-6 1/2"	FIXED	R	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	214	GREAT RM / KITCH.	16'-0" x 9'-6"	FIXED	S	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	215	KITCHEN	5'-0" x 11'-6 1/2"	FIXED	R	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	216	GREAT RM / KITCH.	5'-0" x 6'-8"	FIXED	T	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	217	GREAT RM / KITCH.	5'-0" x 6'-8"	FIXED	T	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	218	KITCHEN	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	219	KITCHEN	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	220	KITCHEN	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	221	M. BATH	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	222	M. BATH	6'-0" x 6'-2"	CSMT, TR	M	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	223	M. BATH	1'-6" x 6'-2"	CSMT, TR	Q	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	224	M. CLT.	4'-0" x 2'-0"	TRANSOM	C	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1

NOTES

1. WOOD/CLAD SIERRA PACIFIC WINDOWS+ DOORS, WITH ***TRUE*** S.D.L 3/4" MUNTIN BARS ***W/ SPACER BAR BETWEEN THE WINDOW PANES + MUNTIN BARS ADHERED TO THE INTERIOR + EXTERIOR OF THE WINDOWS.***
2. EGRESS PER CODE
3. DOOR BY ***SIMPSON*** OR EQUAL, VERIFY DESIGN WITH OWNER & DESIGNER
4. VERIFY OPENING SIZE W/ CONTRACTOR
5. PRIVACY GLASS, OPTION BY *LOCAL ARTISAN*
6. DOOR BY SIMPSON FIBERGLASS DOOR OR EQ.
7. OVERHEAD DOOR (SHOP DRAWING REQUIRED, VERIFY SIDE MOUNT MOTOR IN FIELD
8. TRANSOM ABOVE UNIT TO BE LEADED WINDOW MADE BY *LOCAL ARTISAN*.
9. NA
10. NA
11. (*) FIELD MEASURE

HARDWARE FINISH SPECIFICATION:
ENTRY DOOR HARDWARE: (BY OWNER) AND INSTALLED BY CONTRACTOR
WINDOW HARDWARE: WHITE, TYP. (VERIFY W/ OWNER)

CAL. GREEN REQUIREMENTS

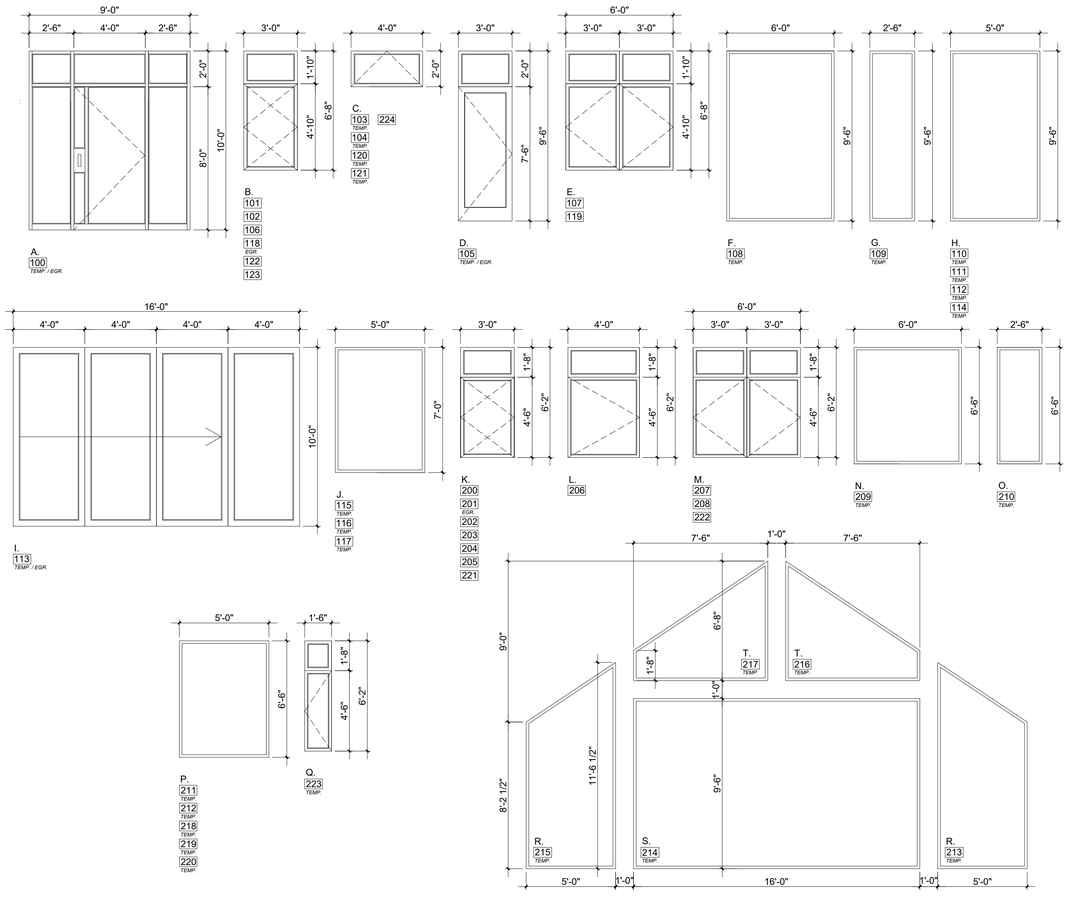
1. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (q)
2. REDUCED ***U-FACTOR (0.30) AND SHGC (0.20)*** FOR HIGH PERFORMANCE WINDOWS 2019 CAL ENERGY CODE §150.1 (c)3 A
3. FENESTRATION MAX U-FACTOR 0.30. NO SHGC REQUIREMENT. PER TABLE 150.1-A & B
4. MAX TOTAL AREA, 20%, NO MAX FOR WEST FACING AREA. PER TABLE 150.1-A & B
5. DOOR MAX U-FACTOR 0.20 PER TABLE 150.1-A & B

SAFETY GLAZING NOTES (CRC R308.4)

A. ALL SLIDING + SWINGING GLASS DOORS TO HAVE SAFETY GLAZING.
B. GLAZING IN SHOWER/TUB/SAUNA ROOMS LESS THAN 60" ABOVE THE STANDING SURFACE AND LESS THAN 60" MEASURED HORIZONTIALLY FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.
C. GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60" ABOVE THE FLOOR.
D. GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9 SQ. FT., BOTTOM IS LESS THAN 18" AND AT LEAST 36" ABOVE THE FLOOR, AND ADJACENT TO WALKING SURFACES.
E. WITHIN 60" OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36" ABOVE THE FLOOR
F. GLAZING IN GUARDS & RAILINGS.
G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36" ABOVE FINISH FLOOR.

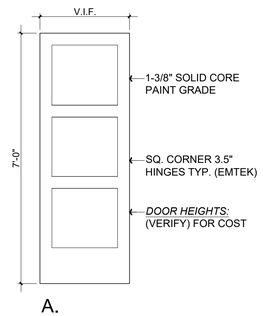
EXT. DOORS & WINDOWS SCHEDULE

Scale: NA (2 / A9.0)



EXT. DOORS & WINDOWS ELEVATIONS

Scale: 1/4" = 1'-0" (3 / A9.0)



A.

INT. DOORS ELEVATIONS

Scale: 1/2" = 1'-0" (4 / A9.0)

APPLIANCE SCHEDULE

NOTE: ALLOWANCE AND INSTALLED BY ALLOWANCE, CONTRACTOR TO INCLUDE BLOCKING / ROUGH-IN AS NEEDED PER SPEC. SHEETS

	ROOM	APPLIANCE TYPE	MANUF.	FINISH	MODEL #	REMARKS
FIRST FLOOR	KITCHEN	(N) RANGE	T.B.D.	T.B.D.	T.B.D.	T.B.D., TYPICAL DUAL FUEL
		(N) VENT HOOD	T.B.D.	T.B.D.	T.B.D.	T.B.D., MIN. 100 CFM, VENT TO EXTERIOR PER CODE
		(N) DISHWASHER	T.B.D.	T.B.D.	T.B.D.	T.B.D.
		(N) DISPOSAL	T.B.D.	T.B.D.	T.B.D.	T.B.D.
	LAUNDRY	(N) WASHER	T.B.D.	T.B.D.	T.B.D.	T.B.D.
		(N) DRYER	T.B.D.	T.B.D.	T.B.D.	T.B.D.

APPLIANCE SCHEDULE

Scale: NA (5 / A9.0)

Revisions

Rev.:	Description:	Date:
001		
002		
003		
004		
005		
006		

Contractor :

Owner : MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

PLANNING SET

Finish Schedule

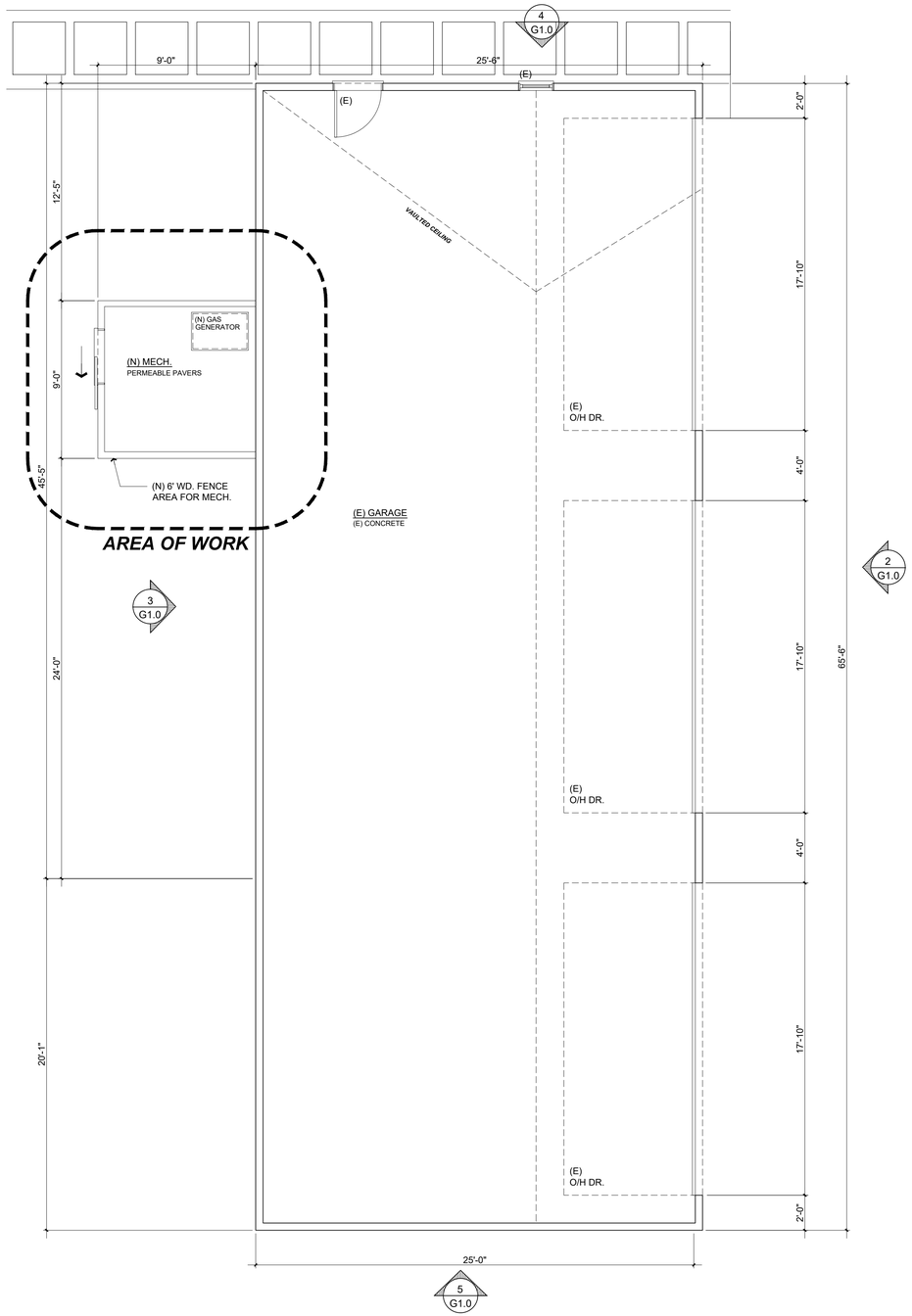
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22
Drawn : TIM RAUDENZ
Job No. : 22_42

A9.0

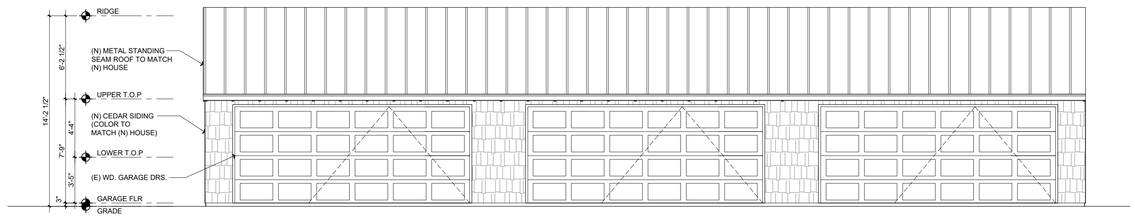
Sheet
Scale: See Details

AGENDA ITEM NO. V. A.



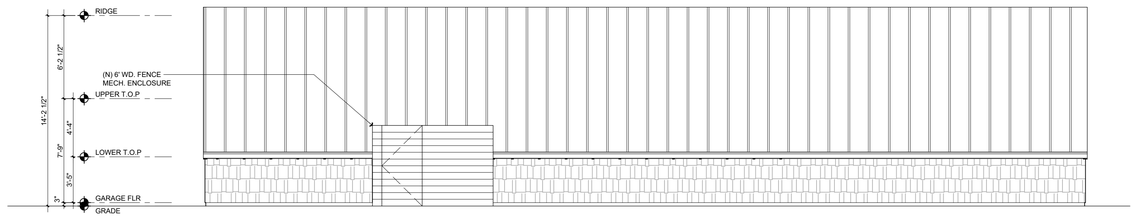
EXISTING GARAGE FLOOR PLAN

Scale: 1/4 = 1'-0" (1 / G1.0)



EXISTING FRONT ELEVATION

Scale: 3/16 = 1'-0" (2 / G1.0)



EXISTING REAR ELEVATION

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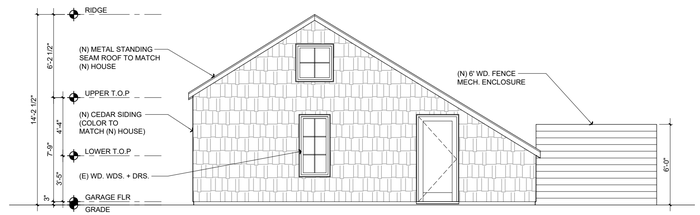
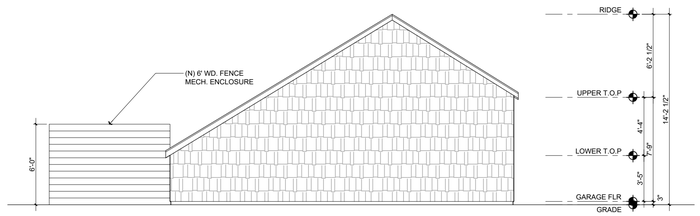


EXISTING RIGHT ELEVATION

Scale: 3/16 = 1'-0" (4 / G1.0)



EXISTING RIGHT ELEVATION

Scale: 3/16 = 1'-0" (5 / G1.0)

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA. 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

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4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

PLANNING SET

Title : Existing Garage Plans
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22
Drawn : TIM RADUENZ
Job No. : 22_42

G1.0

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

LANDSCAPE NOTES

GENERAL NOTES:

1. ALL LANDSCAPE WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR.
2. VERIFY LOCATIONS OF PERTINENT EXISTING OR PROPOSED SITE IMPROVEMENTS. IF ANY PART OF THIS PLAN CAN NOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
3. REFER TO THE IMPROVEMENT PLANS FOR UTILITY LOCATIONS & FINAL GRADING DIRECTION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTIONS ON HOW TO PROCEED.
4. PRIOR TO COMMENCING CONSTRUCTION, CONTACT THE UNDERGROUND UTILITY LOCATION SERVICES FOR UTILITY LOCATION & IDENTIFICATION.
5. VERIFY PLANT QUANTITIES. QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANTING SCHEDULE DIFFER FROM GRAPHIC INDICATIONS THEN GRAPHICS SHALL PREVAIL.
6. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE & IF NECESSARY BY HAND. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THIS WORK & DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING WORK DURING CONSTRUCTION & REPAIR ALL DAMAGE TO THE SITE AT NO COST TO THE OWNER.
8. ALL POST CARE & REQUIRED MAINTENANCE SHALL BEGIN IMMEDIATELY UPON THE COMPLETION OF THE WORK UNTIL THE FINAL PROJECT ACCEPTANCE IS COMPLETE.
9. ALL INSTALLATION MANUALS, OPERATION SHEETS, & AS-BUILT DRAWINGS SHALL BE SUBMITTED UPON FINAL INSPECTION.
10. ALL PLANT MATERIALS SHALL BE FIELD LOCATED TO AVOID ACTUAL SITE IMPROVEMENTS & INTERFERENCE TO SITE ILLUMINATION. ALL TREES SHALL BE FIELD LOCATED WITH A MIN. 10' OFFSET FROM ALL UNDERGROUND & ABOVE GROUND UTILITY LINES.

PLANT MATERIALS:

11. LANDSCAPE ARCHITECT SHALL REVIEW AND APPROVE ALL PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPH PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.
12. THE CONTRACTOR SHALL PROVIDE ALL PLANT MATERIALS IN SUFFICIENT QUANTITIES & SIZES TO COMPLETE SHOWN PLANTINGS.
13. ALL PLANT MATERIAL SHALL CONFORM TO CURRENT INDUSTRY STANDARDS ADOPTED BY THE AMERICAN STANDARDS FOR NURSERY STOCK AS WELL AS CRITERIA ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
    - ALL INSTALLED PLANT MATERIALS SHALL BE HEALTHY, VIGOROUS, WELL ROOTED, & ESTABLISHED IN THE APPROPRIATE CONTAINER.
    - ALL INSTALLED PLANT MATERIALS SHALL HAVE APPROPRIATELY SIZED ESTABLISHED ROOT BALL & BE FREE OF EXCESSIVE ROOT GROWTH.
    - ALL INSTALLED PLANT MATERIALS SHALL BE FREE OF LARGE WOUNDS (LARGER THAN 1"), INSECTS, DISEASE, WINDBURN, RODENT, WEED, OR MECHANICAL DAMAGE.
    - ALL INSTALLED PLANT MATERIALS SHALL CONTAIN MATERIALS APPROPRIATE LEADERS, COLOR, BUDS, FOLIAGE, STRUCTURE, & TAPER.
15. ALL INSTALLED PLANT MATERIALS SHALL BE FREE OF ANY PLASTIC OR METAL ROOT BALL CONTAINERS. ALL FABRIC STYLE POTS SHALL HAVE SIDES REMOVED BEFORE PLANTING. ALL BALLED & BURLAP PLANT MATERIALS SHALL BE FREE OF ANY ROPE & BURLAP FABRIC. EXCESSIVE REINFORCEMENT WIRE SHALL BE REMOVED.
16. ALL INSTALLED CONTAINER GROWN PLANT MATERIAL SHALL BE INSPECTED FOR, & REJECTED IF, ROOT BOUND.
17. ALIGN & EQUALLY SPACE IN ALL DIRECTIONS PLANT MATERIALS AS DESIGNATED PER THESE NOTES & DRAWINGS.
18. ALL PLANT MATERIALS SHALL MAINTAIN THE SAME RELATION TO FINISHED GRADE WHEN PLANTED AS THEIR ORIGINAL GRADE.
19. PRUNE NEWLY PLANTED PLANT MATERIALS ONLY UPON APPROVAL BY THE LANDSCAPE ARCHITECT.
20. ALL PLANT MATERIAL SHALL BE WATERED TWICE WITHIN 24 HOURS OF PLANTING.

STAKING:

21. ALL TREES SHALL BE STAKED IMMEDIATELY AFTER PLANTING.
22. STAKE TREES WITH (2) 8' WOOD STAKES (OR APPROVED EQUIVALENT) PLACED 12 TO 18 INCHES OUTSIDE THE PLANTING PIT, SO TO NOT INTERFERE WITH THE TRUNK OR BRANCHES, & ORIENT INTO THE PREVAILING WINDS. TRIPLE STAKING ARE REQUIRED IF TREES ARE NOT COMPLETELY STABILIZED WITH DOUBLE POSITION STAKES OR THE TREE IS LARGER THAN 10' TALL OR 2 1/2" CAL. ALL TIE MATERIAL SHALL BE OF A BROAD SMOOTH MATERIAL FASTENED LESS THAN 1/3 OF THE TOTAL HEIGHT OF THE TREE. PROPER FLAGGING SHALL BE PLACED ON ALL WIRES FOR VISIBILITY PURPOSES.
23. TREE STAKING SHALL ALLOW FOR MODERATE TREE MOVEMENT.
24. ALL STAKES SHALL BE REMOVED AFTER 1 YEAR MIN. OR UPON ESTABLISHMENT OF PROPER ROOTING STRUCTURE.

PLANTED AREAS:

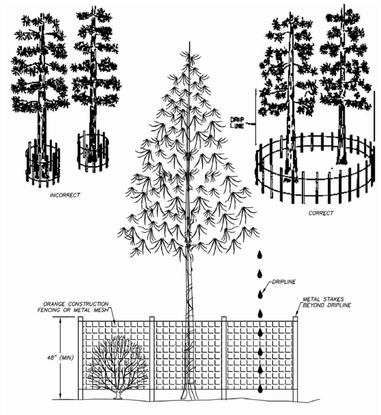
25. SOILS SHALL BE TESTED FOR PLANT SUPPLIER RECOMMENDED PH & FERTILITY, & SHALL BE ADJUSTED WITH LIME, SULFUR OR FERTILIZER TO CORRECT ANY IMBALANCES.
26. APPLY PROPERLY LABELED PRE-EMERGENT HERBICIDE IN PLANTING AREA & WET ACCORDING TO THE MANUFACTURERS DIRECTIONS PRIOR TO APPLYING MULCH OR ROCK.
27. ALL PLANTER AREAS NOT TOP DRESSED WITH MULCH SHALL BE TOP DRESSED WITH MATERIAL(S) SPECIFIED IN THESE PLANS.
28. FINISH GRADE IN PLANTED AREAS (MULCH LAYER) SHALL BE 1-½ INCHES BELOW ADJACENT PAVING OR HEADER.
29. ALL SETTLING BELOW GRADE SHALL BE FILLED WITH MOIST BACKFILL TO THE TOP OF THE SOIL BALL.
30. CARE SHALL BE TAKEN TO REDUCE ANY SOIL COMPACTION TO PLANTED AREAS. IF SOIL COMPACTION OCCURS LOOSEN AS NECESSARY.
31. IF DISTURBED AREAS LIE IDLE FOR MORE THAN 10 DAYS DURING AN INTERIM PERIOD BETWEEN CONSTRUCTION PHASES, SUCH AREAS SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH APPLIED AT 1 TON PER ACRE.

SEEDED AREAS:

32. CONSTOCK MIX# 236184 747 LAKEVIEW RESEED MIXTURES SHALL CONSIST OF THE FOLLOWING SEED SPECIES OR APPROVED EQUIVALENT

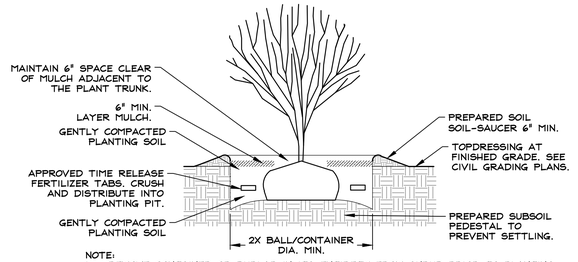
SPECIES	LBS/ACRE	TTL LBS
FESCUE, SHEEP	3.00	3.00
FESCUE, HARD	3.00	3.00
FESCUE, CREEPING RED	2.50	2.50
BLUEGRASS, SANDBERG	1.00	1.00
PENSTEMON, BLUE MOUNTAIN	0.20	0.20
SULFUR BUCKWHEAT	0.35	0.35

37. APPLY SEED MIXTURE TO ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY AND NOT OTHERWISE SPECIFIED FOR LANDSCAPE TREATMENT OR HARDSSCAPE OR RIP-RAP IMPROVEMENTS PER THESE PLANS.
38. SEED SITE DURING SEASON AS RECOMMENDED BY SEED MANUFACTURER.
39. CLEAR AND ROUGH GRADE THE SITE PRIOR TO SEED APPLICATION.
40. IF NEEDED, INCORPORATE ORGANICS AND NUTRIENTS INTO THE PREPARED SOIL PER RECOMENDATIONS FROM SOILS REPORT.
41. TILL THE SOIL TO A DEPTH OF AT LEAST 6 INCHES AND SMOOTH GRADE SEED BED IMMEDIATELY PRIOR TO HYDROSEED APPLICATION.
42. SLURRY MIX SHALL BE COMPRISED OF WOOD CELLULOSE FIBER MULCH, SEED MIXTURE AND FERTILIZER AS DIRECTED BY THE SEED MANUFACTURER.
43. KEEP HYDROMULCH WITHIN AREAS DESIGNATED AND KEEP FROM CONTACT WITH OTHER PLANT MATERIAL.
44. SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED WITHIN FOUR (4) HOURS OF MIXING SHALL NOT BE USED AND SHALL BE REMOVED FROM THE SITE.
45. IMMEDIATELY AFTER APPLICATION, THOROUGHLY WASH OFF ANY PLANT MATERIAL, PLANTING AREAS, OR PAVED AREAS NOT INTENDED TO RECEIVE SLURRY MIX. KEEP ALL PAVED AND PLANTING AREAS CLEAN DURING MAINTENANCE OPERATIONS.
46. ALL AREAS DESIGNED ON DRAWINGS SHALL BE COVERED UNIFORMLY WITH SPECIFIED MATERIALS USING HYDROMULCHING PROCESSES. IF SURFACES REMAIN UNCOVERED WITHIN THE DESIGNATED AREA, THE CONTRACTOR SHALL SEED WITH REQUIRED MATERIALS THOSE AREAS MISSED BY THE HYDROMULCH APPLICATION. METHOD USED TO SEED THESE MISSED SURFACES SHALL BE AN ALTERNATE SEEDING OPERATION APPROVED BY THE LANDSCAPE ARCHITECT AND SHALL BE ACCOMPLISHED AT NO ADDITIONAL COST TO THE OWNER.
47. KEEP ALL AREAS OF WORK CLEAN, NEAT, AND ORDERLY AT ALL TIMES. KEEP ALL PAVED AREAS CLEAN DURING INSTALLATION OPERATIONS. CLEAN UP AND REMOVAL ALL DELETERIOUS MATERIALS AND DEBRIS FROM THE ENTIRE WORK AREA PRIOR TO FINAL ACCEPTANCE TO THE SATISFACTION OF OWNER.
48. MAKE WRITTEN REQUEST FOR INSPECTION PRIOR TO SEEDING AND AFTER AREAS HAVE BEEN SEEDED. SUBMIT REQUESTS FOR INSPECTIONS TO LANDSCAPE ARCHITECT AT LEAST TWO (2) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
49. THE CONTRACTOR'S MAINTENANCE OF NEW PLANTING SHALL CONSIST OF WATERING, WEEDING, REPAIR OF ALL EROSION AND RESEEDING AS NECESSARY TO ESTABLISH A UNIFORM STAND OF THE SPECIFIED GRASSES. CONTRACTOR SHALL GUARANTEE GROWTH AND COVERAGE OF HYDROMULCH PLANTING UNDER THIS CONTRACT TO THE EFFECT THAT A MINIMUM OF NINETY FIVE (95%) PERCENT OF THE AREA PLANTED WILL BE COVERED WITH SPECIFIED PLANTING AFTER SIXTY (60) DAYS WITH NO BARE SPOTS GREATER THAN TEN (10) SQUARE FEET.
50. CONTRACTOR SHALL MAKE A SECOND APPLICATION OF SPECIFIED HYDROMULCH PLANTING TO BARE AREAS NOT MEETING SPECIFIED COVERAGE AS DETERMINED BY THE ENGINEER. SUCH REPLANTING TO BE PERFORMED WITHIN SIXTY (60) DAYS OF INITIAL APPLICATION AND IMMEDIATELY UPON NOTIFICATION BY LANDSCAPE ARCHITECT TO REPLANT.



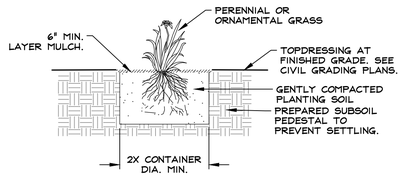
NOTES:
1. DO NOT PERMIT PERSONEL, CONSTRUCTION MATERIALS, OR EQUIPMENT, TEMPORARY OR OTHERWISE, WITHIN PROTECTIVE FENCING. ENTERING PROTECTION AREAS MAY RESULT IN UP TO A $5,000 PENALTY PER VIOLATION PER DAY (TRPA CODE OF ORDINANCE SECT 65.2.1 AND 2).
2. VEGETATION PROTECTION IS REQUIRED FOR ALL PROJECTS AS A CONDITION OF PERMIT ATTACHMENTS.
3. METAL OR WIRE MESH FENCING MAY BE REQUIRED.

TREE PROTECTION FENCING
NOT TO SCALE



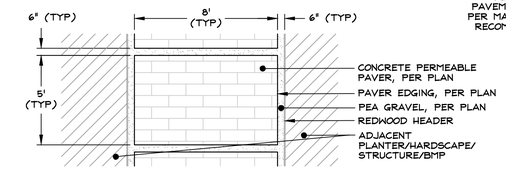
NOTE:
1. REMOVE CONTAINER OR BURLAP IN ITS ENTIRETY FROM SHRUB PRIOR TO PLANTING.
2. NO LANDSCAPE FABRIC (IF USED) SHALL BE PLACED WITHIN 24" OF THE PLANT TRUNK.

SHRUB PLANTING DETAIL
NOT TO SCALE

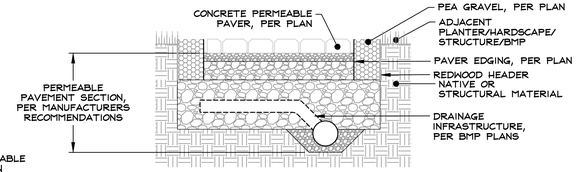


NOTES:
1. CONTRACTOR TO REMOVE ALL STAKING UNLESS OTHERWISE SPECIFIED IN THESES PLANS.
2. NO LANDSCAPE FABRIC (IF USED) SHALL BE PLACED WITHIN 24" OF THE PLANT TRUNK.

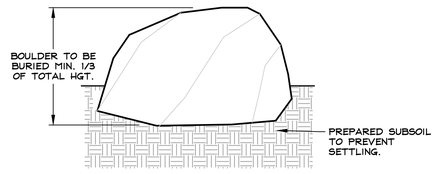
PERENNIAL & ORNAMENTAL GRASS PLANTING DETAIL
NOT TO SCALE



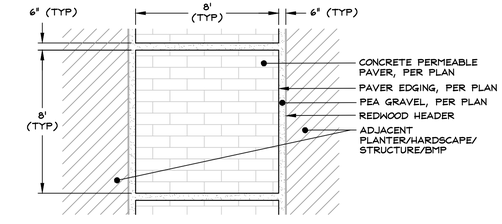
8'x5' PAVER POD DETAIL
NOT TO SCALE



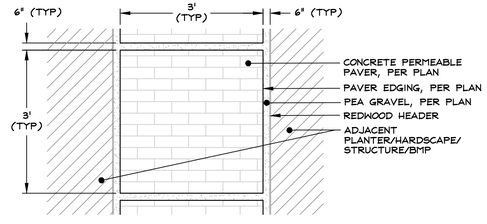
PAVER POD SECTION (TYP)
NOT TO SCALE



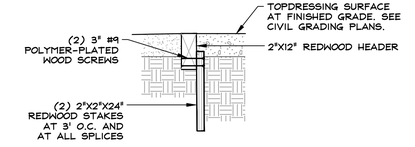
BOULDER DETAIL
NOT TO SCALE



8'x8' PAVER POD DETAIL
NOT TO SCALE



3'x3' PAVER POD DETAIL
NOT TO SCALE



2"X12" REDWOOD HEADER
NOT TO SCALE

CALL 811 BEFORE YOU DIG

NO.	DATE	REVISION BLOCK	BY

R|O|Anderson
WWW.ROANDERSON.COM

MINDEN
1603 Esmeralda Ave
P.O. Box 2229
Minden, NV 89423
p 775.782.2322
f 775.782.7084

RENO
9060 Double Diamond Pkwy, Unit 1B
Reno, NV 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE
747 LAKEVIEW AVENUE

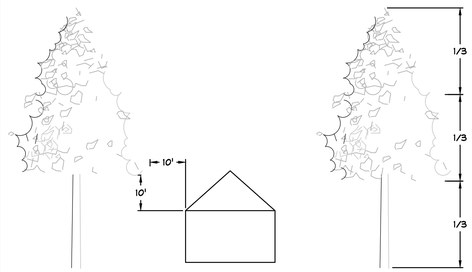
LANDSCAPE NOTES AND DETAILS

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA
PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L01
SCALE: NONE	SHEET: L1
DATE: 12/22/22	OF: 05 SHEETS

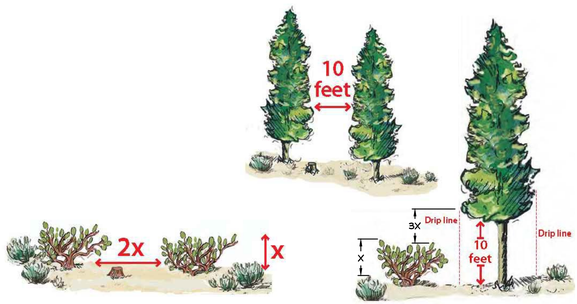
AGENDA ITEM NO. V. A.

Y:\Client Files\3441\3441-001\CAD\Planning\Landscape\3441-001 L01.dwg 12/22/2022 4:40:29 PM Marie A. Hulse



TREE TRIMMING GUIDELINE

NOT TO SCALE



SHRUB SPACING

TREE SPACING

EXISTING VEGETATION THINNING DETAIL

NOT TO SCALE

SPECIFIC REVEGETATION PLAN NOTES:

SYMBOL USED FOR SPECIFIC NOTE CALL OUT.

1. PRESERVE AND PROTECT EXISTING RETAINING WALLS.
2. PRESERVE AND PROTECT EXISTING STAIRS.
3. PRESERVE AND PROTECT ALL TREES IDENTIFIED TO REMAIN, AS INDICATED IN THESE PLANS. (TYP OF ALL)
4. PRESERVE AND PROTECT EXISTING FENCE.
5. PRESERVE AND PROTECT EXISTING GARAGE.
6. PRESERVE AND PROTECT EXISTING VEGETATION.
7. DEMO AND REMOVE EXISTING TREE (TYP OF 2).
8. PROPOSED COMPOSITE TERRACE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
9. PROPOSED PAVER DECK.
10. PROPOSED PAVER WALKWAY.
11. PRESERVE AND PROTECT EXISTING FENCE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
12. PROPOSED GATE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
13. PRESERVE AND PROTECT EXISTING AC PARKING AREA.
14. APPROXIMATE EDGE OF DISTURBANCE. (TYP OF ALL) CONTRACTOR TO FIELD LOCATE AND ADJUST EXTENTS OF REVEGETATION TO ACTUAL EDGE OF DISTURBANCE.
15. PROPOSED RESIDENCE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
16. PROPOSED OUTDOOR KITCHEN. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
17. PROPOSED HVAC UNIT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
18. PROPOSED ENCLOSED MECHANICAL SPACE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

SPECIFIC REVEGETATION NOTES:

1. BROADCAST SEED ONTO A LIGHTLY RIPPED SOIL SURFACE AND RAKED IN TO A MAXIMUM DEPTH OF 1/2 INCH.
2. TOP DRESS WITH FINE ORGANIC WEED FREE SOIL.
3. IRRIGATE SEED MIXTURE AS NECESSARY TO KEEP THE SURFACE CONTINUALLY DAMP DURING THE DAY UNTIL GERMINATION, APPROXIMATELY 2 WEEKS.
4. IRRIGATE ON HOURLY INTERVALS AT 5 -10 MINUTES PER HOUR.
5. ADJUST IRRIGATION TIMES AND FREQUENCY AS NECESSARY TO MAINTAIN OPTIONAL SOIL MOISTURE.
6. PROVIDE REGULAR TEMPORARY IRRIGATION FOR TWO GROWING SEASONS ALLOWING ROOTS TO DEVELOP AT SAFE DEPTHS TO SURVIVE LONG DRY PERIODS.
7. COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS FOR APPLICATION, MAINTENANCE, AND IRRIGATION.

FIRE DEFENSE PLAN NOTES:

GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY TREE REMOVAL PERMITS FROM TAHOE REGIONAL PLANNING AGENCY (TRPA) OR THE LOCAL FIRE DISTRICT PRIOR TO COMMENCING TREE REMOVAL.

SEPARATION BETWEEN TREE BRANCHES & LOWER GROWING PLANTS

1. SEPARATE LADDER FUEL THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER UNDER ALL TREES WITHIN DEFENSIBLE ZONE.
2. PRUNE BRANCHES FROM THE LOWER THIRD OF TREE HEIGHT.
3. DO NOT REMOVE MORE THAN ONE-THIRD OF THE TOTAL TREE BRANCHES WHEN NO UNDERSTORY VEGETATION IS PRESENT.
4. REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST FIVE FEET ABOVE GROUND.
5. FOR TREES WHERE THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER EXTENDS BEYOND THE LOWER THIRD OF TREE HEIGHT, SHORTEN THE HEIGHT OF THE SHRUB OR REMOVE PLANTS BELOW THE TREE.

FOREST TREES

1. ON FLAT OR GENTLY SLOPPING TERRAIN, TREES SHALL BE THINNED TO PROVIDE 10' AVERAGE SEPARATION BETWEEN THE CANOPIES.
2. FOR HOMES LOCATED ON STEEPER SLOPES REFER TO TRPA GUIDELINES FOR SEPARATION FACTOR.
3. STUMPS SHALL BE CUT FLUSH TO THE GROUND FOR TREES LESS THAN 6 INCHES IN DIAMETER AT BREAST HEIGHT, AND WITHIN 6 INCHES OFF THE GROUND FOR TREES LARGER THAN 6 INCHES IN DIAMETER AT BREAST HEIGHT.
4. COAT STUMPS SURFACE WITH POWDERED BORAX TO RETARD THE SPREAD OF ROOT DISEASES.
5. UNHEALTHY, DAMAGED, OR WEAK TREES SHALL BE REMOVED PRIOR TO HEALTHY TREE REMOVAL.
6. RETAIN LESS COMMON SPECIES OF TREES AS POSSIBLE.

SEPARATION BETWEEN TREES & SHRUBS

1. ON FLAT TO GENTLY SLOPING TERRAIN, INDIVIDUAL SHRUBS OR SMALL CLUMPS OF SHRUBS WITHIN THE DEFENSIBLE SPACE ZONE SHALL BE SEPARATED FROM ONE ANOTHER BY AT LEAST TWICE THE HEIGHT OF THE AVERAGE SHRUB.
2. FOR HOMES LOCATED ON STEEPER SLOPES REFER TO TRPA GUIDELINES FOR SEPARATION FACTOR.
3. REMOVE SHRUBS OR PRUNE TO REDUCE THEIR HEIGHT AND/OR DIAMETER.

GUIDELINES FOR TRIMMING TREES

1. ALL RESIDUAL TREES SHALL BE LIMBED TO A HEIGHT OF 10' FEET FROM GROUND
2. LIMBING SHALL NOT TO EXCEED 1/3 OF THE TOTAL TREE HEIGHT.
3. ALL RESIDUAL TREES SHALL BE LIMBED TO ACHIEVE 10' FEET OF CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE.
4. IF REQUIRE LIMING EXCEEDS THE CROWN OR IF LIMBING EXCEEDS THE LOWER 1/3 OF THE TREE THAN THE TREE SHOULD BE REMOVED.

0-5' ZONE

1. INSTALL A NONCOMBUSTIBLE AREA AT LEAST 5' FEET WIDE AROUND THE BASE OF THE STRUCTURE (INCLUDING ALL DECKS.)
2. ALL PINE NEEDLES AND FOREST DUFF SHALL BE REMOVED FROM THIS AREA.
3. ONLY SINGLE SPECIMENS OF WELL MAINTAINED AND WELL IRRIGATED SHRUBS OR TREES SHALL BE PRESENT.
4. ALL BRUSH, TREES OR FLAMMABLE MATERIAL WILL BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR THE TREE GROUP.

5'-30' ZONE

1. ONLY A SMALL AMOUNT OF FLAMMABLE VEGETATION HALL REMAIN WITHIN 30 FEET OF THE STRUCTURE.
2. PLANTS WITHIN THIS AREA SHALL BE KEPT HEALTHY, GREEN AND IRRIGATED DURING FIRE SEASON.
3. ALL TREES OVER 20 FEET TALL SHALL BE LIMBED 10 FEET ABOVE ADJACENT GRADE.
4. REMOVE ANY TREE 14 INCHES DIAMETER OR LESS (OR AS SHOWN ON DRAWINGS) TO CREATE A 10 FOOT SPACE BETWEEN ADJACENT TREE CANOPY PER THE EXISTING VEGETATION THINNING DETAIL ON THIS SHEET.
5. REMOVE ALL DEAD VEGETATION FROM TREES WITHIN 10 FEET ABOVE ADJACENT GRADE.

30'-100' ZONE

1. REMOVE ALL DEAD VEGETATION AND DEBRIS.
2. THIN DENSE STANDS OF SHRUBS AND TREES TO CREATE A SEPARATION PER THE EXISTING VEGETATION THINNING DETAIL ON THIS SHEET.
3. TREE CANOPIES SHALL BE SPACED AT LEAST 10 FEET APART UNLESS TREES GROUP CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT.
4. REFER TO THE EXISTING VEGETATION THINNING DETAIL ON THIS SHEET FOR BRUSH THINNING IN THIS AREA.
5. A 3 INCH DEEP MAXIMUM PINE NEEDLE LAYER SHALL BE PRESERVED WITHIN ZONE 3.

PLANT SCHEDULE

REVEGETATION	QTY	COMMON / BOTANICAL NAME	CONT
	4,495 SF	MURPHY RESIDENCE RESEED MIX / MIX# 23G184 747 LAKEVIEW RESEED MIX	HYDROSEED

SCALE: 1" = 10'

NO.	DATE	REVISION BLOCK	BY

SCALE: 1" = 10'

R|O|Anderson
WWW.ROANDERSON.COM
MINDEN
1603 Esmeralda Ave
P.O. Box 2229
Minden, NV 89423
p 775.782.2322
f 775.782.7084
RENO
9060 Double Diamond Pkwy, Unit 1B
Reno, NV 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE

747 LAKEVIEW AVENUE

REVEGETATION PLAN AND SCHEDULE AND FIRE DEFENSE PLAN

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA

PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L02
SCALE: 1" = 10'	SHEET: L2
DATE: 12/22/22	OF: 05 SHEETS

AGENDA ITEM NO. V. A.

PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	CAL
	7	EXISTING TREE / EXISTING TREE TO BE PRESERVED PRESERVE AND PROTECT IN PLACE. REFER TO SITE PLAN FOR CAL. SIZE	N/A
	5	SCENIC SCREENING TREE / EXISTING TREE TO BE PRESERVED PRESERVE AND PROTECT IN PLACE. REFER TO SITE PLAN FOR CAL. SIZE	N/A
	2	EXISTING TREE / TO BE REMOVED REFER TO SITE PLAN FOR CAL. SIZE	VARIES
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT
	10	ARCTIC FIRE® RED TWIG DOGWOOD / CORNUS STOLONIFERA 'FARROW'	5 GAL MIN.
	3	MAGICALB GOLD FORSYTHIA / FORSYTHIA X INTERMEDIA 'KOLGOLD'	5 GAL MIN.
	2	'FLAMINGO WILLOW / SALIX INTEGRA 'FLAMINGO'	5 GAL MIN.
	12	WHITE SYMPHONY™ SNOWBERRY / SYMPHORICARPOS X 'KOLMASYWH'	5 GAL MIN.
BOULDERS AND STEP STONES	QTY	COMMON / BOTANICAL NAME	CONT
A	6	1'-2' HGT. / BOULDER NATIVE GRANITE	N/A
C	9	3'-4' HGT. / BOULDER NATIVE GRANITE	N/A
B	7	2'-3' HGT. / BOULDER NATIVE GRANITE	N/A
D	2	4' + HGT. / BOULDER NATIVE GRANITE	N/A
	6	8' X 8' / PAVER POD	N/A
	15	3' X 3' / PAVER POD	N/A
	1	8' X 5' / PAVER POD	N/A
ORNAMENTAL GRASS	QTY	COMMON / BOTANICAL NAME	CONT
	5	KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'STRICTA'	5 GAL MIN.
	17	ELIJAH BLUE FESCUE / FESTUCA GLAUCA 'ELIJAH BLUE'	1 GAL MIN.
PERENNIAL	QTY	COMMON / BOTANICAL NAME	CONT
	15	SWEET WOODRUFF / GALIUM ODORATUM	1 GAL MIN.
	6	WHITE CREEPING PHLOX / PHLOX SUBULATA 'WHITE'	1 GAL MIN.

PLANT SCHEDULE

HARDSCAPE	QTY	COMMON / BOTANICAL NAME	CONT
	906 SF	COMPOSITE DECK PER ARCHITECTURAL PLANS	N/A
	856 SF	BASALITE PERMABLE PAVERS / PERMEABLE PLANK PAVER IN TRUCKEE RANDOM RUNNING BOND PATTERN. INSTALL PER MANUFACTURER RECOMMENDATIONS	N/A
TOPDRESSING	QTY	COMMON / BOTANICAL NAME	CONT
	633 SF	TOP DRESSING DRY CREEK BED MIXED NATIVE RIVER ROCK MIXTURE TO CONTAIN 30% 3" X 8" SEMI ROUND ROCK/30% 1" X 3" SEMI ROUND ROCK/20% 1 1/2" SEMI ROUND ROCK/20% 3/4" SEMI ROUND ROCK.	8" DEEP MIN
	1,611 SF	3/8 / TOP DRESSING PEA GRAVEL SALT AND PEPPER	3" DEEP MIN

LANDSCAPE FEATURE SCHEDULE

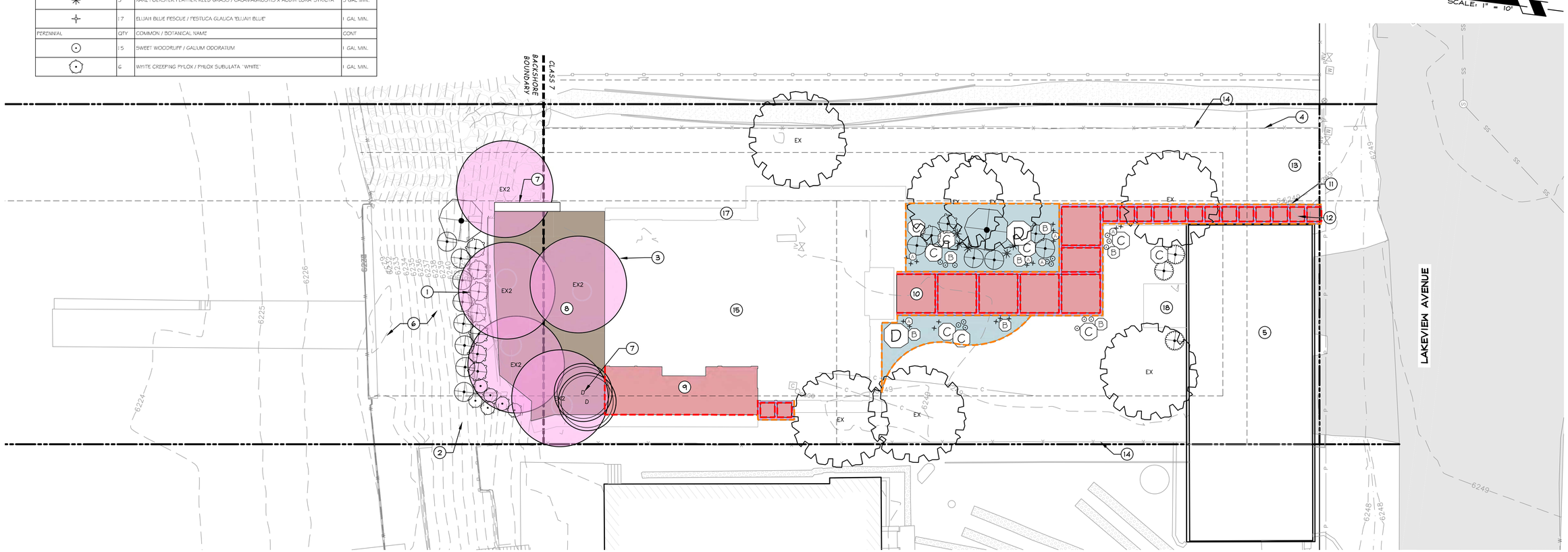
SYMBOL	DESCRIPTION	QTY
	REDWOOD HEADER. REFER TO DETAILS ON SHEET L1	325 LF
	GATOR EDGE RESTRAINT - FLEX PAVER EDGING OR APPROVED EQUIVALENT. INSTALL PER MANUFACTURER DIRECTIONS.	435 LF

SPECIFIC REVEGETATION PLAN NOTES:

○ SYMBOL USED FOR SPECIFIC NOTE CALL OUT.

1. PRESERVE AND PROTECT EXISTING RETAINING WALLS.
2. PRESERVE AND PROTECT EXISTING STAIRS.
3. PRESERVE AND PROTECT ALL TREES IDENTIFIED TO REMAIN, AS INDICATED IN THESE PLANS. (TYP OF ALL)
4. PRESERVE AND PROTECT EXISTING FENCE.
5. PRESERVE AND PROTECT EXISTING GARAGE.
6. PRESERVE AND PROTECT EXISTING VEGETATION.
7. DEMO AND REMOVE EXISTING TREE (TYP OF 2).
8. PROPOSED COMPOSITE TERRACE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
9. PROPOSED PAVER DECK.
10. PROPOSED PAVER WALKWAY.
11. PRESERVE AND PROTECT EXISTING FENCE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
12. PROPOSED GATE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
13. PRESERVE AND PROTECT EXISTING AC PARKING AREA.
14. APPROXIMATE EDGE OF DISTURBANCE. (TYP OF ALL) CONTRACTOR TO FIELD LOCATE AND ADJUST EXTENTS OF REVEGETATION TO ACTUAL EDGE OF DISTURBANCE.
15. PROPOSED RESIDENCE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
16. PROPOSED OUTDOOR KITCHEN. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
17. PROPOSED HVAC UNIT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
18. PROPOSED ENCLOSED MECHANICAL SPACE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

SCALE: 1" = 10'



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1 0 1 2
10' 0 10' 20'
SCALE: 1" = 10'

R|O|Anderson
WWW.ROANDERSON.COM
MINDEN
1603 Esmeralda Ave
P.O. Box 2229
Minden, NV. 89423
p 775.782.2322
f 775.782.7084
RENO
9060 Double Diamond Pkwy, Unit 1B
Reno, NV. 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE
747 LAKEVIEW AVENUE

LANDSCAPE PLAN AND SCHEDULE

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA
PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L03
SCALE: 1" = 10'	SHEET: L3
DATE: 12/22/22	OF: 05 SHEETS

AGENDA ITEM NO. V. A.

IRRIGATION NOTES

GENERAL:

1. REFER TO THE IMPROVEMENT PLANS FOR UTILITY LOCATIONS & FINAL GRADING. IF THE ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTIONS AS TO HOW TO PROCEED.
2. VERIFY THE LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PARTS OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
3. PRIOR TO COMMENCING CONSTRUCTION, CONTACT THE UNDERGROUND UTILITY LOCATING SERVICES FOR UTILITY LOCATION & IDENTIFICATION.
4. PERFORM ALL EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE, & IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK & DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY & AT NO EXPENSE TO THE OWNER.
5. THE SCOPE OF THE WORK INCLUDES, BUT IS NOT LIMITED TO, ALL INSTALLATION & MATERIALS REQUIRED TO COMPLETE A WORKING IRRIGATION SYSTEM.
6. ALL SUBSTITUTION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL PERMITS.
8. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER THE FINAL INSPECTION HAS BEEN COMPLETED.
9. CHANGES TO SPECIFICATIONS OR DETAILS MAY BE NECESSARY TO PROVIDE A PROPERLY WORKING IRRIGATION SYSTEM. IF CHANGES ARE REQUIRED TO MEET THE NEEDS OF A SPECIFIC PROBLEM, THE CHANGES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.

GENERAL CONSTRUCTION INFORMATION:

10. ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S & LOCAL GOVERNMENT REQUIREMENTS.
11. FIELD LOCATE ALL IRRIGATION COMPONENTS TO AVOID CONTACT WITH EXISTING & PROPOSED SITE ELEMENTS.
12. ALL IRRIGATION COMPONENTS SHALL BE KEPT TO THE SIDE OF ALL PLANTING MATERIALS.
13. ALL IRRIGATION COMPONENTS SHALL BE NEW & HAVE NO DEFECTS.
14. INSTALL IRRIGATION COMPONENTS AS SPECIFIED BY THE MANUFACTURER, UNLESS SPECIFIED ON PLAN.
15. COORDINATE ALL SLEEVE INSTALLATION WITH THE PAVING CONTRACTOR.
16. ALL VALVES TO BE HOUSED IN GREEN VALVE BOXES BELOW GRADE IN PLANTING BEDS.
17. SIZE VALVE BOXES TO ALLOW 6" MIN. CLEARANCE AROUND ALL EQUIPMENT SUPPLY 3" MIN. OF DRAINAGE ROCK (2" MIN. BELOW ALL VALVES.) PROVIDE VALVE BOX EXTENSIONS IF NECESSARY TO MEET FINISH GRADES.
18. ALL CONTROL & PRESSURE REGULATING VALVES ARE TO BE LOCATED IN THE PLANTER AREAS. ALL WATER METERS & BACKFLOW PREVENTERS ARE TO BE LOCATED IN THE PLANTER AREAS. CONTROLLERS ARE TO BE FIELD LOCATED AS SHOWN ON THE PLANS.
19. ALL DRAIN VALVES SHALL BE LOCATED AT LOW POINTS ON ALL LATERAL & MAIN LINES & SHALL BE DRAINED PRIOR TO THE ONSET OF FREEZING TEMPERATURES.
20. DESIGN PRESSURE IS A MINIMUM OF 60 P.S.I. AT THE POINT OF CONNECTION. CHECK PRESSURE PRIOR TO COMMENCEMENT OF WORK, & IF THERE IS A SIGNIFICANT PRESSURE DIFFERENCE, CONTACT THE LANDSCAPE ARCHITECT.
21. ALL IRRIGATION LINES SHALL BE SLOPED TO DRAIN. INSTALL MANUAL DRAINS AFTER BACKFLOW DEVICE & WHERE EVER ELSE IS NEEDED FOR PROPER WINTERIZATION. CONSTRUCT GRAVEL SUMPS (6 CU. FT.) UNDER MAINLINE DRAINS.
22. ANY PIPE OR FITTINGS WHICH ARE LOCATED ABOVE GROUND SHALL BE GALVANIZED. ALL GALVANIZED MATERIALS LOCATED BELOW GROUND SHALL BE WRAPPED IN BLACK 10 MIL TAPE TO 1" ABOVE THE FINAL GRADE.
23. PIPE INSTALLATION SHALL ACCOMMODATE ALL SHRINKAGE & EXPANSION.
24. ALL PIPE INSTALLATION SHALL BE CONDUCTED AT TEMPERATURES ABOVE 40 DEGREES F.
25. ALL JOINTS SHALL BE SEALED AS PER MANUFACTURER'S INSTRUCTION, & HAVE 4-5 FULL TURNS OF TEFLON TAPE AT ALL CONNECTIONS.
26. ALL DRIP TUBING SHALL BE BURIED 6" BELOW SOIL SURFACE & SECURED WITH TUBING STAKES EVERY 25' OR AS NEEDED.
27. ALL PLANT MATERIAL SHALL HAVE THE LISTED BUBBLERS INSTALLED EVENLY AROUND THE BASE OF EACH PLANT.
    - (2) 2 GAL (& LTR) EMITTER FOR EACH 2 GAL PLANT
    - (5) 2 GAL (& LTR) EMITTER FOR EACH 5 GAL PLANT
    - (3) 5 GAL (& LTR) EMITTER FOR EACH TREE
28. BACKFLOW DEVICE ENCLOSURE SHALL BE CONSTRUCTED OF FIBERGLASS & ENCLOSURE SHALL BE BOLTED TO A CONCRETE PAD USING GALVANIZED STEEL HARDWARE. ENCLOSURE SHALL HAVE A LOCKABLE HINGE ON ONE END THAT ALLOWS FOR REMOVAL OF THE ENCLOSURE FOR BACKFLOW SERVICE.
29. INSTALL A SLIP X SLIP X 1" THREADED TEE WITH A RISER & A THREADED CAP AFTER THE BACKFLOW PREVENTER.
30. CONTROL WIRING TO BE 14-1 U.F. WITH NON WHITE JACKET. COMMON WIRING TO BE 12-1 U.F. WITH WHITE JACKET. PROVIDE 1 EXTRA WIRE FOR BACKUP, & LOOP INTO EACH VALVE BOX. ALL EXTRA WIRES TO BE OF A DIFFERENT COLOR. ALL WIRES SHALL BE CONNECTED TO VALVES WITH A WATERPROOF CONNECTION.
31. ALL WIRES SHALL BE BURIED DIRECTLY UNDER PIPE WHEN POSSIBLE.
32. ALL SPARE PARTS, REQUIRED SYSTEM TOOLS, & SPECIFICATION & INSTRUCTIONAL MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT BEFORE THE FINAL INSPECTION. SPARE PARTS SHALL INCLUDE BUT ARE NOT LIMITED TO:
    - 1 OF EACH TYPE OF IRRIGATION HEAD
    - 10 OF EACH TYPE OF IRRIGATION EMITTER
    - 1 MANUAL VALVE KEY OR HANDLE
    - ANY & ALL TOOLS REQUIRED FOR THE MAINTENANCE OF THE INSTALLED SYSTEM
33. ALL SOIL COMPACTION FOR BACKFILL SHALL MATCH ADJACENT SOIL COMPACTION DENSITY.
34. A COMPLETE SYSTEM FLUSHING, AT 1.5 TIMES THE STATIC PRESSURE FOR 2 CONTINUOUS HOURS, & INITIAL SYSTEM TESTING SHALL BE CONDUCTED BEFORE BACKFILLING. ALL LEAKS & SYSTEM MALFUNCTIONS SHALL BE REPAIRED & THE SYSTEM SHALL BE RETESTED UNTIL A SATISFACTORY RESULT IS PRODUCED.

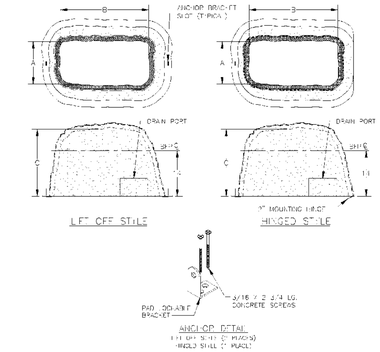
EXISTING IRRIGATION EXPANSION AND MODIFICATIONS:

35. IF APPLICABLE, ALL EXISTING IRRIGATION MODIFICATIONS SHALL BE CONDUCTED SO TO AVOID ANY INTERRUPTION TO REGULAR WATERING SCHEDULE FOR ALL REMAINING PLANT MATERIAL. IN THE EVENT A SCHEDULE INTERRUPTION CAN NOT BE AVOIDED, CONTRACTOR SHALL HAND WATER ALL REMAINING PLANT MATERIAL UNTIL THE REGULAR WATERING SCHEDULE RESUMES.
36. ALL EXISTING IRRIGATION MATERIALS SHOWN IN THESE PLANS ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING ALL EXISTING MATERIALS THAT ARE RELATED TO THE DESIGN OF THE PROPOSED IRRIGATION IMPROVEMENTS.
37. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ELEMENTS RELATED TO THE PROPOSED IRRIGATION IMPROVEMENTS ARE IN SATISFACTORY CONDITION, ENSURING THE EXISTING MATERIALS MEETS ALL STANDARDS SET IN THESE PLANS, AND ARE IN COMPLIANCE WITH ALL LOCAL, COUNTY, AND FEDERAL/STATE REQUIREMENTS AND WILL RESULT IN A FULLY FUNCTIONING IRRIGATION SYSTEM.
38. ALL EXISTING MATERIALS SHALL BE LOCATED AND VERIFIED PRIOR TO COMMENCING ANY WORK ON THE PROPOSED IMPROVEMENTS. IF ANY OF THE EXISTING COMPONENTS DO NOT MEET THE CONDITIONS SET IN THESE PLANS THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION ON HOW TO PROCEED.
39. CONTRACTOR TO DEMO AND REMOVE ALL EXISTING COMPONENTS ALL EXISTING COMPONENTS NOT NECESSARY FOR THE PROPER FUNCTION OF THE IRRIGATION SYSTEM AND/OR SPECIFIED AS NEW IN THESE PLANS.

TEMPORARY IRRIGATION FOR RESEEDED AREAS:

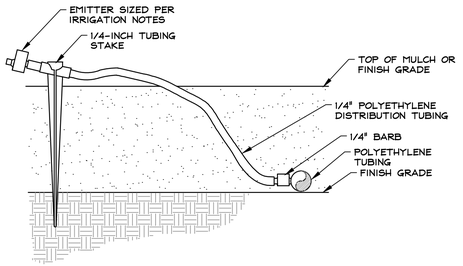
40. CONTRACTOR TO APPLY TEMPORARY IRRIGATION FOR ALL AREAS INTENDED TO BE RESEEDED.
41. IRRIGATE SEED MIXTURE AS NECESSARY TO KEEP THE SURFACE CONTINUALLY DAMP DURING THE DAY UNTIL GERMINATION, APPROXIMATELY 2 WEEKS.
42. IRRIGATE ON HOURLY INTERVALS AT 5 -10 MINUTES PER HOUR.
43. ADJUST IRRIGATION TIMES AND FREQUENCY AS NECESSARY TO MAINTAIN OPTIONAL SOIL MOISTURE.
44. PROVIDE REGULAR TEMPORARY IRRIGATION FOR TWO GROWING SEASONS ALLOWING ROOTS TO DEVELOP AT SAFE DEPTHS TO SURVIVE LONG DRY PERIODS.
45. COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS FOR APPLICATION, MAINTENANCE, AND IRRIGATION.

Fiberglass Hot Rok® Enclosures



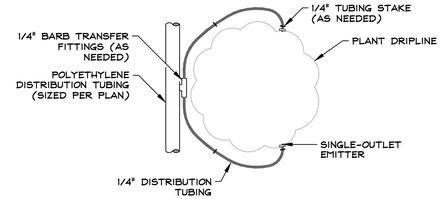
Installation:

1. Provide applicable GFI protected power. UL STND. 943-NEMA 3R. Inside enclosures requiring heat. Mount at least 8" above any discharge point and near the pipe riser on the enclosure access side or install per local code.
2. Pour a full concrete pad 4" thick around valve, allowing a minimum 1" radial space between riser and pad or install on a "Glass Pad™".
3. Place Hot Rok® Enclosure over the valve onto the pad or footer.
4. Use a masonry bit to drill through anchor hinge. Insert concrete screws and bolt firmly to concrete.
5. Mark and mount locking hasp.
6. Mark and mount support rod anchor.
7. For heated enclosures using a self regulating heat trace tape, secure tape to valve with pipe ties or fiberglass/electrician's tape. No pipe insulation is necessary. The Hot Rok® Enclosure provides the necessary insulation.
8. Plug the heat source into the specified circuit/receptacle, after verifying proper voltage.
9. Lower and secure hasp to staple via pad lock (padlock not included).



EMITTER ON 1/4" TUBING DETAIL

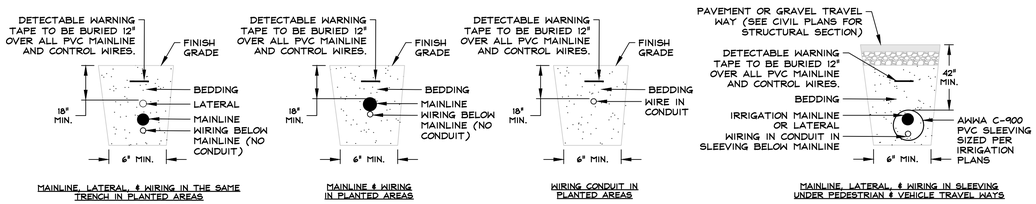
NOT TO SCALE



NOTES:
1. DISTRIBUTE EMITTERS EVENLY AT THE DRIPLINE OF PLANT WITH STREAM POINTING INTO PLANT BASIN IN THE QUANTITY SPECIFIED PER THESE PLANS.

EMITTERS AT PLANT BASE DETAIL

NOT TO SCALE



NOTES:
1. APPLY APPROPRIATE DETAIL BASED ON SLEEVING LOCATION.
2. DETAIL ADDRESSING MULTIPLE IRRIGATION SUPPLY LINES AND WIRING CAN APPLY TO ANY COMBINATION OF LINES IDENTIFIED IN THE DETAIL.

PIPE AND WIRE TRENCH DETAILS

NOT TO SCALE

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MINDEN
1603 Esmeralda Ave
P.O. Box 2229
Minden, NV. 89423
p 775.782.2322
f 775.782.7084

RENO
9060 Double Diamond Pkwy, Unit 115
Reno, NV. 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE

747 LAKEVIEW AVENUE

IRRIGATION NOTES AND DETAILS

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA
PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L04
SCALE: NONE	SHEET: L4
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AGENDA ITEM NO. V. A.

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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
15 Q 15 T 15 H 15 H 15 TQ 15 F	RAIN BIRD 1812-SAM-PRS-U U15 SERIES SHRUB SPRAY, 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	16	30
8 08HE-VAN 12 12HE-VAN 10 10HE-VAN 15 15HE-VAN	RAIN BIRD 1812-SAM-PRS-U HE-VAN SERIES SHRUB SPRAY, 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	10	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD XCZ-100-PRF 1 MEDIUM FLOW DRIP CONTROL KIT, 1IN. DV VALVE, 1IN. PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3 GPM-15 GPM.	2	
	1/2" IRRIGATION DRIPLINE WITH ENDCAP 250 L.F. MAXIMUM RUN PER ZONE	314.8 L.F.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD DVF 1" STANDARD CONFIGURATION, ELECTRIC REMOTE CONTROL VALVE. PLASTIC RESIDENTIAL IN 1IN.. WITH FLOW CONTROL.	3	
	EXISTING SHUT OFF VALVE CONTRACTOR TO FIELD VERIFY LOCATION AND CONDITION OF DEDICATED IRRIGAITON VALVES. ENSURE EQUIPMENT MEETS ALL APPLICABLE REGULATIONS AND SAFETY STANDARDS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF CONDITION, EQUIPMENT, OR LOCATION IS NOT ACCEPTABLE.	1	
D	EXISTING DRAIN VALVE CONTRACTOR TO FIELD VERIFY LOCATION AND CONDITION OF DEDICATED IRRIGAITON VALVES. ENSURE EQUIPMENT MEETS ALL APPLICABLE REGULATIONS AND SAFETY STANDARDS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF CONDITION, EQUIPMENT, OR LOCATION IS NOT ACCEPTABLE.	1	
C	RAIN BIRD ESP4ME3 WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1	
EX 1"	POINT OF CONNECTION EXISTING BFP. CONTRACTOR TO FIELD VERIFY LOCATION AND CONDITION OF DEDICATED IRRIGAITON BFP. ENSURE EQUIPMENT MEETS ALL APPLICABLE REGULATIONS AND SAFETY STANDARDS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF CONDITION, EQUIPMENT, OR LOCATION IS NOT ACCEPTABLE.	1	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	28.2 L.F.	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1/2"	127.7 L.F.	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 3/4"	51.0 L.F.	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1"	41.9 L.F.	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/4"	8.2 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2"	151.9 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 IRRIGATION SLEEVE	19.6 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 1" MIN. IRRIGAITON WIRE SLEEVE	19.4 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 3" MIN. IRRIGATION DRIPLINE SLEEVE	10.0 L.F.	

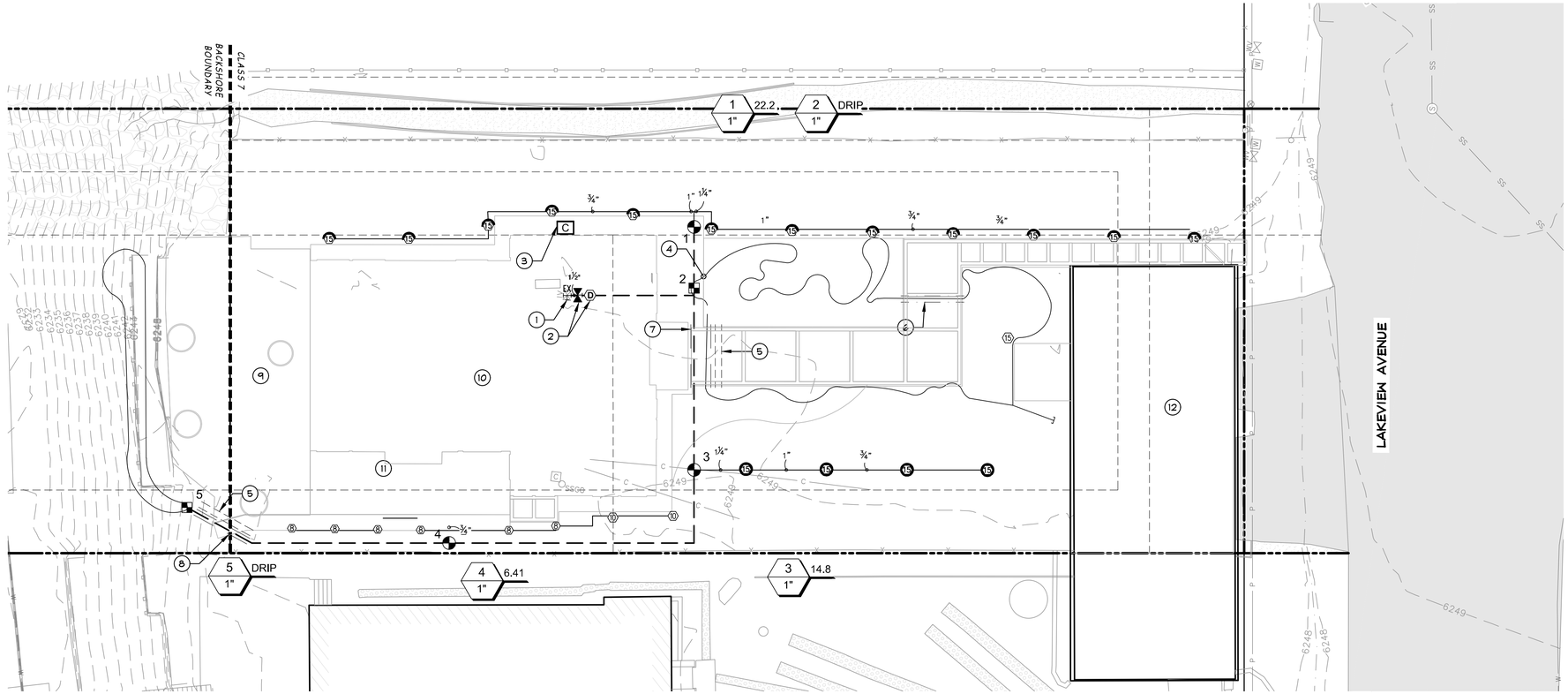
Valve Callout
Valve Number
Valve Flow

SPECIFIC IRRIGATION PLAN NOTES:

○ SYMBOL USED FOR SPECIFIC NOTE CALL OUT.

1. EXISTING IRRIGATION BACKFLOW PREVENTER. TO BE FIELD VERIFIED BY CONTRACTOR.
2. EXISTING IRRIGATION VALVES. TO BE FIELD VERIFIED BY CONTRACTOR.
3. CONTROLLER. REFER TO DETAIL ON SHEET L4.
4. 3/4" IRRIGATION DRIPLINE WITH CAP.
5. 1" MIN IRRIGATION WIRE SLEEVE.
6. 3" MIN. IRRIGATION DRIPLINE ONLY SLEEVE.
7. 4" MIN. IRRIGATION SLEEVE.
8. 3" MIN. IRRIGATION SLEEVE.
9. DECK
10. RESIDENCE
11. PATIO
12. GARAGE

SCALE: 1" = 10'



CALL 811 BEFORE YOU DIG

NO.	DATE	REVISION BLOCK	BY

SCALE: 1" = 10'

R|O|Anderson
WWW.ROANDERSON.COM
MINDEN
1603 Esmeralda Ave
P.O. Box 2224
Minden, NV 89423
p 775.782.2322
f 775.782.7084
RENO
9060 Double Diamond Pkwy, Unit 115
Reno, NV 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE
747 LAKEVIEW AVENUE

IRRIGATION PLAN AND SCHEDULE

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA
PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L05
SCALE: 1" = 10'	SHEET: L5
DATE: 12/22/22	OF: 05 SHEETS

AGENDA ITEM NO. V. A.

Y:\Client Files\3441\3441-001\CAD\Planning\Landscape\3441-001 L05.dwg 12/22/2022 4:41:24 PM Marie A. Hulse

MR. + MRS. STEVE MURPHY
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

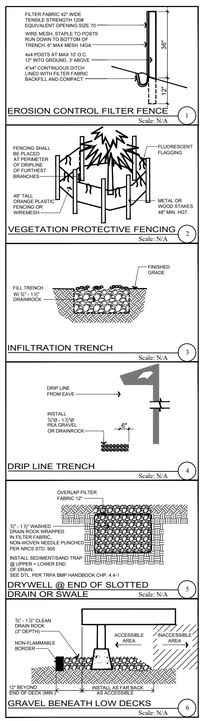
BEST MANAGEMENT PRACTICES:

PROVIDE TEMPORARY BMP INSTALLATION DURING CONSTRUCTION TO CAPTURE SEDIMENT RUN-OFF FOR THE CONSTRUCTION AREA AND TO PROTECT EXISTING VEGETATION. PROVIDE PERMANENT BMP INSTALLATION BY PROJECT COMPLETION (***SEE SHEET BMP***), INCLUDING: RE-VEGETATION OF BARREN AREAS; DRIP LINE INFILTRATION TRENCHES; DRIVEWAY INFILTRATION; PARKING BARRIERS; SLOPE STABILIZATION AND GRAVEL BENEATH DECKS AND PORCHES.

INFILTRATION TRENCH SIZES:

A	ROOF-A	31.5'L x 24"W x 4"D
B	ROOF-B	31.5'L x 24"W x 4"D
C	ROOF-C	7'L x 24"W x 4"D
D	ROOF-D	10'L x 24"W x 4"D
E	ROOF-E	44'L x 24"W x 4"D
F	ROOF-F	25.5'L x 24"W x 4"D
G	ROOF-G	65.5'L x 24"W x 4"D
H	ROOF-H	45'L x 6"W x 6"D

SEE BMP CALCS



SEE SHEET BMP

ARBORIST RECOMMENDATIONS:

(IF REQUIRED) FUTURE UTILITIES TO DOCK SHALL BE BROUGHT DOWN MIDDLE OF PROPERTY TO CREATE THE LEAST ROOT DISTURBANCE TO NEARBY TREES.

CARE SHALL BE TAKEN WITH ALL TREES IN THE VICINITY OF FENCES PROPOSED TO BE REMOVED OR INSTALLED.

CARE SHALL BE TAKEN WITH ALL TREES AND GRASS ON SLOPE ABOVE RETAINING WALL TO HELP STABILIZE THIS SLOPE. CARE SHALL BE TAKEN OF THESE TREE ROOTS DURING CONSTRUCTION OF THE RETAINING WALL.

AT PUBLIC PATH, SEE ARBORIST REPORTS FOR ANY REQUIREMENTS TO BE MET.

SEE ARBORIST REPORT DATED 11.13.2022 BY SINNOTT CONSULTING FOR FURTHER DETAILS ON TREE PROTECTION AND ROOT PRUNING PROCEDURES.

LAND COVERAGE INFORMATION:

747 LAKEVIEW - APN: 026-021-011

VERIFIED COVERAGE PER TRPA FILE# 960679; 950108 + 11/27/95 LETTER

LAND CLASS	1b/BACKSHORE 1%	CLASS 7 30%	TOTAL
LAND AREA	1,995	11,928	13,923
ALLOWABLE COVERAGE	20	3,578	3,598
HOUSE		969	969
GARAGE		1,145	1,145
CONCRETE WALKS		520	520
DECK, PORCH + STAIRS	235	1,459	1,694
COMPACTED DIRT DRIVE		110	110
TOTAL VERIFIED COVERAGE	**235**	**4,203**	**4,438**
EXCESS COVERAGE	215	625	840
EXISTING OFF-SITE COVERAGE			
COMPACTED DIRT DRIVE		696	696

PROPOSED COVERAGE

LAND CLASS	1b/BACKSHORE 1%	CLASS 7 30%	TOTAL
LAND AREA	2,570	11,300	13,870
ALLOWABLE COVERAGE	26	3,390	3,416
RESIDENCE	0	1,887	1,887
STOOP	0	62	62
EXISTING GARAGE	0	1,160	1,160
ASPHALT	0	46	46
PERVIOUS PAVER WALKWAY	0	550	550
PERVIOUS PAVER FIREPLACE TERRACE	0	297	297
PERVIOUS DECK	404	571	975
STAIRS	80	0	80
MECHANICAL PAD	0	81	81
PROPOSED COVERAGE	**484**	**4,654**	**5,138**
COVERAGE EXEMPTIONS		777	777
PROPOSED COVERAGE W/ EXEMPTIONS	***484***	***3,877***	***4,361***

PERVIOUS COVERAGE EXEMPTIONS

PERVIOUS DECK	0	565	565
PERVIOUS PAVER WALKWAY	0	138	138
PERVIOUS PAVER FIREPLACE TERRACE	0	74	74
TOTAL COVERAGE EXEMPTIONS	0	777	777

PERVIOUS DECK CALCULATIONS

PROPOSED PERVIOUS DECK	0	571	571
MAX. PERVIOUS DECK EXEMPTION	0	565	565
PROPOSED DECK COVERAGE	0	6	6
** 5% OF NON-SENSITIVE LANDS*			

PROPOSED OFF-SITE COVERAGE

ASPHALT	0	595	595
COMPACTED DIRT PARKING	0	147	147
TOTAL OFF-SITE COVERAGE	0	742	742

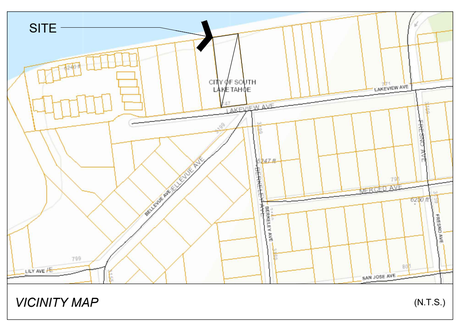
SLOPE CALCULATION ACROSS BLDG. SITE:

CROSS SLOPE = (6249 - 6249) / 72 = 0.000 x 100 = 0%

ROOF AREA CALCULATIONS:

747 LAKEVIEW:

RESIDENCE	2,275 SF
EXISTING GARAGE	1,191 SF
TOTAL:	*3,466 SF*



VICINITY MAP (N.T.S.)

PROJECT DESCRIPTION:

PROPOSED PROJECT CONSISTS OF A 2-STORY SINGLE-FAMILY RESIDENCE w/ (E) DETATCHED 3-CAR GARAGE. SITE IMPROVEMENTS INCLUDE REFURBISHING THE (E) REAR DECK. CURRENT PROPOSAL REDUCES AND REPLACES PREVIOUSLY PERMITTED 2-STORY SINGLE-FAMILY RESIDENCE PROJECT ON THIS SITE.

GENERAL INFORMATION:

PROJECT SITE: APN 026-021-011

PROPERTY ADDRESS: 747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA.
EL DORADO COUNTY

PROPERTY OWNER: MR. + MRS. STEVE MURPHY

PROJECT AREA:

RESIDENCE:	1,887 SF
(E) GARAGE:	1,160 SF
TOTAL PROJECT:	3,047 SF

BUILDING CODE DATA:

OCCUPANCY GROUP: R-1

USE: SINGLE FAMILY RESIDENTIAL

CONSTRUCTION TYPE: V-B

APPLICABLE CODES:

ALL CONSTRUCTION SHALL COMPLY WITH **2019 EDITIONS** OF:
CALIFORNIA RESIDENTIAL CODE (CRC)
CALIFORNIA MECHANICAL CODE (CMC)
RESIDENTIAL + NON-RESIDENTIAL ENERGY STDS
CALIFORNIA FIRE CODE (CFC)
CALIFORNIA PLUMBING CODE (CPC)
CALIFORNIA ELECTRICAL CODE (CEC)
CAL GREEN
CITY ORDINANCES + STATE LAWS
WILDLAND URBAN INTERFACE (WUI)

SHEET INDEX:

(*) = FUTURE BUILDING SHEETS

SUBMITTALS TO BE DEFERRED AND STAMPED BY ARCHITECT OR ENGINEER OF RECORD: TRUSS CALCS. AND SHOP DRAWINGS; FIRE SPRINKLER + ALARM DRAWINGS.

CONSULTANTS:

DESIGNER
FORM+ONE DESIGN
CONTACT: TIM RADUENZ
4843 SILVER SPRINGS DR.
PARK CITY, UT. 84098
P: 415.819.0304
E: tim@formonedesign.com

OWNERS
MR. + MRS. STEVE MURPHY
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA. 96150

INTERIOR DESIGNER
TRUESTYLE + DESIGN
CONTACT: SHANNON MASTALIR
P: 415.215.0367
E: shantbhome@yahoo.com

LANDSCAPE ARCHITECT
RO ANDERSON
CONTACT: MARIE HULSE
1603 ESMERALDA AVE
MINDEN, NV. 89423
P: 775.782.2322

SURVEYOR
RESOURCE CONCEPTS INC.
CONTACT: JASEN SOLT, PLS
340 N. MINNESOTE ST.
CARSON CITY, NV. 89703
P: 775.883.1600

ARBORIST
SINNOTT CONSULTING ISA
CERTIFIED ARBORIST
P.O. BOX 3293
CARSON CITY, NV. 89702
P: 775.721.1231

SCENIC ANALYSIS
3DFX DESIGN
CHICO, CA.
P: 530.682.0535
E: asouza@3dfxdesign.com

STRUCTURAL
T.B.D.
-
-
P: -
E: -

TRPA CONSULTANTS
EXLINE + COMPANY INC.
P.O. BOX 16789
SOUTH LAKE TAHOE, CA. 96151
P: 775.240.9361

TITLE 24
NRG COMPLIANCE INC.
P.O. BOX 3777
SANTA ROSA, CA. 95402
P: 707.237.6957
E: asouza@3dfxdesign.com

PRELIMINARY 3D

STPUD NOTES:

1" LINE TO SERVICE DOMESTIC WATER TO RESIDENCE.
1" LINE TO SERVICE FIRE SPRINKLER SYSTEM TO RESIDENCE.

DEFENSIBLE SPACE REQUIREMENTS:

REF. GUIDELINES FOR CREATING DEFENSIBLE SPACE AT www.livingwithfire.info/tahoe

1. ALL DEAD VEGETATION INCLUDING TREES, BRUSH AND OTHER VEGETATION SHALL BE REMOVED.
2. ALL RESIDUAL TREES SHALL BE LIMBED TO 10' FROM THE GROUND, AT THE HIGH SIDE OF THE NATURAL SLOPING GRADE. REMOVAL OF MIDDLE BRANCHES SHALL NOT EXCEED ⅓ OF THE TOTAL TREE HEIGHT. IF MORE THAN ⅓ OF THE LIVE CROWN IS REMOVED TO ACHIEVE THIS LIMBING THEN USE GUIDELINES IN #6 BELOW.
3. ALL RESIDUAL TREES SHALL BE LIMBED TO ACHIEVE 10' OF CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE, IF LESS THAN 60% OF THE LIVE CROWN REMAINS AFTER LIMBING, THEN THE TREE SHALL BE REMOVED.
4. ALL BRUSH, TREES OR FLAMMABLE MATERIAL SHALL BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPS.
5. NO FLAMMABLE MATERIAL SHALL BE WITHIN 5' OF THE FOUNDATION OR SUPPORT POSTS OF ANY PART OF THE HOUSE.
6. TREE CANOPIES SHALL BE SPACED 10' APART, BETWEEN EDGES OF CROWNS, WHEN THEY ARE LOCATED 5' TO 30' FROM THE HOUSE. TREES GROUPED CLOSE TOGETHER ACTING AS ONE UNIT SHALL MEET ALL OTHER REQUIREMENTS. LARGE STANDS OF TREES LOCATED 30' TO 100' FROM THE HOUSE SHALL REMAIN IF ALL VEGETATION UNDERNEATH THEM ARE REMOVED.
7. BRUSH FIELDS SHALL BE SPACED HORIZONTALLY A MINIMUM DISTANCE OF 2X THE HEIGHT OF THE BRUSH, WHEN THEY ARE LOCATED 5' TO 30' FROM THE HOUSE. INDIVIDUAL BRUSH PLANT SHALL BE MAXIMUM 100 SF IN AREA AND 3' HIGH.

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

PLANNING SET

Title : TITLE PAGE
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RADUENZ
Date : 12.08.22

T1.0

Sheet

Scale: See Details

AGENDA ITEM NO. V. A.

MECHANICAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. MECHANICAL CONTRACTOR TO ACCEPT SOLE RESPONSIBILITY FOR PROPER DESIGN AND INSTALLATION OF MECHANICAL SYSTEM. SEE MECHANICAL DWGS. BY OTHER FOR SPECIFIC INFORMATION.
3. MECHANICAL CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR TO DESIGN AND INSTALL SUITABLE DISTRIBUTION SYSTEM PER TITLE 24. MECH. CONTRACTOR TO FIELD VERIFY AND DETERMINE SIZE AND CONFIGURATION OF DUCTS AND REGISTER. SEE SHEET INDEX FOR LOCATION OF TITLE 24 CONFORMANCE WORKSHEETS AND ENERGY COMPLIANCE NOTES WITHIN THIS SET. HVAC DUCTS LOCATED IN ATTIC SPACE SHALL BE PLACED AS CLOSE TO PERIMETER AS POSSIBLE SO AS NOT TO INTERFERE WITH USEABLE ATTIC STORAGE SPACE.
4. MECHANICAL LAYOUT SHOWN IS SCHEMATIC AND IS SHOWN FOR DESIGN INTENT ONLY.
5. PROVIDE COMBUSTION AIR SUPPLY TO GAS FIRED APPLIANCES BY COMBUSTION AIR DUCTS PER (CMC) & CPC. VERIFY DUCT SIZE WITH MANUFACTURER'S SPECIFICATIONS.
6. FURNACES OR BOILERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA MECHANICAL CODE (CMC)
7. PER CMC, COMBUSTION AIR DUCTS FROM THE ATTIC SHALL BE LOCATED WITHIN THE UPPER AND LOWER 12 INCHES OF THE ENCLOSURE. DUCTS SHALL BE SEPARATE AND SHALL NOT BE OBSTRUCTED.
8. APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED BY CMC. WATER HEATERS TO BE SECURED WITH A MINIMUM OF 2 STRAPS, ONE EACH TO BE LOCATED IN THE UPPER AND LOWER THIRD OF THE UNIT.
9. UNDERCUT ALL INTERIOR DOORS (AS APPROPRIATE) FOR AIR RETURN CIRCULATION TO VENTS, TYPICAL OF INTERIOR CONDITIONED SPACES.
10. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
11. ALL FIXTURES TO BE SELECTED (OR APPROVED) BY OWNER.
12. EXHAUST FANS IN LAUNDRY AND BATHROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. EXHAUST FAN VENTS MUST TERMINATE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING AND BE PROVIDED WITH BACKDRAFT DAMPERS.
13. AT NEW FORCED AIR FURNACE INSTALLATIONS PROVIDE 3' MIN. WORKING SPACE ALONG EACH SIDE (WITH A TOTAL OF AT LEAST 12" ON BOTH SIDES COMBINED), BACK AND TOP OF FURNACE.
14. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

PLUMBING NOTES:
1. VERIFY ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
2. ALL FIXTURES TO BE SELECTED AND (OR APPROVED) BY OWNERS.
3. ALL NEW WATER CLOSETS SHALL BE 1.28 GALLON/FLUSH MAXIMUM.
4. NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR-GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAINBOARD, WHICHEVER IS HIGHER
5. (N) ELECTRIC WATER HEATER PER T24 REQUIREMENTS

ELECTRICAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA ELECTRIC CODE (CEC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
2. PER CEC, ALL ELECTRICAL RECEPTACLES INSTALLED AT CRAWL SPACES AT OR BELOW GRADE, AND OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (G.F.C.I.) PROTECTION. ALL RECEPTACLES LOCATED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (G.F.C.I.) PROTECTION.
3. SMOKE DETECTORS SHALL BE INSTALLED PER CBC. A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO ROOMS USED FOR SLEEPING PURPOSES. A DETECTOR SHALL BE INSTALLED ON EACH LEVEL OF A MULTI-STORY DWELLING, INCLUDING BASEMENT LEVELS. IN SPLIT-LEVEL OR MULTI-LEVEL FLOORS, A SMOKE DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL, OR ON BOTH LEVELS IF THE LOWER LEVEL CONTAINS SLEEPING AREAS. WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS. WHEN THE VALUATION OF AN ADDITION OR REPAIR EXCEEDS $1,000.00, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS. IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS, OR IN BUILDINGS WITHOUT COMMERCIAL POWER, OR IN BUILDINGS WHICH UNDERGO ALTERATION, REPAIRS, OR ADDITIONS REGULATED AS OUTLINED ABOVE.
4. TELEPHONE OUTLETS TO BE PREWIRED BY SUBCONTRACTOR. CONTRACTOR TO COORDINATE AS REQUIRED. VERIFY LOCATION OF ALL TELEPHONE OUTLETS WITH OWNER PRIOR TO INSTALLATION.
5. ELECTRICAL OPENINGS (SWITCHES, RECEPTACLES, ETC.) ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE MAINTAINED AT LEAST 24 INCHES APART.
6. PER CEC, RECEPTACLE SPACING SHALL NOT EXCEED 12 FEET MEASURED HORIZONTALLY ALONG THE WALL.
7. PER CEC, AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM; IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRICAL POWER, AND OUTDOOR ENTRANCES OR EXITS.
8. PER CEC, LIGHTING FIXTURES LOCATED WITHIN CLOTHES CLOSETS SHALL BE MOUNTED ON THE WALL ABOVE THE DOOR OR ON THE CEILING. CLEARANCES SHALL BE AS FOLLOWS:
A. SURFACE MOUNTED INCANDESCENT FIXTURES - 12"
B. SURFACE MOUNTED FLUORESCENT FIXTURES - 6" 9. ELECTRICAL CONTRACTOR RESPONSIBLE FOR PROVIDING NECESSARY TEMPORARY POWER.
10. VERIFY ANY AND ALL LANDSCAPE LIGHTING AND SWITCHES WITH OWNER PRIOR TO INSTALLATION OF ROUGH ELECTRICAL.
11. ALL ELECTRICAL HANGING FIXTURES TO BE SELECTED AND PURCHASED BY OWNER. VERIFY EXACT LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
13. ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER PER ***2019*** CALIFORNIA ENERGY CODE AND RATED IC OR APPROVED EQUAL MEETING UL RATING OR OTHER TESTING /RATING LABORATORIES RECOGNIZED BY THE ICC.
14. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. NEW ELECTRICAL SHALL BE DESIGN-BUILD. NEW ELECTRICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND APPLICABLE CODES, STANDARDS AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMIT. ELECTRICAL CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD ELECTRICAL SYSTEM AS REQUIRED TO PROVIDE THE (NEW) SERVICE SHOWN (SCHEMATICALLY) ON THE DRAWINGS.

GENERAL NOTES:
ALL WORK SHALL COMPLY W/ THE ***2019*** EDITION OF THE CA. BUILDING CODE AND ALL OTHER CODES AND REQUIREMENTS, IN THEIR MOST RECENT EDITION INCLUDING THE FOLLOWING:
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2. THE INTENTION OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT FACILITIES AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK IN AN ACCEPTABLE INDUSTRY'S STANDARDS. CONTRACTOR IS TO OBTAIN ANY REQUIRED PERMITS FOR THIS OR HER WORK.
3.THE MIN. ACCEPTABLE QUALITY OF MATERIALS, WORKMANSHIP, AND METHOD OF INSTALLATION SHALL MEET THE FOLLOWING CRITERION: CONFORM TO THE AMERICAN NATIONAL INSTITUTE STANDARDS WHERE SUCH STANDARDS EXISTS.
4. CONTRACTOR SHALL PERFORM ALL ADDITIONAL ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK REQUIRED BY THE BUILDING DEPARTMENT.
5. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMISSION OF BID TO REVIEW SCOPE OF WORK, DEMOLITION, ETC.
6. DO NOT SCALE DRAWINGS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR REVIEW.
7. DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED, (U.O.N.)
8. DIMENSIONS NOTED CLEAR (CLR.) ARE NOT ADJUSTABLE WITHOUT
APPROVAL FROM THE DESIGNER.
9. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF PERSONS AND PROPERTY.
10. CUTTING AND DEMOLITION SHALL BE DONE BY METHODS, WHICH WILL AND WILL NOT JEOPARDIZE STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION AND WILL NOT DAMAGE PORTIONS TO REMAIN.
11. CONTRACTORS SHALL REMOVE, CUT, CAP, AND REPAIR, AS NECESSARY, ANY UTILITES. INCLUDING BUT NOT LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE SPRINKLERS, WHERE PARTITIONS ARE SCHEDULED FOR DEMOLITION OR ARE NO LONGER OPERATIONAL OR IN SERVICE. ALL OTHER EXISTING UTILITES ARE TO REMAIN FULLY OPERATIONAL.
12. IN GENERAL, THE OWNER RESERVES THE RIGHT TO RETAIN ALL MATERIALS AND EQUIPMENT REMOVED FROM THE PROJECT. ANY ITEMS OR MATERIAL NOT DESIRED BY THE OWNER ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
13.CONTRACTOR IS TO PROVIDE ALL NECESSARY DUST PROTECTION AND/OR BARRICADING REQUIRED TO PROTECT ADJACENT SPACES AND EXISTING FINISHES. CONTRACTOR OS RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY CONTRACTOR OR THEIR SUB-CONTRACTORS.
14. PATCH AND REPAIR ANY DAMAGES TO FLOORS, WALLS, CEILINGS, HARDWARE, FIXTURES, WINDOWS, ETC. AS A RESULT OF THE DEMOLITION PROCESS. MATCH EXISTING ADJACENT FINISHES AS CLOSELY AS POSSIBLE.
15. IF ANY QUESTIONS ARISE TO THE INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT, OR WITH THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL CLARIFY THE QUESTIONS W/ THE DESIGNER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE W/O THE DESIGNERS AND OR OWNERS APPROVAL.
16. TOTAL THICKNESS OF NEW WALLS SHALLMATCH THAT OF ADJACENT WALLS.
17. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE ITS PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATION, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGE IN EXECUTION OF WORK, SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
18. ALL WORK SHALL BE SCHEDULED AND PERFORMED SO AS NOT TO DISTURB ANY OTHER TENANTS IN THE BUILDING. ANY WORK THAT WILL DISTURB ANOTHER TENANT, ABOVE OR BELOW, OR IN THE FLOOR , SHALL BE PERFORMED MOST EXPEDITIOUSLY AND THE DISTURBED TENANT SHALL HAVE FULL USE OF THE PREMISE.
19. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE W/ JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPER FINISHED JOB. ANY CUSTOMARY AND NECESSARY ITEMS WHICH ARE REASONABLY IMPLIED AND REQUIRED TO COMPLETE PROPERLY THE WORK OUTLINED SHALL BE FURNISHED, EVEN IF NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATION.
20. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION CLEAN-UP, DURING AND FINAL.
21. THE AMERICANS WITH DISABILITIES ART (ADA) IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE ADA AS IT APPLIES TO THE SUBJECT PROJECT. IT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE ADA BY OTHERS.

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

PLANNING SET

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : General Notes

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22

Drawn : TIM RADUENZ

Job No. : 22_42

GN

Sheet

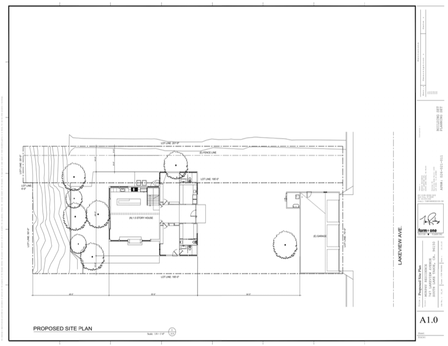
Scale: See Details

AGENDA ITEM NO. V. A.

SINNOTT CONSULTING ARBORIST
Post Office Box 3293
Carson City, NV 89702
775.721.1231
sincon@sbcglobal.net

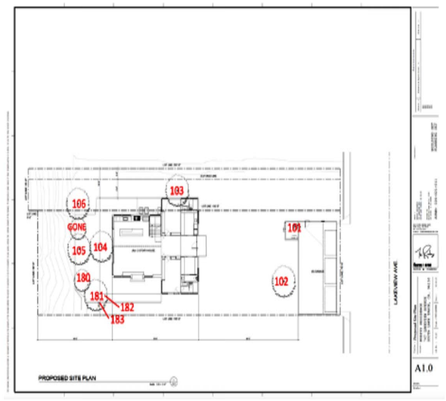
TREE PRESERVATION PLAN & MITIGATION MEASURES
747 LAKEVIEW AVE., SOUTH LAKE TAHOE, CA
APN 26-021-06

A Tree Preservation Plan with Mitigation Measures has been developed for 747 Lakeview Ave., South Lake Tahoe, California. Implementing the Tree Preservation Plan and Mitigation Measures can help reduce construction impact on trees if measures are followed throughout the entire project. With the majority of roots normally in the first approximately 2 feet of soil, tree protection to minimize root damage during the construction process is vital.



Site plan courtesy of Form + One Design

Tree Inventory Locations



Site plan courtesy of Form + One Design
Tree identifications noted by Sinnott Consulting Arborist

Tree Inventory

Tree Number	Tree Species	Trunk Diameter (inches)	Condition	Additional information
101	Jeffrey Pine, *Pinus jeffreyi*	20	Good	Not shown on site plan
102	Jeffrey Pine, *Pinus jeffreyi*	65	Good	Codominant leaders, recommend inspection by qualified tree service
103	Jeffrey Pine, *Pinus jeffreyi*	46	Good	Remove dead, hanging broken branch
104	Jeffrey Pine, *Pinus jeffreyi*	32	Good	
105	Jeffrey Pine, *Pinus jeffreyi*	37	Good	
106	Jeffrey Pine, *Pinus jeffreyi*	32	Good	
180	Jeffrey Pine, *Pinus jeffreyi*	37	Good	Old sapsucker bird injury
181	Jeffrey Pine, *Pinus jeffreyi*	37	Good	Remove dead, hanging broken branch
182	Jeffrey Pine, *Pinus jeffreyi*	12	Poor	Remove, suppressed
183	Jeffrey Pine, *Pinus jeffreyi*	8	Poor	Remove, suppressed

Overall Tree Recommendations

1. The majority of trees on this site are large, old, mature trees. They normally do not have a high tolerance to root disturbance compared to healthy, young trees that have more vigor.
2. Remove any tree with a health rating of poor on the tree inventory.
2. If the new structure conflicts with any trees, remove branches that will banging into or rub on the eaves, roof, windows, gutters, etc. This requires a TRPA permit or approval of the TRPA planner if it is in the upper two-thirds of the crown of a tree.
3. Prune heavy dead wood from the crown of the trees.
4. All trees are numbered with metal tags.
5. Implementing the tree preservation and mitigation measures will increase the chances of ***not*** jeopardizing the health of the impressive, mature trees on this site.
6. Irrigate, irrigate, irrigate throughout the construction process, dry soil leads to stressed tree health which leads to dead and dying roots and promotes bark beetle infestation.

Specific Tree Recommendations

1. Tree #101 is not shown on the site plan.
2. Extreme care needs to be taken if any root disturbance is intended within the drip line of tree #102. This is a large, mature tree that will not tolerate extensive root damage.
3. Tree #102 is recommended to be assessed by a qualified tree service for evidence of weak attachments (cracks or gaps in the bark attachment) at the sites of the multiple codominant stems. Codominant stems are sites where one of the two stems can rip out due to a weak attachment.
4. The tree shown on the site plan between #105 and #106 has been removed.
5. Trees #103 and #181 have heavy dead limbs that have broken out from above and are hung up in the lower live branches. These dead limbs present a risk to anyone below and are recommended to be removed promptly.
6. Tree #180 has old sapsucker bird injury, the elliptical holes in the bark on the main stem of the tree. There is nothing that needs to be done, it is not detrimental to the tree. The holes ***do not*** indicate bark beetle infestation.
7. The base of trees #104, #105, and #180 were unable to be assessed due to the existing deck covering the base of the trees.
8. Trees #182 and #183 are recommended to be removed due to poor health; they have been suppressed, are deformed and growing into the lower crown of tree #181.

TREE PRESERVATION PLAN & MITIGATION MEASURES
747 LAKEVIEW AVE., SOUTH LAKE TAHOE, CA

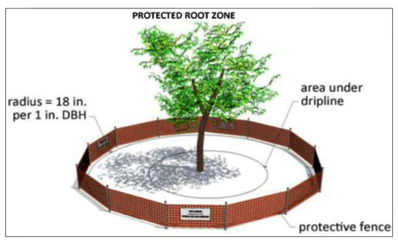
Pre-construction and Planning Phase

A. **Note Save Trees On All Improvement Plans**

1. All trees to be preserved shall be noted on all site improvement plans.
2. Emphasize tree protection prior to operation of any equipment on site.
3. Review the responsibility of all parties involved in the construction process to protect trees designated to be saved.

B. **Tree Protection Zones (TPZ)**

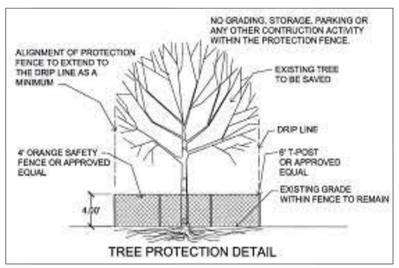
1. Tree Protection Zone (TPZ) is a defined area where activities are prohibited or restricted to prevent / minimize potential construction injury to trees designated to be saved.
2. Establish tree protection zones (TPZ) as far beyond the dripline (outermost circumference of a tree's canopy) as possible with the minimum distance being the actual dripline, encompassing all soil and roots within the circumference.



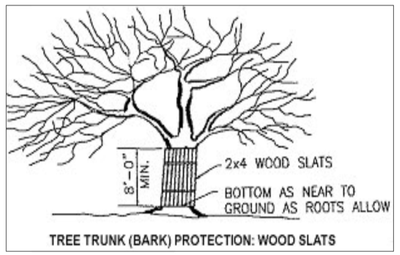
3. Maintain the existing grade within the TPZ. Increased soil suffocates tree roots and inhibits water and nutrients to the root system. Decreased soil removes small feeder roots and large stabilizing roots.
4. Install six inches of wood mulch chips in the TPZ to prevent drying of soil if there is not existing ground cover.
5. Trenching to be designed to avoid crossing the TPZ of any protected tree.

C. **Tree Protection Fencing**

1. Tree protection fencing to be installed prior to the arrival of construction equipment or materials on site.
2. Protective fencing to be installed between the tree and construction activity to prevent trunk wounds, soil disturbance and/or root compaction.
3. Fence individual trees or preferably entire groups of trees with minimum four foot high plastic poly-type high visibility orange fencing or chain link out to the TPZ to ensure the fence is visible to workers operating construction equipment.



4. Bark protection to be installed on any tree if construction is required within the tree protection fencing in order to protect bark from contact with equipment. The entire trunk of the tree to be enclosed with 2x4 lumber encircled with banding. Do not attach boards or banding directly into bark. Height of the 2x4's to be the height that guarantees protection from equipment with the minimum height being 8 feet.
5. Any tree damaged during construction is to be repaired in accordance with accepted arboriculture methods.



D. **Root Pruning**

1. Combine utility trenches to minimize the impact on tree roots.
2. Root pruning to be performed by or under the direction of a qualified arborist.
3. Because roots are not visible until exposed in the soil, root pruning recommendations often need to be made in the field.
4. Roots encountered and/or exposed that are larger than two inch diameter are to be carefully hand dug to expose and corrective root pruning be performed, if needed.
5. Care is to be taken not to damage bark tissue on roots during hand excavation.
6. All tools are to be clean and sharp.
7. ***An excavator or any sort of heavy equipment is not considered a root pruning tool.***

E. **Irrigation**

1. Install temporary irrigation that will be functional throughout the entire project, until a permanent system is in place if the soil is dry.
2. If a temporary irrigation system is needed, develop a watering schedule to ensure soil moisture.

F. **Crown Pruning**

1. Prune using a qualified, reputable tree service.

Construction Phase

A. **Tree Protection Zones (TPZ)**

1. Activities not permitted within the TPZ:
   a. Driving
   b. Parking
   c. Storage
   d. Dumping Anything (Spoils)
   e. Spoils Flowing into TPZ
   f. Washing Out Anything
   g. Placement of Sani Huts
   h. Using Tree Trunk for Temporary Power Pole, Sign Post, Etc.
2. Maintain existing grade within the TPZ, increased soil suffocates roots, decreased soil removes roots.
3. Tunnel or bore under roots, hand dig or air spade in TPZ to minimize any root damage.

B. **Tree Protection Fencing**

1. Maintain all tree protection fencing as originally installed and approved to prevent trunk wounds and root compaction.
2. Inspect fencing daily for damage, repair as necessary to provide and maintain a physical barrier from construction activities.

C. **Root Exposure**

1. Promptly cover exposed roots to prevent desiccation from sunlight and drying air which causes roots to become non-functional.
2. Keep roots covered with tarps kept damp, shotcrete or a material that will deter roots from desiccating. Burlap is not recommended due to it drying too rapidly.

D. **Root Pruning**

1. Cleanly prune exposed roots back to the soil horizon; ragged, crushed or torn roots promote decay and susceptibility to disease.
2. Small roots to be cut with hand pruners, roots over two inches with loppers, handsaw, reciprocating saw or chain saw.
3. Tunnel or bore under roots if possible; hand dig or Air Spade® in all TPZ areas to minimize root damage.

Revisions
Rev.: | Description: | Date:
001
002
003
004
005
006

Contractor:

BUILDING SET
PLANNING SET

Owner: MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title: Arborist Report
Project: MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No.: 22_42
Drawn: TIM RADUENZ
Date: 10.10.22

AR

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

E. Irrigation

1. If temporary irrigation is required, inspect the weekly to ensure system is functioning properly and providing adequate irrigation.
2. Irrigate within the dripline of the trees ***if natural precipitation does not occur***: once a week during hot, summer months, once every three weeks in the spring and fall and once a month in the winter. *Irrigation is vital to tree survival*.
3. Monitor soil once a week, year round if natural precipitation does not occur, to ensure soil moisture. Increase or decrease watering as soil moisture monitoring dictates.
4. Irrigate to a soil depth of 24 inches.
5. Do not saturate soil where foot and/or equipment traffic occurs.
6. Irrigate preferably when there will not be site activity, eg. Friday afternoon so that soil drains thus allowing the vicinity to be usable the following week, this avoids compaction and lessens site damage.

F. Crown Pruning

1. Prune tree branches that are going to conflict with structures, utility lines, vehicles and/or machinery.
2. Prune using current ANSI (American National Standards Institute) A300 pruning standards and adhere to ANSI Z133.1 safety standards.
3. Prune making proper pruning cuts without the use of climbing spikes.
4. Use a qualified, reputable tree service.

G. Tree Damage

1. Any tree damaged is to be evaluated by the project arborist to determine if there is a possible repair method.

Molly Sinnott
ISA Certified Arborist #WE-0369A

Tree Photos

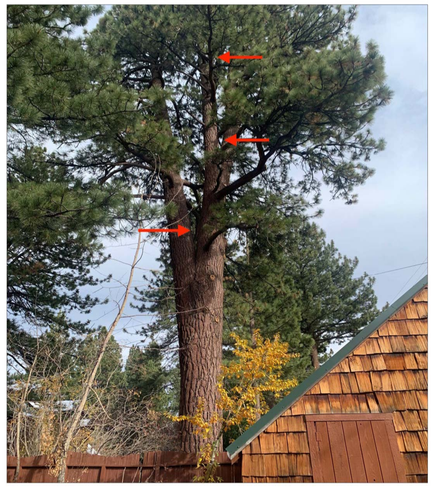


Photo above showing tree #102. Red arrows indicate codominant stems in the tree, points of possible weak attachments.

Photo above: red arrow indicating codominant stem in tree #102.
Photo below: red arrows indicating multiple codominant stems in tree #102.

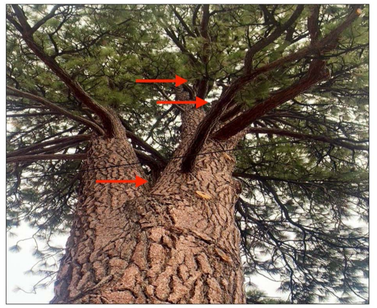


Photo above: red arrows indicate a dead, broken branch hanging in the crown of tree #103, remove to prevent possible injury below.

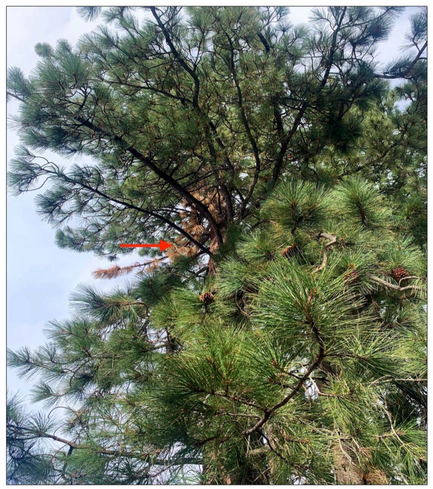


Photo above: red arrow indicates a dead, broken branch hanging in the crown of tree #181, remove to prevent possible injury below.

Photo above: tree #182 (red arrow) and tree #183 (blue arrow) suppressed by healthy tree #181 (green arrow) that has broken, hanging dead branch.

Photo below: tree #182 (red arrow) and tree #183 (blue arrow) are deformed and suppressed due to growing into the crown of healthy tree #181 (green arrow).

Photo above: red arrow indicating horizontal, elliptical holes drilled by sapsucker birds in the bark of tree #180, this is not an indicator of bark beetle infestation. Yellow arrow indicates metal tree tag #180

ASSUMPTIONS AND LIMITING CONDITIONS

1. Any ownership to property provided to the consultant is assumed to be correct. Any and all property is evaluated as though free and clear. Property is assumed to not be in violation of any applicable codes, ordinances, statutes or other governmental regulations.
2. Care has been taken to obtain all information from reliable sources. Site plans provided to Sinnott Consulting Arborist for this report have been obtained from Form + One Design.
3. The consultant shall not be required to give testimony or to attend meetings, hearings, or trials by reason of this report unless subsequent contractual arrangements are made.
4. Loss or alteration of any part of this report invalidates the entire report.
5. Possession of this report or a copy thereof does not imply right to publication or use for any purpose by any other than the person to whom it is addressed without the prior expressed written or verbal consent of the consultant.
6. This report represents the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a stipulated result, the occurrence of a subsequent event, nor any finding to be reported.
7. Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection. There is no warranty or guarantee, expressed or implied that problems or deficiencies of the plants or property in question may not arise in the future.
8. Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.
9. Unless otherwise expressed this report covers only examined items and their condition at the time of inspection. The inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.

Molly Sinnott
ISA Certified Arborist #WE-0369A

Revisions

Rev.:	Description :	Date :
001		
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Contractor :

BUILDING SET
PLANNING SET

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

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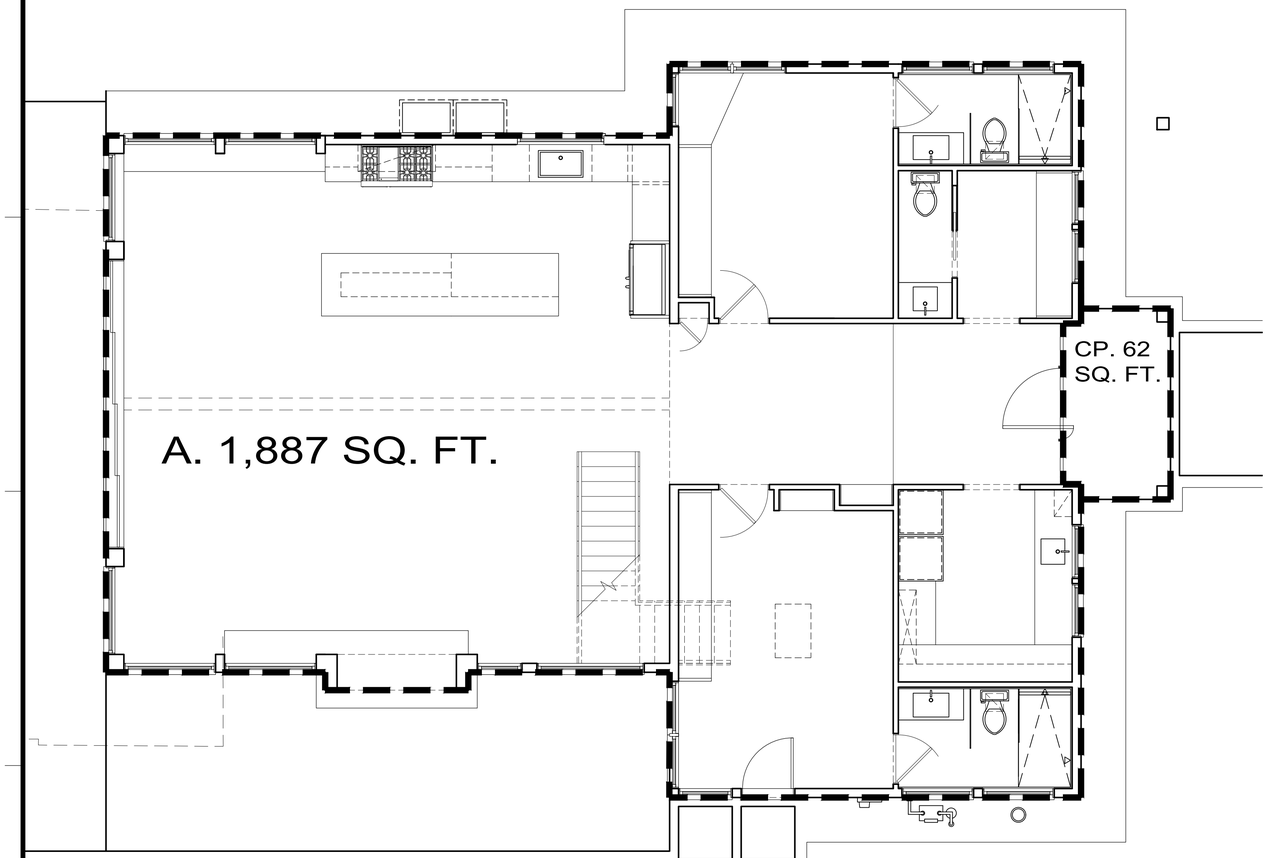
form + one
DESIGN ■ PLANNING

Title : Arborist Report (Cont.)
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Date : 10.10.22
Drawn : TIM RADUENZ
Job No. : 22_42

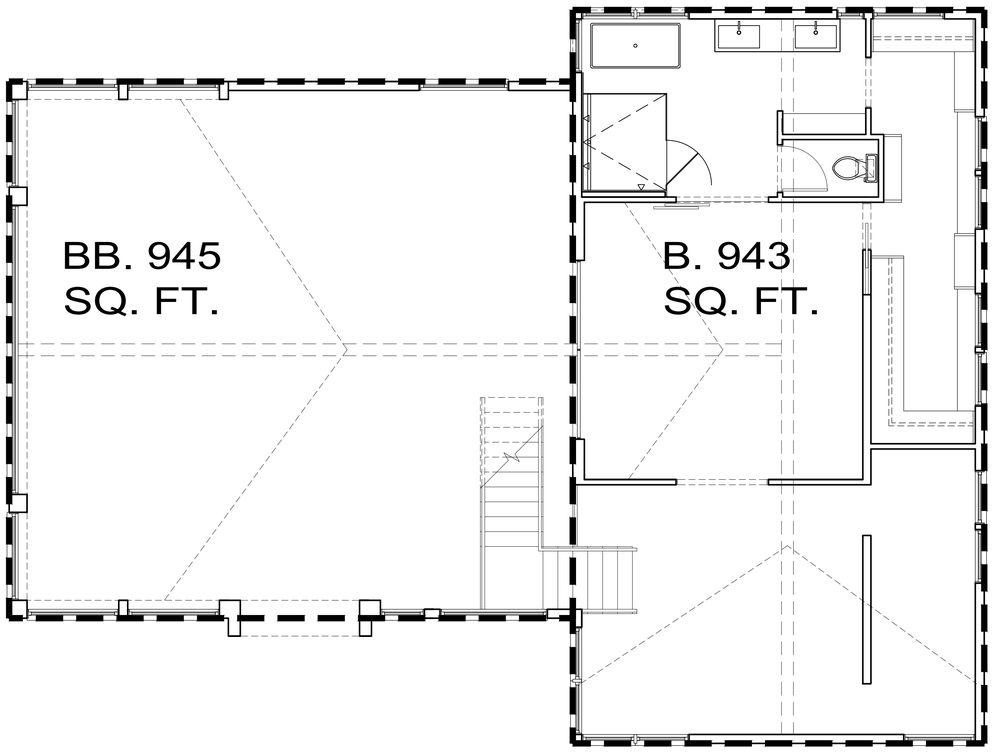
AR2

Sheet
Scale: See Details

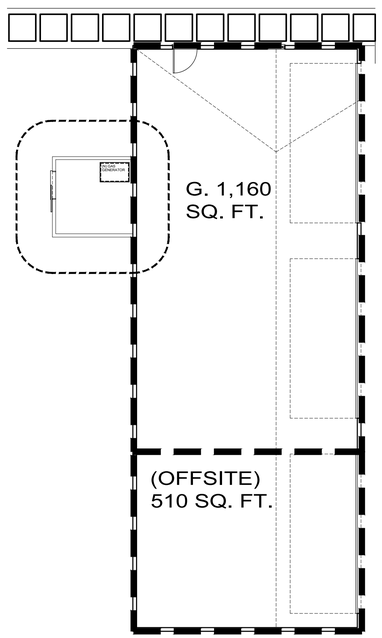
AGENDA ITEM NO. V. A.



FLOOR AREA CALC. (1 / FAR)
PROPOSED FIRST FLOOR Scale: 1/4" = 1'-0"



FLOOR AREA CALC. (2 / FAR)
PROPOSED SECOND FLOOR Scale: 1/4" = 1'-0"



FLOOR AREA CALC. (3 / FAR)
(E) GARAGE Scale: 1/8" = 1'-0"

COMPLETE FAR

	LOCATION	FAR SQ. FT.:	LOT COVERAGE SQ. FT.:	REMARKS:
1ST FLR	A	1,887	1,887	NEW HOUSE - FIRST FLOOR - PROPOSED
	CP	-	62	NEW COVERED FRONT PORCH - PROPOSED
		-	-	-
2ND FLR	B	943	-	NEW HOUSE - SECOND FLOOR - PROPOSED
	BB	-	-	(N) HOUSE - SECOND STORY VOL. 945 SQ.
		-	-	-
GARAGE	G	-	1,160 (ON SITE)	(E) GARAGE - NO WORK
		-	-	-
		-	-	-
TOTAL:		2,830	3,109	

DETAILS

APN = 026-021-011

LOT SIZE: 13,939 SQ. FT.

MAX ALLOWABLE FAR = N/A

MAX ALLOWABLE LOT COVERAGE = N/A

Revisions

Rev.:	Description :	Date :
001		
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003		
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PLANNING SET

4843 SILVER SPRINGS DRIVE
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Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

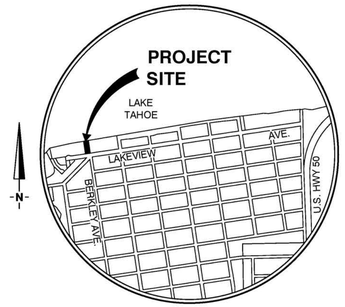
form+one
DESIGN ■ PLANNING

Title : Floor Area Calc.
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RADDENZ
Date : 12.08.22

FAR

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

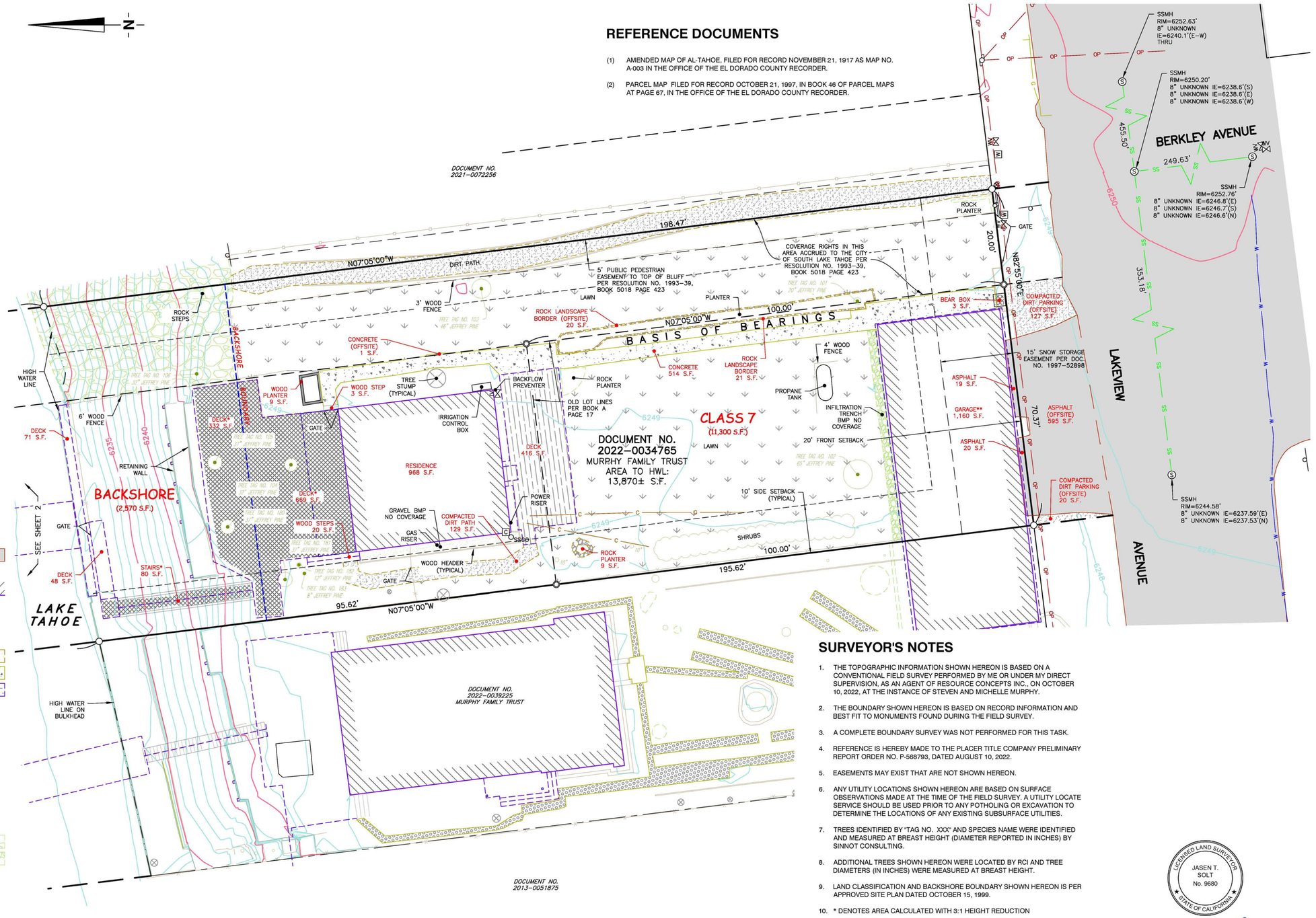


VICINITY MAP

NO SCALE

LEGEND

- FOUND IRON PIPE AT LOT/BLOCK CORNER, NO IDENTIFICATION
- DIMENSION POINT, NOTHING FOUND OR SET
- BOLLARD
- COMM BOX
- POWER METER
- GUY ANCHOR
- UTILITY POLE
- SIGN
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- HOSE BIB
- FIRE HYDRANT
- IRRIGATION CONTROL BOX
- IRRIGATION CONTROL VALVE
- WATER METER
- WATER VALVE
- ADJOINING LOT LINE
- ASPHALT
- BOUNDARY LINE
- BUILDING
- BUILDING OVERHANG
- BUILDING SETBACK LINE
- COMMUNICATIONS LINE
- COMPACTED DIRT / GRAVEL
- CONCRETE
- DECK
- EXISTING EASEMENT
- FENCE LINE
- HIGH WATER/LOW WATER LINE
- LOT LINE PER (1)
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- OVERHEAD POWER LINE
- RIGHT OF WAY LINE
- RIPRAP
- ROCK
- SANITARY SEWER LINE
- STAIR
- STEP
- TREE
- WALL TOE
- WATER LINE
- COVERAGE CALCULATED WITH 3:1 HEIGHT REDUCTION



BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE EASTERLY LINE OF BLOCK 1 AS SHOWN ON THE AMENDED MAP OF AL-TAHOE, FILED FOR RECORD NOVEMBER 21, 1917 AS MAP NO. A-003, IN THE OFFICE OF THE EL DORADO COUNTY RECORDER. (N 07° 05' 00" E)

BASIS OF ELEVATIONS

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE DATUM OF LAKE TAHOE AS PUBLISHED BY THE USGS FOR THE LAKE TAHOE GAUGE ON OCTOBER 10, 2022 (6223.18').

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A CONVENTIONAL FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AS AN AGENT OF RESOURCE CONCEPTS INC., ON OCTOBER 10, 2022, AT THE INSTANCE OF STEVEN AND MICHELLE MURPHY.
2. THE BOUNDARY SHOWN HEREON IS BASED ON RECORD INFORMATION AND BEST FIT TO MONUMENTS FOUND DURING THE FIELD SURVEY.
3. A COMPLETE BOUNDARY SURVEY WAS NOT PERFORMED FOR THIS TASK.
4. REFERENCE IS HEREBY MADE TO THE PLACER TITLE COMPANY PRELIMINARY REPORT ORDER NO. P-568793, DATED AUGUST 10, 2022.
5. EASEMENTS MAY EXIST THAT ARE NOT SHOWN HEREON.
6. ANY UTILITY LOCATIONS SHOWN HEREON ARE BASED ON SURFACE OBSERVATIONS MADE AT THE TIME OF THE FIELD SURVEY. A UTILITY LOCATE SERVICE SHOULD BE USED PRIOR TO ANY POTHOLING OR EXCAVATION TO DETERMINE THE LOCATIONS OF ANY EXISTING SUBSURFACE UTILITIES.
7. TREES IDENTIFIED BY "TAG NO. XXX" AND SPECIES NAME WERE IDENTIFIED AND MEASURED AT BREAST HEIGHT (DIAMETER REPORTED IN INCHES) BY SINNOT CONSULTING.
8. ADDITIONAL TREES SHOWN HEREON WERE LOCATED BY RCI AND TREE DIAMETERS (IN INCHES) WERE MEASURED AT BREAST HEIGHT.
9. LAND CLASSIFICATION AND BACKSHORE BOUNDARY SHOWN HEREON IS PER APPROVED SITE PLAN DATED OCTOBER 15, 1999.
10. * DENOTES AREA CALCULATED WITH 3:1 HEIGHT REDUCTION
11. ** AREA OF GARAGE CALCULATED BASED ON EXTERIOR GARAGE DIMENSIONS AND LOCATION OF SURVEYED BOUNDARY LINE.
12. SEE SHEET 2 FOR COVERAGE TABLES AND LOW WATER LINE.

LICENSED LAND SURVEYOR
JASEN T. SOLT
No. 9680
STATE OF CALIFORNIA

12-16-2022

REVISION	DATE

0 10 20
SCALE:1"=10'

A.P.N. 026-021-11
MRPHY FAMILY TRUST
747 LAKEVIEW AVE.

TOPOGRAPHIC AND COVERAGE SURVEY

RCI Resource Concepts Inc.

Engineering • Surveying • Water Rights
Resources • Environmental • Services
www.rci-nv.com

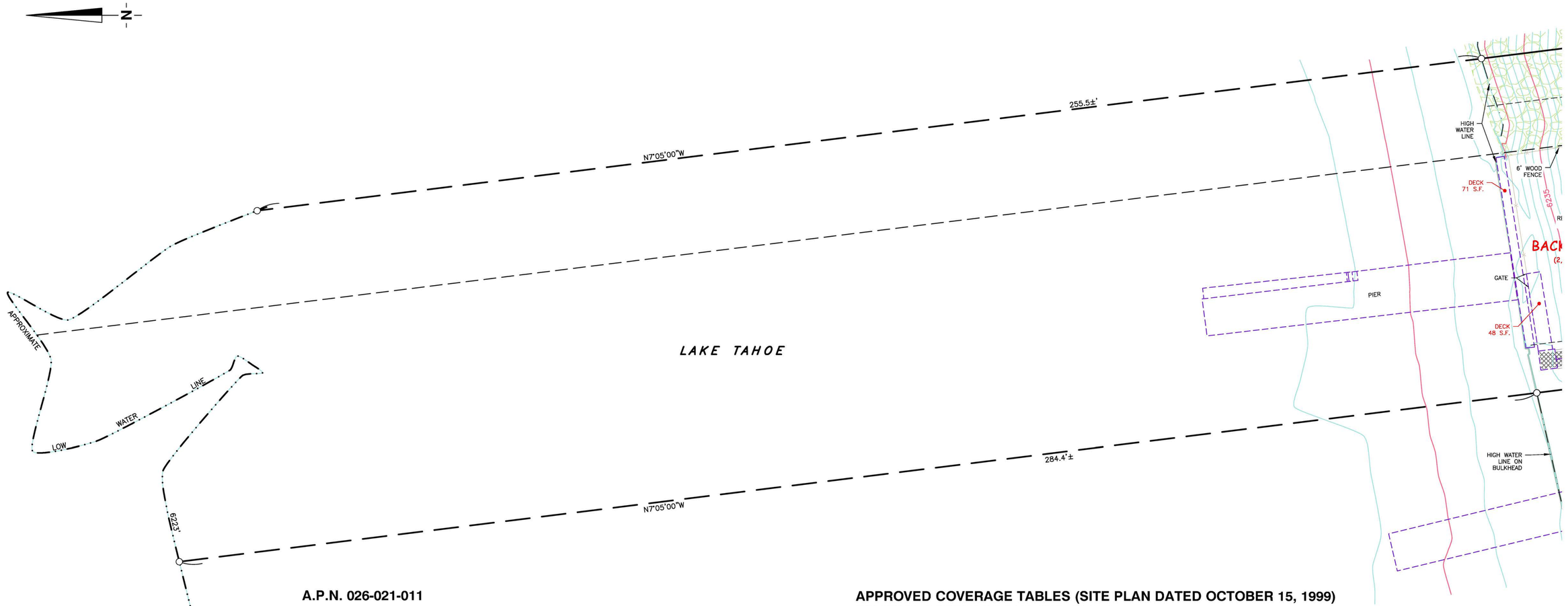
Carson City
340 N. Minnesota St. Carson City, NV 89703-4152
775-883-1600

Lake Tahoe
276 Kingsbury Grade, Ste. 206
Stateline, NV 89449
775-588-7500

JOB NO.:	22-617
DATE:	12-16-2022
DESIGNED:	
DRAWN :	JTS,MB
CHECKED:	JTS

SHEET 1 OF 2

AGENDA ITEM NO. V. A.



A.P.N. 026-021-011

EXISTING COVERAGE BY LAND CLASS

	BACKSHORE	CLASS 7	TOTAL
ASPHALT		39	39
BUILDINGS (RESIDENCE AND GARAGE)		2,128	2,128
BEAR BOX		3	3
COMPACTED DIRT PATH		129	129
CONCRETE		514	514
DECK	451	1,085	1,536
ROCK LANDSCAPE WALLS/BORDERS		30	30
WOOD STEPS/STAIRS/PLANTER	80	32	112
TOTALS:	**531**	**3,960**	**4,491 S.F.**

A.P.N. 026-021-011

PARCEL AREA BY LAND CLASS

	BACKSHORE	CLASS 7	TOTAL
AREA	2,570	11,300	13,870
ALLOWABLE COVERAGE	26	3,390	3,416
EXISTING COVERAGE	531	3,960	4,491

EXISTING OFFSITE COVERAGE

ASPHALT	595
CONCRETE	1
COMPACTED DIRT PARKING	147
ROCK LANDSCAPE WALL/BORDER	20
TOTAL OFFSITE COVERAGE:	**763 S.F.**

APPROVED COVERAGE TABLES (SITE PLAN DATED OCTOBER 15, 1999)

EXISTING COVERAGE BY LAND CLASS

	BACKSHORE	CLASS 7	TOTAL
HOUSE		969	969
GARAGE		1,145	1,145
CONCRETE WALKS		520	520
DECK, PORCH AND STAIRS	235	1,459	1,694
COMPACTED DIRT DRIVE		110	110
DIRT PATH		469	469
TOTALS:	**235**	**4,672**	**4,907 S.F.**

PARCEL AREA BY LAND CLASS (SITE PLAN DATED OCTOBER 15, 1999)

	BACKSHORE	CLASS 7	TOTAL
AREA	1,995	11,928	13,923
ALLOWABLE COVERAGE	20	3,578	3,598
EXISTING COVERAGE	235		4,907

EXISTING OFFSITE COVERAGE (SITE PLAN DATED OCTOBER 15, 1999)

COMPACTED DIRT DRIVE	496
TOTAL OFFSITE COVERAGE:	**496 S.F.**

REVISION	DATE

0 10 20
SCALE:1"=10'

A.P.N. 026-021-11
MRPHY FAMILY TRUST
747 LAKEVIEW AVE.

TOPOGRAPHIC AND COVERAGE SURVEY

Resource Concepts Inc.
Engineering • Surveying • Water Rights
Resources • Environmental • Services
www.rci-nv.com
Carson City
340 N. Minnesota St. Carson City, NV 89703-4152
775-883-1600
Lake Tahoe
276 Kingsbury Grade, Ste. 206
Stateline, NV 89449
775-588-7500

JOB NO.:	22-617
DATE:	12-16-2022
DESIGNED:	
DRAWN :	JTS,MB
CHECKED:	JTS

SHEET 2 OF 2

AGENDA ITEM NO. V. A.

GENERAL NOTES & SCOPE

1. EXISTING INFORMATION ON THIS SITE PLAN OBTAINED FROM SURVEY DATED 12/07/2022 BY JASEN T. SOLT, R.C.E. & TRPA STAMPED APPROVED SITE PLAN DATED 12/07/2022.
2. ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES, CHAPTER 30, SECTION 30.8, EXTERIOR LIGHTING STANDARDS.
3. ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES, AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.
4. EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE FOUNDATION FOOTPRINT TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE BUILDING FOOTPRINT.
5. ALL EXCAVATION WITHIN THE DRIP LINE OF EXISTING TREES TO BE RETAINED SHALL BE PERFORMED BY HAND-DIGGING ONLY SO AS TO MINIMIZE ROOT DAMAGE.
6. DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL. MEASURE WITHIN 35ft. OF STRUCTURES.

LAND CAPABILITY CLASS: 7 + BACKSHORE

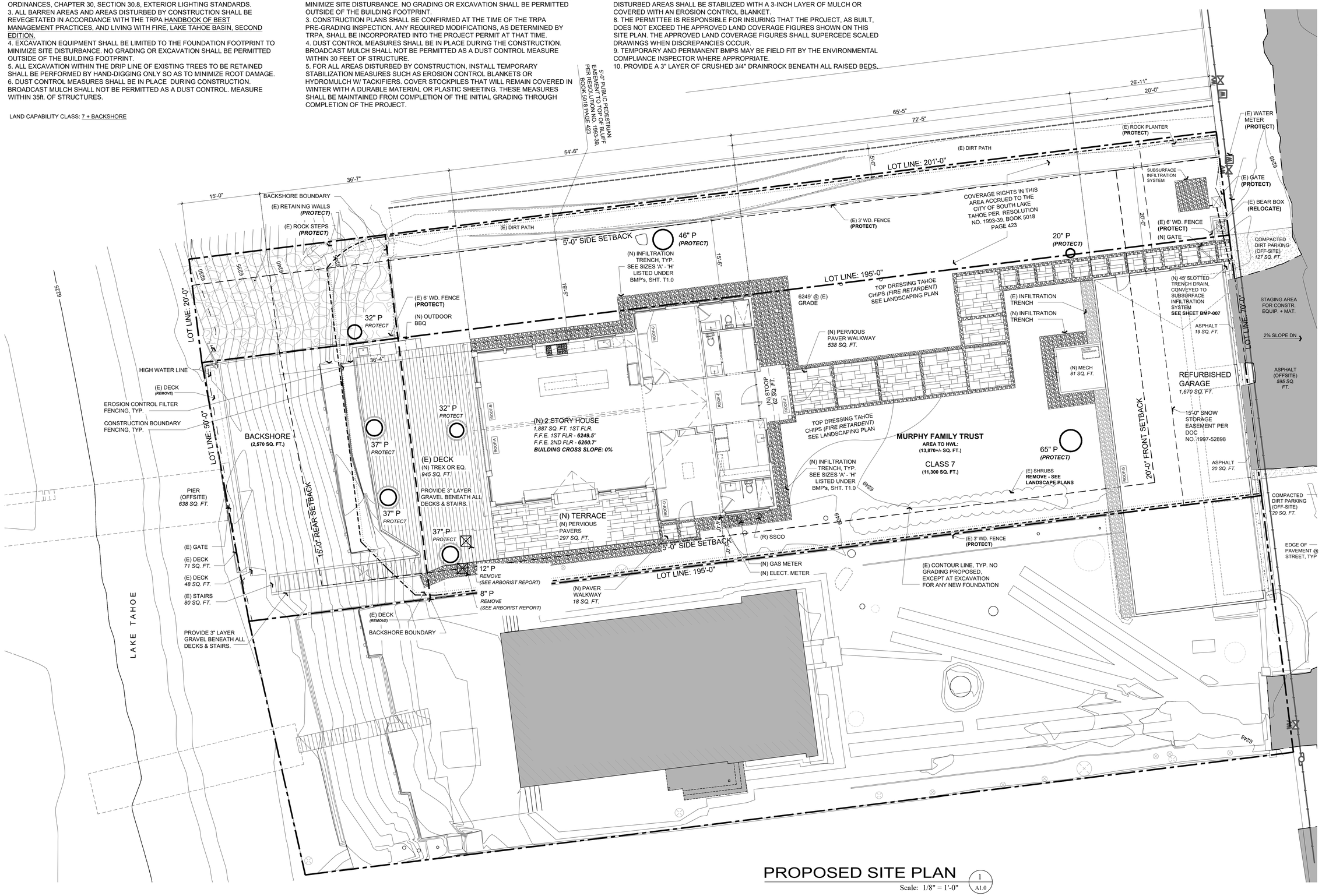
REVEGETATION + TRPA NOTES:

1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA "HANDBOOK OF BEST MANAGEMENT PRACTICES" AND "LIVING WITH FIRE", LAKE TAHOE BASIN, SECOND EDITION.
2. EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE FOUNDATION FOOTPRINT TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE BUILDING FOOTPRINT.
3. CONSTRUCTION PLANS SHALL BE CONFIRMED AT THE TIME OF THE TRPA PRE-GRADING INSPECTION. ANY REQUIRED MODIFICATIONS, AS DETERMINED BY TRPA, SHALL BE INCORPORATED INTO THE PROJECT PERMIT AT THAT TIME.
4. DUST CONTROL MEASURES SHALL BE IN PLACE DURING THE CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 30 FEET OF STRUCTURE.
5. FOR ALL AREAS DISTURBED BY CONSTRUCTION, INSTALL TEMPORARY STABILIZATION MEASURES SUCH AS EROSION CONTROL BLANKETS OR HYDROMULCH W/ TACKIFIERS. COVER STOCKPILES THAT WILL REMAIN COVERED IN WINTER WITH A DURABLE MATERIAL OR PLASTIC SHEETING. THESE MEASURES SHALL BE MAINTAINED FROM COMPLETION OF THE INITIAL GRADING THROUGH COMPLETION OF THE PROJECT.

REVEGETATION + TRPA NOTES:

6. ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARD AND BE CONSISTENT WITH TRPA CODE OF ORDINANCES, SECTION 36.8, EXTERIOR LIGHTING STANDARDS.
7. THIS SITE SHALL BE WINTERIZED IN ACCORDANCE WITH THE PROVISIONS OF ATTACHMENT R BY OCTOBER 15TH OF EACH CONSTRUCTION SEASON. ALL DISTURBED AREAS SHALL BE STABILIZED WITH A 3-INCH LAYER OF MULCH OR COVERED WITH AN EROSION CONTROL BLANKET.
8. THE PERMITTEE IS RESPONSIBLE FOR INSURING THAT THE PROJECT, AS BUILT, DOES NOT EXCEED THE APPROVED LAND COVERAGE FIGURES SHOWN ON THIS SITE PLAN. THE APPROVED LAND COVERAGE FIGURES SHALL SUPERCEDE SCALED DRAWINGS WHEN DISCREPANCIES OCCUR.
9. TEMPORARY AND PERMANENT BMPS MAY BE FIELD FIT BY THE ENVIRONMENTAL COMPLIANCE INSPECTOR WHERE APPROPRIATE.
10. PROVIDE A 3" LAYER OF CRUSHED 3/4" DRAINROCK BENEATH ALL RAISED BEDS.

GRADING QUANTITIES:
CUT: 55 C.Y.
FILL: 25 C.Y.



PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"

1 / A1.0

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

PLANNING SET

Owner : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Zoning: RI
Existing Use: Residence 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

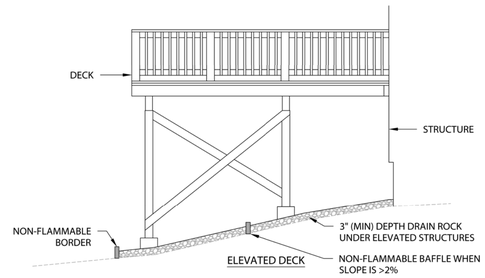
form+one
DESIGN ■ PLANNING

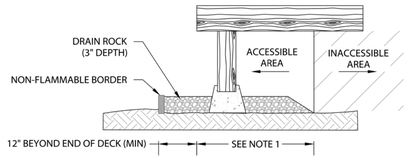
Title : Proposed Site Plan
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RASUBENI
Date : 12.08.22

A1.0

Sheet
Scale:

AGENDA ITEM NO. V. A.





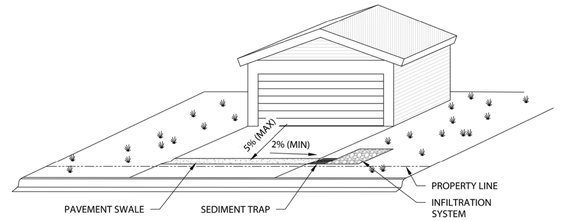
LOW DECK

NOTES:
1. FOR THE RETROFIT OF EXISTING DECKS, DRAIN ROCK SHOULD BE INSTALLED AS FAR BACK UNDER THE LOW ELEVATED STRUCTURE AS POSSIBLE. DISTANCE DEPENDS ON ACCESSIBILITY UNDER THE STRUCTURE.
2. USE WASHED, CLEAN 3/4" TO 1-1/2" DRAIN ROCK. NATIVE ROCK MAY BE SUBSTITUTED IF AVAILABLE.
3. FOLLOW FIRE DEFENSIBLE SPACE GUIDELINES. SEE "LIVING WITH FIRE" AT WWW.LIVINGWITHFIRE.INFO.

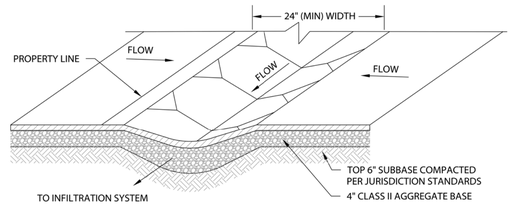
Rock Armor - Elevated Structure

TAHOE REGIONAL PLANNING AGENCY

BMP-211
November 2012



PAVEMENT SWALE

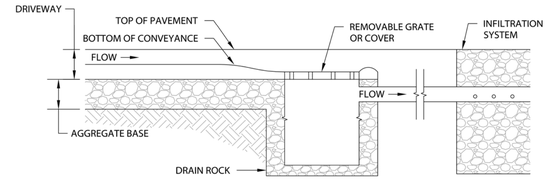


TYPICAL SECTION

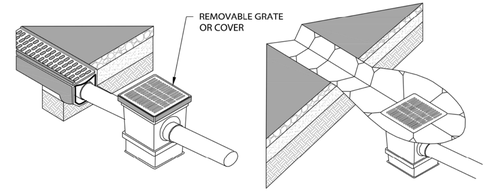
Pavement Swale

TAHOE REGIONAL PLANNING AGENCY

BMP-306
November 2012



CONVEYANCE TO INFILTRATION SYSTEM SECTION



SLOTTED DRAIN CHANNEL

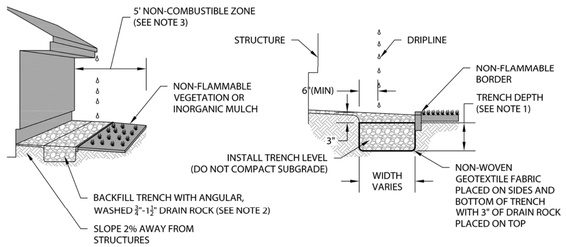
ASPHALT/CONCRETE SWALE

NOTES:
1. DESIGN SUMP TO HAVE ONE CUBIC FOOT OF STORAGE FOR EVERY 100 SQUARE FEET OF IMPERVIOUS AREA DRAINING TO SEDIMENT TRAP.

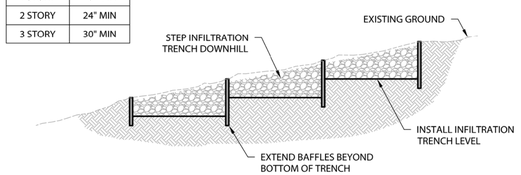
Sediment Trap - Small Scale

TAHOE REGIONAL PLANNING AGENCY

BMP-405
November 2012



TRENCH WIDTHS	
1 STORY	18" MIN
2 STORY	24" MIN
3 STORY	30" MIN



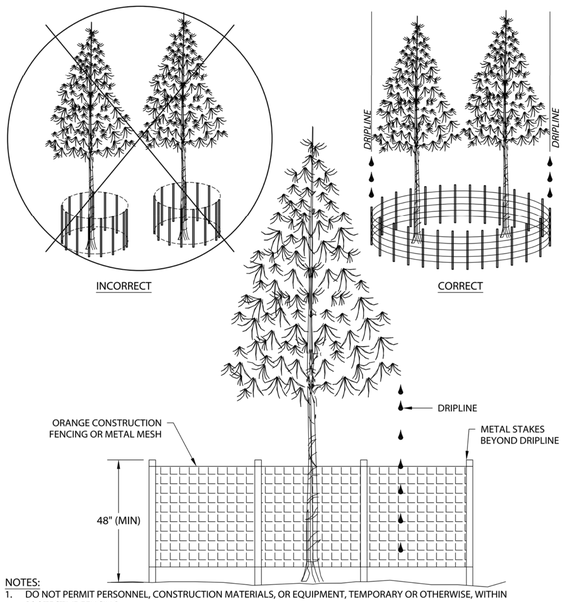
STEP INFILTRATION TRENCH DOWNHILL
(ON A SLOPE 5% OR GREATER)

NOTES:
1. LENGTH, WIDTH, AND DEPTH OF INFILTRATION TRENCHES SHALL BE DESIGNED TO STORE THE 20-YEAR 1-HOUR STORM EVENT. THE BMP CALCULATION SPREADSHEET AVAILABLE AT WWW.TAHOEBMP.ORG MAY BE USED TO SIZE INFILTRATION TRENCHES.
2. PROPRIETARY PRODUCTS MAY BE USED TO PROVIDE ADDITIONAL STORAGE CAPACITY RELATIVE TO DRAIN ROCK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
3. FIRE DEFENSIBLE SPACE GUIDELINES FOR LAKE TAHOE RECOMMEND A 5' NON-COMBUSTIBLE ZONE AROUND THE BUILDING PERIMETER. SEE "LIVING WITH FIRE" AT WWW.LIVINGWITHFIRE.INFO

Infiltration Trench

TAHOE REGIONAL PLANNING AGENCY

BMP-103
December 2012

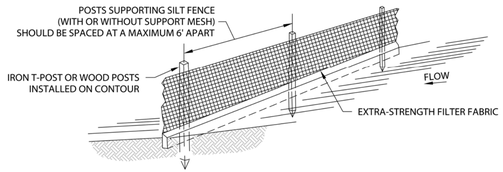


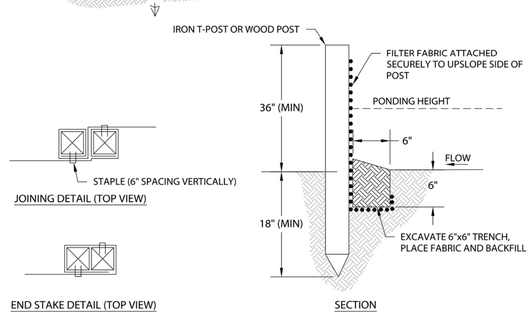
NOTES:
1. DO NOT PERMIT PERSONNEL, CONSTRUCTION MATERIALS, OR EQUIPMENT, TEMPORARY OR OTHERWISE, WITHIN PROTECTIVE FENCING.
2. VEGETATION PROTECTION IS REQUIRED FOR ALL PROJECTS AS A CONDITION OF PROJECT APPROVAL.
3. METAL OR WIRE MESH FENCING MAY BE REQUIRED.
4. CALCULATE THE PROTECTIVE PERIMETER FOR SHIELDING LARGER SPECIMEN TREES MEASURING OVER 30" DBH AS FOLLOWS: COMPUTE THE PROTECTIVE RADIUS BY ADDING ONE FOOT, AS MEASURED OUT FROM THE TREE BOLE, FOR EVERY INCH IN DBH. (E.G. A TREE WITH A 30" DBH WOULD RECEIVE A 30' PROTECTIVE PERIMETER)

Vegetation Protection

TAHOE REGIONAL PLANNING AGENCY

BMP-507
November 2012





NOTES:
1. USED IN AREAS WHERE SHEET FLOW OCCURS.
2. DO NOT USE IN STREAMS, CHANNELS, OR ANYWHERE FLOW IS CONCENTRATED. DO NOT USE SILT FENCES TO DIVERT FLOW.
3. DO NOT USE BELOW SLOPES SUBJECT TO CREEP, SLUMPING, OR LANDSLIDES.
4. SILT FENCE SHOULD BE WOVEN POLYPROPYLENE WITH A MINIMUM WIDTH OF 36 INCHES AND A MINIMUM TENSILE STRENGTH OF 100 LB FORCE.
5. INSTALL ALONG A LEVEL CONTOUR SO WATER DOES NOT POND MORE THAT 1.5 FEET AT ANY POINT ALONG THE SILT FENCE.
6. THE MAXIMUM LENGTH OF SLOPE DRAINING TO ANY POINT ALONG THE SILT FENCE SHOULD BE 200 FEET OR LESS.
7. THE MAXIMUM SLOPE PERPENDICULAR TO THE FENCE LINE SHOULD BE 1:1.
8. PROVIDE SUFFICIENT ROOM FOR RUNOFF TO POND BEHIND THE FENCE AND TO ALLOW SEDIMENT REMOVAL EQUIPMENT TO PASS BETWEEN THE SILT FENCE AND TOES OF SLOPES OR OTHER OBSTRUCTIONS.
9. TURN THE ENDS OF THE FILTER FENCE UPHILL TO CREATE A "J" SHAPE, TO PREVENT STORMWATER FROM FLOWING AROUND THE FENCE.
10. LEAVE AN UNDISTURBED OR STABILIZED AREA IMMEDIATELY DOWN SLOPE FROM THE FENCE WHERE FEASIBLE.
11. SILT FENCES SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
12. REMOVE SEDIMENT WHEN DEPOSITS REACH APPROXIMATELY 1/3 HEIGHT OF BARRIER.

Silt Fence

TAHOE REGIONAL PLANNING AGENCY

BMP-513
November 2012

Revisions

Rev. :	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

BUILDING SET
PLANNING SET

Owner : MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
Lot SIZE: 0.28 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : BMP DETAILS
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Drawn : TIM RADUENZ | Date : 10.10.22
Job No. : 22_42

BMP

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

LAKE TAHOE STANDARD DRAWING

(RESIDENTIAL USE ONLY)

BEST MANAGEMENT PRACTICE

INFILTRATION SYSTEM COMPONENTS

STANDARD DRAWING NO.

BMP-006

DATE: 4-6-2012

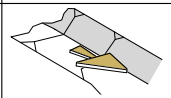
STANDARD DRAWING REFERENCES:

NOTES:

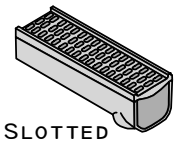
1. THIS DRAWING ILLUSTRATES THE VARIOUS COMPONENTS AND ALTERNATIVE PRODUCTS AVAILABLE TO DESIGN INFILTRATION SYSTEMS. THE NATURAL RESOURCES CONSERVATION SERVICE AND THE CONSERVATION DISTRICTS DO NOT ENDORSE ANY PARTICULAR BMP PRODUCTS.
2. REFER TO BMP "SITE EVALUATION RECOMMENDED TREATMENTS" FORM AND BMP SITE PLAN FOR FOR THE APPLICABLE BMPS DESIGNED FOR THE PROPERTY.
3. INSTALL CLEAN OUTS AS NECESSARY FOR SUBSURFACE CONVEYANCE SYSTEMS. REFER TO DETAILS IN BMP-005, "SUBSURFACE CONVEYANCE SYSTEM."
4. USE PRODUCTS SHOWN (OR EQUAL) IN CONJUNCTION WITH ROOF GUTTER SYSTEMS TO PROVIDE INLETS AND OUTLETS, CLEAN-OUTS, AND JOIN MULTIPLE PIPES AS NECESSARY.

CONVEYANCE

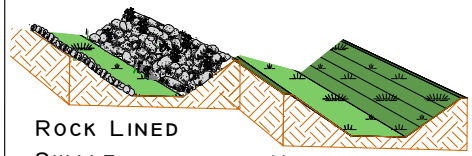
BMP-020, 021, 022, 005, 007



DRIVEWAY CONVEYANCE SWALE

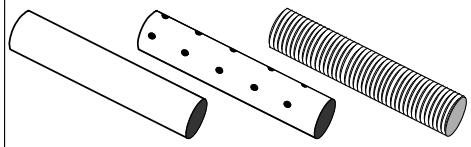


SLOTTED CHANNEL DRAIN

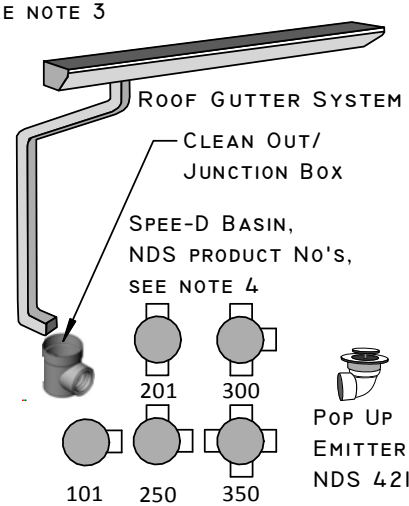


ROCK LINED SWALE

VEGETATED SWALE



SUBSURFACE CONVEYANCE: SOLID AND PERFORATED HDPE SMOOTH WALL RIGID PIPE, & CORRUGATED FLEXIBLE PIPE HDPE, SEE NOTE 3



ROOF GUTTER SYSTEM

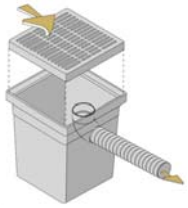
CLEAN OUT/ JUNCTION BOX

SPEE-D BASIN, NDS PRODUCT NO'S, SEE NOTE 4

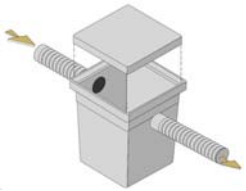
POP UP EMITTER NDS 421

FILTRATION

BMP-030

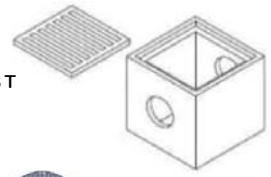


SEDIMENT TRAP - TOP INLET



SEDIMENT TRAP - SIDE INLET

SEDIMENT TRAP ALTERNATIVES:



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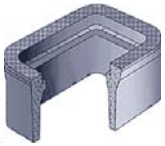

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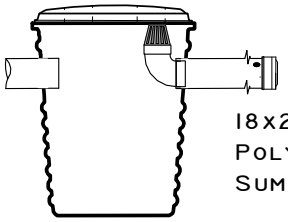
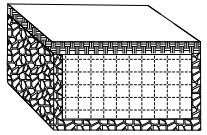


18X24 POLYETHYLENE SUMP

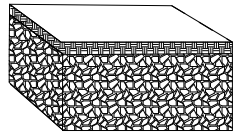
INFILTRATION

BMP-007



PREFABRICATED INFILTRATION SYSTEM

DRAIN ROCK INFILTRATION SYSTEM



PREFABRICATED SYSTEM PRODUCT ALTERNATIVES:

INVISIBLE STRUCTURES RAINSTORE®

CULTEC STORMCHAMBER®

D-RAINTANK®

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
TAHOE RESOURCE CONSERVATION DISTRICT, AND
NEVADA TAHOE CONSERVATION DISTRICT

DRAWN BY:	APPROVED BY:	DATE
CLT		

THIS STANDARD DRAWING IS BASED ON A REFERENCE TO THE NRCS STANDARD PRACTICE 570-STORMWATER RUNOFF CONTROL, 560-ACCESS ROAD, AND 558-ROOF RUNOFF STRUCTURE. THIS DRAWING IS INTENDED TO ASSIST THE DESIGNER IN PREPARATION OF A COMPLETE SITE SPECIFIC DESIGN, AND IT IS NOT TO REPLACE THE INDEPENDENT JUDGMENT AND ANALYSIS BY A QUALIFIED DESIGNER. INFILTRATION SYSTEM SIZING IS CALCULATED BASED ON THE HYDRAULIC CONDUCTIVITY OF THE SOILS ON SITE AND VOLUME OF RUNOFF BEING CAPTURED.

LAKE TAHOE STANDARD DRAWING

(RESIDENTIAL USE ONLY)

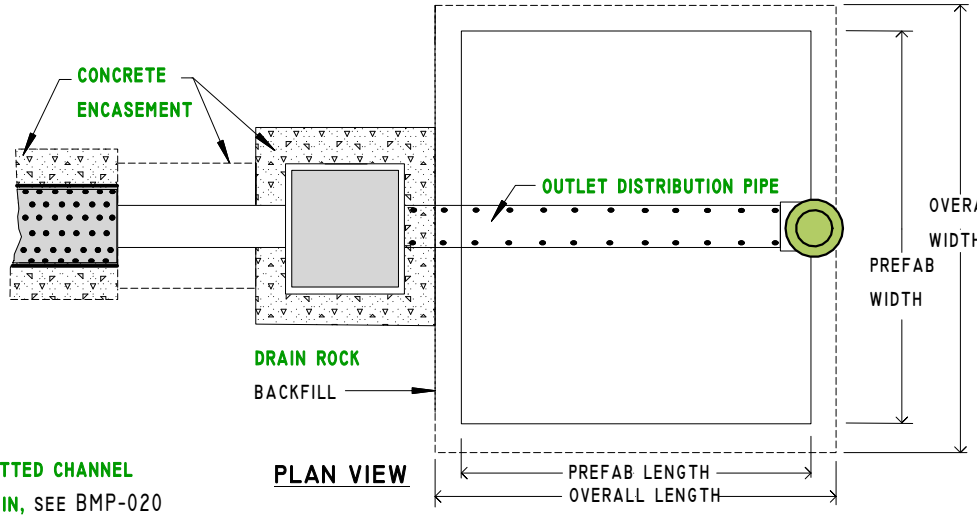
BEST MANAGEMENT PRACTICE

INFILTRATION SYSTEM

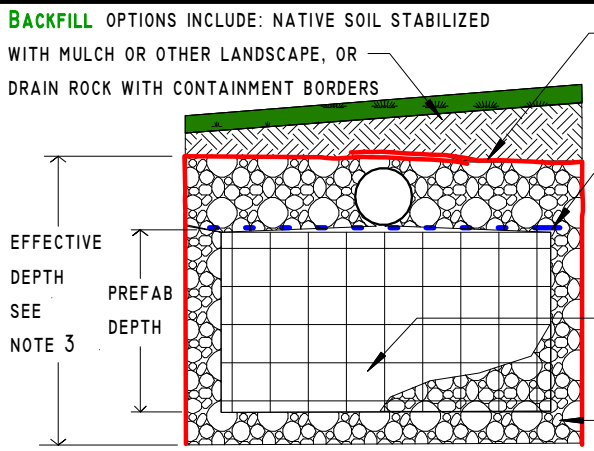
STANDARD DRAWING NO.

BMP-007

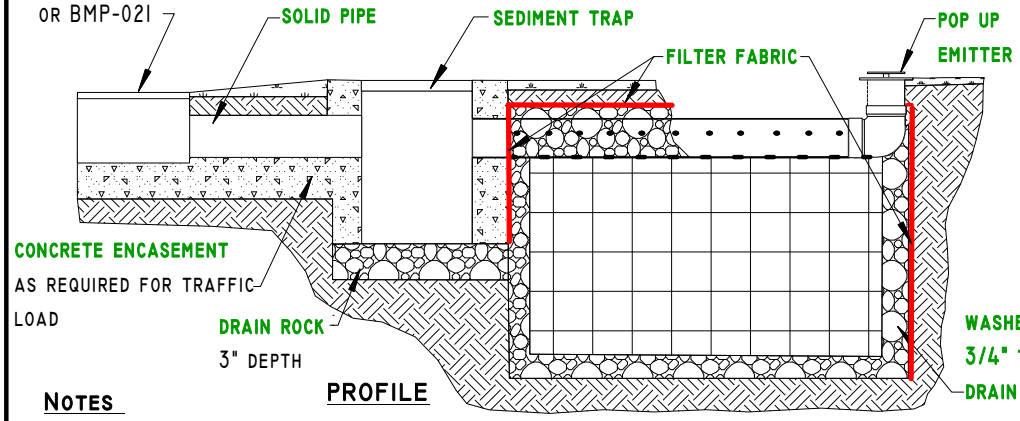
DATE: 4-6-2012



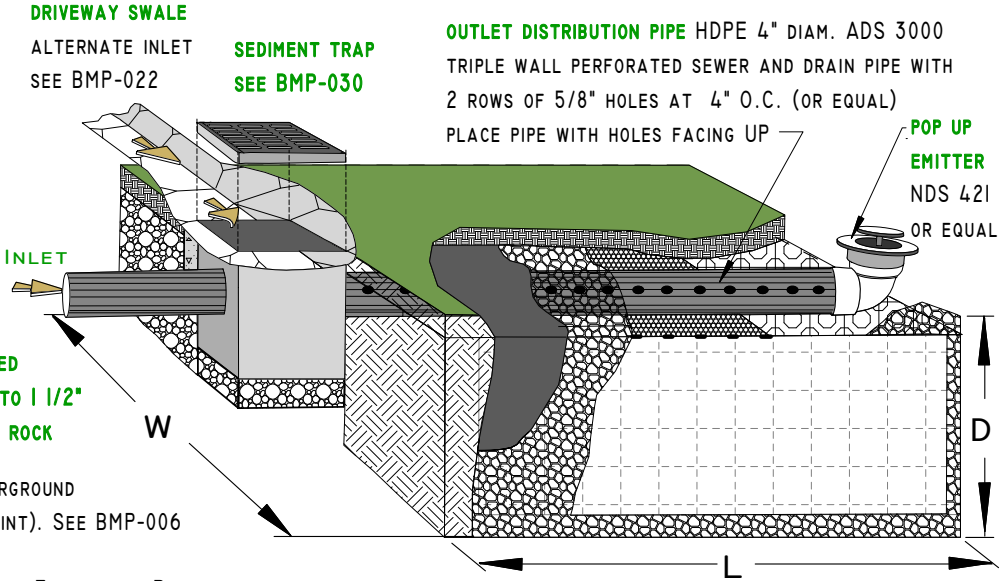
PLAN VIEW



END VIEW



PROFILE



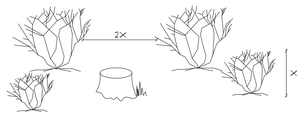
NOTES

1. INFILTRATION SYSTEM PRACTICE APPLIES WHERE CONCENTRATED STORMWATER RUNOFF IS INFILTRATED UNDERGROUND (E.G. AT THE END OF A PIPE, DRIVEWAY CONVEYANCE SWALE OR SLOTTED CHANNEL DRAIN, OR AT A LOW POINT). SEE BMP-006 FOR OTHER INFILTRATION SYSTEM COMPONENTS AND ALTERNATIVE MATERIALS THAT MAY APPLY.
2. FOR SITE SPECIFIC TRENCH DIMENSIONS (L, W AND D) AND BACKFILL REQUIREMENTS, REFER TO THE BMP "SITE EVALUATION RECOMMENDED TREATMENTS" FORM OR OTHER APPROVED BMP SIZING CALCULATIONS. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION AND REFER TO THE NRCS "INSTALLING INFILTRATION SYSTEMS" TIP SHEET. ALLOW FOR 3" DRAIN ROCK ENVELOPE ON ALL SIDES OF PREFAB. UNITS.
3. BOTTOM OF TRENCH MUST BE LEVEL. ON SLOPED SITES, EFFECTIVE DEPTH IS MEASURED ON THE DOWNHILL SIDE OF THE TRENCH.
4. *REGULARLY SCHEDULED MAINTENANCE IS NECESSARY TO MAINTAIN FULL FUNCTION. INSPECT IN SPRING, FALL AND AFTER HEAVY RAINS. REMOVE AND DISPOSE OF DEBRIS, PINE NEEDLES AND ACCUMULATED SEDIMENT PROPERLY. REMOVE POP-UP EMITTER COVER AND BACKFLUSH PERFORATED OUTLET PIPE IF NEEDED.*

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
TAHOE RESOURCE CONSERVATION DISTRICT, AND
NEVADA TAHOE CONSERVATION DISTRICT

DRAWN BY:	APPROVED BY:	DATE
CLT		

THIS STANDARD DRAWING IS BASED ON A REFERENCE TO THE NRCS STANDARD PRACTICE 570 - STORMWATER RUNOFF CONTROL.
USERS OF THESE DRAWINGS AND ASSOCIATED INFORMATION MUST BE QUALIFIED PERSONNEL TRAINED TO INTERPRET AND ADAPT TECHNOLOGY TO SITE AND LOCAL CONDITIONS.
INFILTRATION SYSTEM SIZING IS CALCULATED BASED ON THE HYDRAULIC CONDUCTIVITY OF THE SOILS ON SITE AND VOLUME OF RUNOFF BEING CAPTURED.
USDA IS AN EQUAL OPPORTUNITY PROVIDER AND EMPLOYER



SEPARATION BETWEEN TREES & SHRUBS — 2 / A1.0
NTS

SAGEBRUSH, MANZANITA, HUCKLEBERRY OAK, AND OTHER SHRUBS:
ON FLAT TO GENTLY SLOPING TERRAIN, INDIVIDUAL SHRUBS OR SMALL CLUMPS OF SHRUBS WITHIN THE DEFENSIBLE SPACE ZONE SHOULD BE SEPARATED FROM ONE ANOTHER BY AT LEAST TWICE THE HEIGHT OF THE AVERAGE SHRUB. FOR HOMES LOCATED ON STEEPER SLOPES, THE SEPARATION DISTANCE SHOULD BE GREATER.

FOR EXAMPLE, IF THE TYPICAL SHRUB HEIGHT IS 2 FEET, THEN THERE SHOULD BE A SEPARATION BETWEEN SHRUB BRANCHES OF AT LEAST 4 FEET. REMOVE SHRUBS OR PRUNE TO REDUCE THEIR HEIGHT AND/OR DIAMETER.

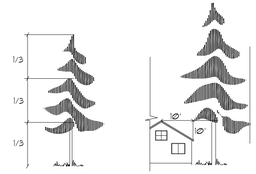
NOTE*: IF THERE IS A NEED TO REMOVE ADDITIONAL TREES NOT INDICATED ON THIS PLAN THE PROPERTY OWNER IS TO CONTACT THEIR LOCAL FIRE AGENCY. ANY AND ALL TREES BETWEEN THE LAKE AND THE BUILDING(S) OR STRUCTURE(S) TO BE REMOVED SHALL BE REVIEWED BY TRPA FOR SCENIC IMPACTS.

FOR SLOPED PROPERTIES, USE THE FOLLOWING STANDARDS FOR THE ABOVE REQUIREMENTS:

TREES	SLOPE	SPACING
	0 - 20%	10 FEET BETWEEN EDGES OF CROWNS
	20 - 40%	20 FEET BETWEEN EDGES OF CROWNS
	40% - UP	30 FEET BETWEEN EDGES OF CROWNS
BRUSH	**SLOPE**	**SPACING**
	0 - 20%	2X HEIGHT OF RESIDUAL BRUSH
	20 - 40%	4X HEIGHT OF RESIDUAL BRUSH
	40% - UP	6X HEIGHT OF RESIDUAL BRUSH

FOREST TREES — 3 / A1.0
NTS

ON FLAT OR GENTLY SLOPING TERRAIN, TREES SHOULD BE THINNED TO PROVIDE AN AVERAGE SEPARATION BETWEEN THE CANOPIES OF AT LEAST 10 FEET (TRPA). FOR HOMES LOCATED ON STEEPER SLOPES, THE SEPARATION DISTANCE SHOULD BE GREATER. STUMPS SHOULD BE CUT FLUSH TO THE GROUND FOR TREES LESS THAN 6 INCHES IN DIAMETER AT CHEST HEIGHT, AND TO WITHIN 6 INCHES OF THE GROUND FOR LARGER TREES. THE STUMPS CUT SURFACE SHOULD BE COATED WITH POWDERED BORAX TO RETARD THE SPREAD OF ROOT DISEASES. WHEN SELECTING TREES FOR REMOVAL, CONSIDER CUTTING UNHEALTHY, DAMAGED, OR WEAK TREES. RETAIN LESS COMMON SPECIES OF TREES, SUCH AS INCENSE CEDAR, SUGAR PINE, AND WESTERN JUNIPER IF POSSIBLE.



GUIDELINES FOR TRIMMING TREES — 4 / A1.0
NTS

ALL RESIDUAL TREES WILL BE LIMBED TO A HEIGHT OF 10'-0" FROM GROUND, NOT TO EXCEED 1/3 OF THE TOTAL TREE HEIGHT.

ALL RESIDUAL TREES WILL BE LIMBED TO ACHIEVE (10) FEET OF CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF THIS WOULD REQUIRE REMOVAL OF THE CROWN EXCEEDING THE LOWER 1/3 OF THE TREE, THEN THE ENTIRE SHEET SHOULD BE REMOVED.

TRIM ALL LOW HANGING LIMBS SO THAT NONE ARE LOWER THAN 10'-0" OF THE GROUND.

SEPARATION BETWEEN TREE BRANCHES & LOWER GROWING PLANT:
IF TREES ARE PRESENT WITHIN THE DEFENSIBLE SPACE ZONE, THERE SHOULD BE A REPARATION BETWEEN THE LOWER GROWING VEGETATION AND THE LOWEST TREE BRANCHES. VEGETATION THAT CAN CARRY FIRE BURNING IN LOW GROWING PLANTS TO TALLER PLANTS IS CALLED "LADDER FUEL." FOR LARGE TREES, THE RECOMMENDED SEPARATION FOR LADDER FUELS IS THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER. PRUNE BRANCHES FROM LOWER THIRD OF THE TREE HEIGHT, SHORTEN THE HEIGHT OF THE SHRUBS, OR REMOVE PLANTS. DO NOT REMOVE MORE THAN ONE-THIRD OF THE TOTAL TREE BRANCHES. WHEN THERE IS NO UNDERSTORY VEGETATION PRESENT, REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST FIVE FEET ABOVE GROUND. DURING FIRE, THIS WILL HELP PREVENT BURNING NEEDLES AND TWIGS THAT ARE LYING ON THE GROUND FROM IGNITING THE TREE. FOR SHORTER TREES, WHERE THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER EXTENDS BEYOND THE LOWER THIRD OF THE TREE HEIGHT, SHORTEN THE HEIGHT OF THE SHRUBS OR REMOVE PLANTS BELOW THE TREE.

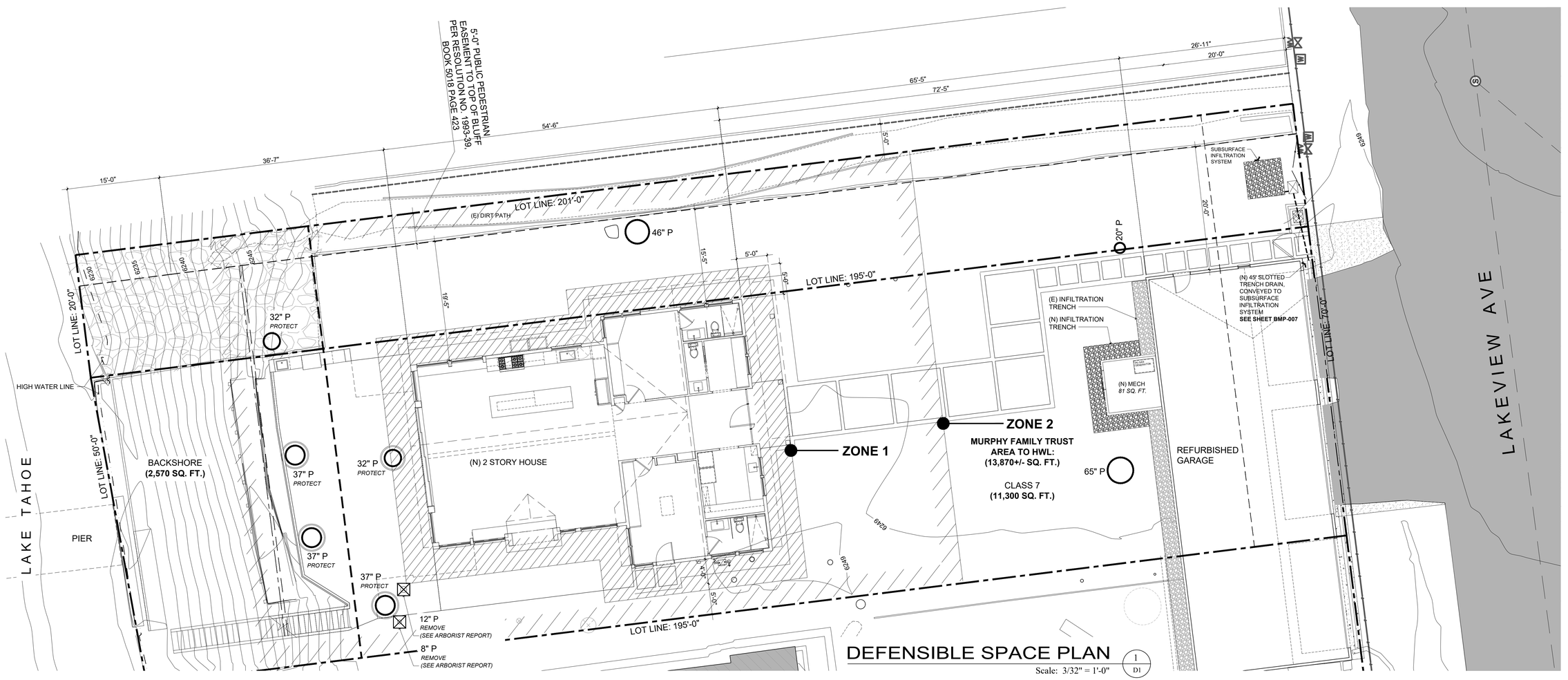
NOTE: SEE PRUNING AND PROTECTION NOTES FROM ARBORIST.

TRPA REVEGETATION NOTES:
1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA "HANDBOOK OF BEST MANAGEMENT PRACTICES" AND "LIVING WITH FIRE", LAKE TAHOE BASIN, SECOND EDITION.
2. FERTILIZER USE SHALL BE IN ACCORDANCE WITH THE FERTILIZER MANAGEMENT STANDARDS IN TRPA CODE 60.1.8.
3. ALL VEGETATION SHALL BE CONSISTENT WITH THE REQUIREMENTS OF THE TRPA CODE OF ORDINANCES, INCLUDING THE SPECIFICATION FOR SIZING AND SPECIES TYPE. PLANT SPECIES ON THE TRPA RECOMMENDED NATIVE AND ADAPTED PLANT LIST SHALL BE USED FOR LANDSCAPING AND REVEGETATION PER TRPA CODE OF ORDINANCES.
4. REMOVAL OF TREES 14" DIAMETER AT CHEST HEIGHT OR GREATER REQUIRE TRPA APPROVAL. REMOVAL OF TREES GREATER THAN 6" DBH ON LAKEFRONT PARCELS THAT ARE BETWEEN A STRUCTURE AND THE LAKE REQUIRE TRPA APPROVAL. ANY TREES THAT ARE REQUIRED TO BE PLANTED OR RETAINED AS PART OF A PERMIT, OR THAT ARE LOCATED IN A STREAM ENVIRONMENT ZONE OR BACKSHORE AREA, CANNOT BE REMOVED WITHOUT TRPA APPROVAL.
5. TREE ROOTS MUST BE PROTECTED DURING EXCAVATION TO PREVENT DAMAGE TO THE TREE. THE FOLLOWING PRACTICES ARE RECOMMENDED:
   A. TREE ROOTS FOUR INCHES IN DIAMETER OR GREATER SHALL NOT BE SEVERED, IF AVOIDABLE. HAND DIG AROUND ROOTS IF NECESSARY.
   B. IF ROOTS CANNOT BE AVOIDED, CUT AS FAR AWAY FROM THE TRUNK AS POSSIBLE.
   C. A CLEAN, VERTICAL CUT WILL PROVIDE MORE PROTECTION FOR THE TREE THAN LEAVING ROOTS TORN OR CRUSHED.
   D. CONSTRUCTION MATERIALS SHALL NOT BE STORED WITHIN THE DRIPLINE OF THE TREE.
6. THE TREES ON THIS PARCEL SHALL BE CONSIDERED AS SCENIC MITIGATION AND SHALL NOT BE REMOVED OR TRIMMED FOR PURPOSES OF VIEW ENHANCEMENT. ANY SUCH REMOVAL OR TRIMMING SHALL CONSTITUTE A VIOLATION OF PROJECT APPROVAL.
7. REMOVAL OF ANY ADDITIONAL TREES ON THE LAKESIDE OF THE PROPERTY MAY TRIGGER THE REQUIREMENT FOR A REVISED SCENIC ANALYSIS.

ZONE 1: 0' - 5' NONCOMBUSTIBLE AREA:
CREATE A NONCOMBUSTIBLE AREA AT LEAST 5 FEET WIDE AROUND THE BASE OF THE STRUCTURE (INCLUDING ALL DECKS). THIS AREA NEEDS TO HAVE A VERY LOW POTENTIAL FOR IGNITION FROM FLYING EMBERS. USE IRRIGATED HERBACEOUS PLANTS SUCH AS LAWN, GROUND COVER, AND FLOWERS THAT ARE RECOMMENDED FOR THE LAKE TAHOE BASIN; ROCK MULCHES; OR HARD SURFACES, SUCH AS BRICK AND PAVERS, IN THIS AREA.
1. THE AREA WITHIN 0' - 5' OF THE FOUNDATION OR SUPPORT POSTS SHOULD CONTAIN NO COMBUSTIBLE MATERIALS, INCLUDING COMBUSTIBLE PLANT MATERIAL. A 3" GRAVEL MOAT IS THE PREFERRED MATERIAL OF USE. DRIP LINES MAY BE INCORPORATED INTO THIS AREA.
2. REMOVE ALL PINE NEEDLES AND FOREST DUFF WITHIN THIS AREA.

ZONE 2: 5' - 30' LEAN, CLEAN AND GREEN AREA:
FOR A DISTANCE OF 5 FEET TO 30 FEET FROM THE STRUCTURE, THERE SHOULD BE A LEAN, CLEAN, AND GREEN AREA. "LEAN" INDICATES THAT ONLY A SMALL AMOUNT OF FLAMMABLE VEGETATION, IF ANY, IS PRESENT WITHIN 30 FEET OF THE STRUCTURE. "CLEAN" MEANS THERE IS LITTLE OR NO ACCUMULATION OF DEAD VEGETATION OR FLAMMABLE DEBRIS WITHIN THE AREA DURING FIRE SEASON. "GREEN" IMPLIES THAT PLANTS LOCATED WITHIN THIS AREA ARE KEPT HEALTHY, GREEN AND IRRIGATED DURING FIRE SEASON.
1. TRIM ALL TREES OVER 20 FEET A MINIMUM OF 10 FEET ABOVE ADJACENT GRADE.
2. REMOVE ANY TREE 14 INCHES DIAMETER OR LESS (AS INDICATED ON DRAWINGS) TO CREATE A 10 FOOT SPACE BETWEEN ANY ADJACENT TREE CANOPY. REFER TO DETAIL 2.
3. REMOVE ACCUMULATION OF DEAD VEGETATION FROM TREES (FLAMMABLE DEBRIS, DEAD BRANCHES AND LIMBS) 10 FEET ABOVE ADJACENT GRADE.
4. WITHIN 5' - 30' OF THE STRUCTURE ONLY SINGLE SPECIMENS OF WELL MAINTAINED AND WELL IRRIGATED SHRUBS OR TREES SHOULD BE PRESENT. SUCH MATERIALS SHOULD NOT BE CAPABLE OF READILY TRANSMITTING FIRE TO THE STRUCTURE. COMBUSTIBLE MULCHES OR PINE NEEDLES SHOULD NOT BE USED AS GROUND COVER WITHIN THIS ZONE.
5. ALL BRUSH, TREES OR FLAMMABLE MATERIAL WILL BE REMOVED FROM UNDER THE DRIP LINE OF RESIDENTIAL TREES OF THE TREE GROUP.
6. REMOVE ALL PINE NEEDLES AND FOREST DUFF WITHIN THIS AREA.

ZONE 3: 30' - 100' WILDLAND FUEL REDUCTION AREA:
THE WILDLAND FUEL REDUCTION AREA LIES BEYOND THE LEAN, GREEN AREA AND OFTEN CONSISTS OF NATURALLY OCCURRING PLANTS (PINE TREES, MANZANITA, SAGEBRUSH, ETC.) WITHIN THIS AREA. REMOVE DEAD VEGETATION, INCLUDING DEAD SHRUBS, DRIED GRASS, FALLEN BRANCHES, THICK ACCUMULATION OF NEEDLES AND LEAVES ETC. THIN, DENSE STANDS OF SHRUBS AND TREES TO CREATE A SEPARATION BETWEEN THEM. REMOVING TREES MORE THAN 14" IN DIAMETER REQUIRES A PERMIT FROM THE TAHOE REGIONAL PLANNING AGENCY (TRPA) OR YOUR LOCAL FIRE PROFESSIONAL.
1. TREE CANOPIES WILL BE SPACED AT LEAST 10 FEET APART. IF TREES ARE GROUPED CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT, THEN ALL OTHER REQUIREMENTS MUST BE MET. REFER TO DETAIL 2.
2. BEYOND 30 FEET FROM THE STRUCTURE, BRUSH FIELDS MUST BE SPACED TO A DISTANCE EQUAL OR GREATER THAN (2) TIMES THE HEIGHT OF THE BRUSH. INDIVIDUAL BRUSH PLANTS WILL NOT EXCEED 100 SQUARE FEET. REFER TO DETAIL 1.
3. PINE NEEDLES ARE ACCEPTABLE WITHIN ZONE 3 AS LONG AS THEY ARE NO THICKER THAN 2 OR 3 INCHES.



DEFENSIBLE SPACE PLAN — 1 / D1
Scale: 3/32" = 1'-0"

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

PLANNING SET

Owner :
MURPHY RESIDENCE
TIM RASUBENI
SOUTH LAKE TAHOE, CA 96150

Zoning: RI
Existing Home Built: 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Defensible Space Plan
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RASUBENI
Date : 12.08.22

D1

Sheet
Scale:

AGENDA ITEM NO. V. A.

VERIFIED COVERAGE PER TRPA FILE# 960679; 950108 + 11/27/95 LETTER

LAND CLASS	1b/BACKSHORE 1%	CLASS 7 30%	TOTAL
LAND AREA	1,995	11,928	13,923
ALLOWABLE COVERAGE	20	3,578	3,598
HOUSE		969	969
GARAGE		1,145	1,145
CONCRETE WALKS		520	520
DECK, PORCH + STAIRS	235	1,459	1,694
COMPACTED DIRT DRIVE		110	110
TOTAL VERIFIED COVERAGE	**235**	**4,203**	**4,438**
EXCESS COVERAGE	215	625	840
EXISTING OFF-SITE COVERAGE			
COMPACTED DIRT DRIVE		696	696

PROPOSED COVERAGE

LAND CLASS	1b/BACKSHORE 1%	CLASS 7 30%	TOTAL
LAND AREA	2,570	11,300	13,870
ALLOWABLE COVERAGE	26	3,390	3,416
RESIDENCE	0	1,887	1,887
STOOP	0	62	62
EXISTING GARAGE	0	1,160	1,160
ASPHALT	0	46	46
PERVIOUS PAVER WALKWAY	0	550	550
PERVIOUS PAVER FIREPLACE TERRACE	0	297	297
PERVIOUS DECK	404	571	975
STAIRS	80	0	80
MECHANICAL PAD	0	81	81
PROPOSED COVERAGE	**484**	**4,654**	**5,138**
COVERAGE EXEMPTIONS		*777*	*777*
PROPOSED COVERAGE W/ EXEMPTIONS	***484***	***3,877***	***4,361***

PERVIOUS COVERAGE EXEMPTIONS

PERVIOUS DECK	0	565	565
PERVIOUS PAVER WALKWAY	0	138	138
PERVIOUS PAVER FIREPLACE TERRACE	0	74	74
TOTAL COVERAGE EXEMPTIONS	0	777	777

PERVIOUS DECK CALCULATIONS

PROPOSED PERVIOUS DECK	0	571	571
MAX. PERVIOUS DECK EXEMPTION	0	565	565
PROPOSED DECK COVERAGE	0	6	6
** 5% OF NON-SENSITIVE LANDS*			

PROPOSED OFF-SITE COVERAGE

ASPHALT	0	595	595
COMPACTED DIRT PARKING	0	147	147
TOTAL OFF-SITE COVERAGE	0	742	742

LOT INFO.

APN = 026-021-011
LOT SIZE: 13,370 SQ. FT.
LAND CAPABILITY CLASS: 7 + BACKSHORE

HARDSCAPE COVERAGE

DECK, TERRACE + WALKWAY

A	888 SQ. FT.
B	297 SQ. FT.
C	39 SQ. FT.
D	48 SQ. FT.
E	80 SQ. FT.
F	18 SQ. FT.
G1	64 SQ. FT.
G2	64 SQ. FT.
G3	64 SQ. FT.
G4	64 SQ. FT.
G5	64 SQ. FT.
G6	40 SQ. FT.
G7	64 SQ. FT.
G8	108 SQ. FT.
H	81 SQ. FT.
I1	19 SQ. FT.
I2	20 SQ. FT.
+ J	7 SQ. FT.
	2,029 SQ.FT.

2,029 SQ.FT. / 13,923 SQ.FT. (LOT SIZE) = ***14.57%***

= HARDSCAPE COVERAGE

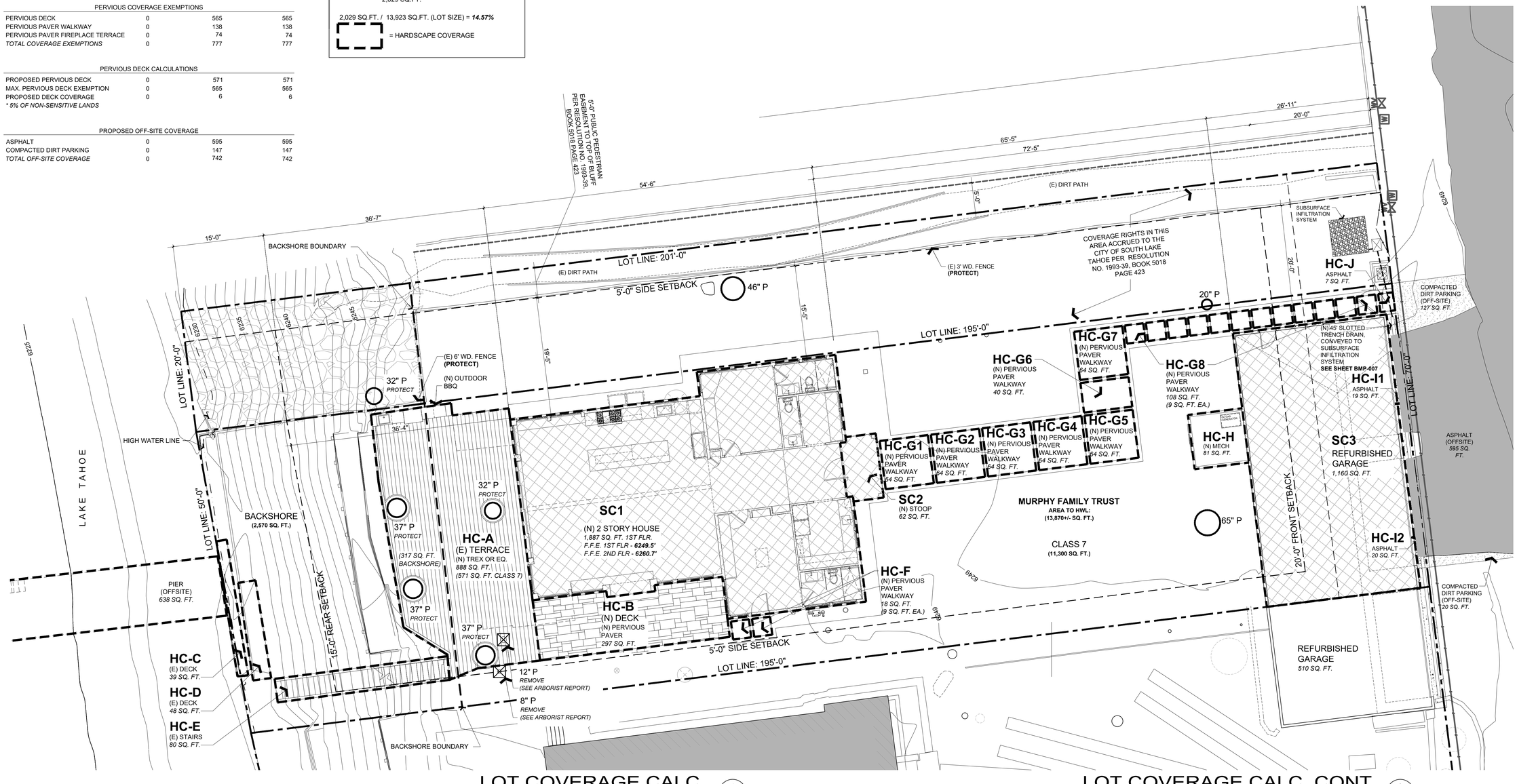
STRUCTURAL COVERAGE

RESIDENCE + GARAGE

SC1	1,887 SQ. FT.
SC2	62 SQ. FT.
SC3	1,160 SQ. FT.
TOTAL	3,109 SQ. FT.

3,109 SQ.FT. / 13,923 SQ.FT. (LOT SIZE) = ***22.33%***

= STRUCTURAL COVERAGE



LOT COVERAGE CALC. (1 LC)
Scale: 1/8" = 1'-0"

LOT COVERAGE CALC. CONT. (2 LC)
Scale: 1/8" = 1'-0"

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

PLANNING SET

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
Lot SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Lot Coverage Calc.
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RADKENS
Date : 12.08.22

LC

Sheet
Scale:

AGENDA ITEM NO. V. A.

RELATED CODE REQUIREMENTS: (EGRESS + WINDOWS + DRS.)

1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
4. MAX. U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS ***2019*** CEC 150.0 (Q)
5. MAX. TOTAL AREA, 20%, NO MAXIMUM FOR WEST FACING AREA TABLE 150.1-A, & B
6. FENESTRATION MAX. U-FACTOR 0.30. NO SHGC REQUIREMENT TABLE 150.1-A, & B
7. DOOR MAX. U-FACTOR: 0.20 TABLE 150.1A, & B

2019 CODE REQUIREMENTS: (PLUMBING)

1. REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT HTTP://LEGINFO.CA.GOV/PUB/09-10/BILL/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED.HTML.
2. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1,FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE EXCESS OF ***1.6 GPF*** WILL NEED TO BE REPLACED WITH W.C. W/ A MAX. FLOW RATE OF ***1.28 GPF***. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAX. ***1.8 GPM*** SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN ***1.5 GPM*** WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

PLUMBING:
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANIT-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE. THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE,
MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE ¼" PER FOOT TO WEEP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

BUILDING:
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" ABOVE THE DRAIN INLET WITH MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER AND IS NOT ALLOWED ON CEILINGS.
CEMENT BOARD WITH A MOISTURE BARRIER AND CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, AND AT EACH LEVEL PER THE BUILDING CODE.

RELATED CODE REQUIREMENTS: (BATHS)(CONT.)

ELECTRICAL:
- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3-FEET OF THE OUTSIDE EDGE OF EACH BASIN, THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
- A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
- LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT
SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.
MECHANICAL:
- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED, FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES.
BE INSPECTED UNDER TEST PRIOR TO COVERING.

GENERAL NOTES:

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C.) AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
5. WATER CLOSETS SHALL BE AN ULTRA LOW FLUSH TYPE W/ ***1.28 GALLONS MAX.*** PER FLUSH, PER CPC & GCG 4.303.1.1
6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.
7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
8. SUB- PANEL ELECT., VERIFY LOCATION W/ OWNER.
9. ALL SHOWER HEADS TO HAVE ***1.8 GPM @ 60 PSA*** FLOW MAX. PER ***2019*** CPC SECT. 408.2 & (CGC 4.303.1.2)
10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
11. NA
12. ALL LAVATORY FAUCETS TO HAVE ***1.2 GPM***, + KITCHEN FAUCETS TO HAVE ***1.8 GPM*** FLOW MAX. PER ***2019*** CPC SECT. 403.7, & 403.6 (CGC 4.303.1.4.4)
13. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) ***2019*** CPC 609.10.
14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
16. (E) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
17. (E) ELECTRICAL METER LOCATION ***TO BE MOVED PER PLANS.***
18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWING DRS. PER ***2019*** CRC R311.3
19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4.
20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AND ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION . ***2019*** CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §R506.2.3
21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. ***2019*** CGC §4.505.3
22. FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
23. ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE. ***2019*** CGC 4.503.1
24. PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) ***2019*** CRC R311.3
25. WALLS WITH 2 X 6 AND LARGER FRAMING REQUIRE R-19 INSULATION 150.0(C)2
26. CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO THE WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M AND 5:00 P.M.

REVEGETATION + TRPA NOTES:

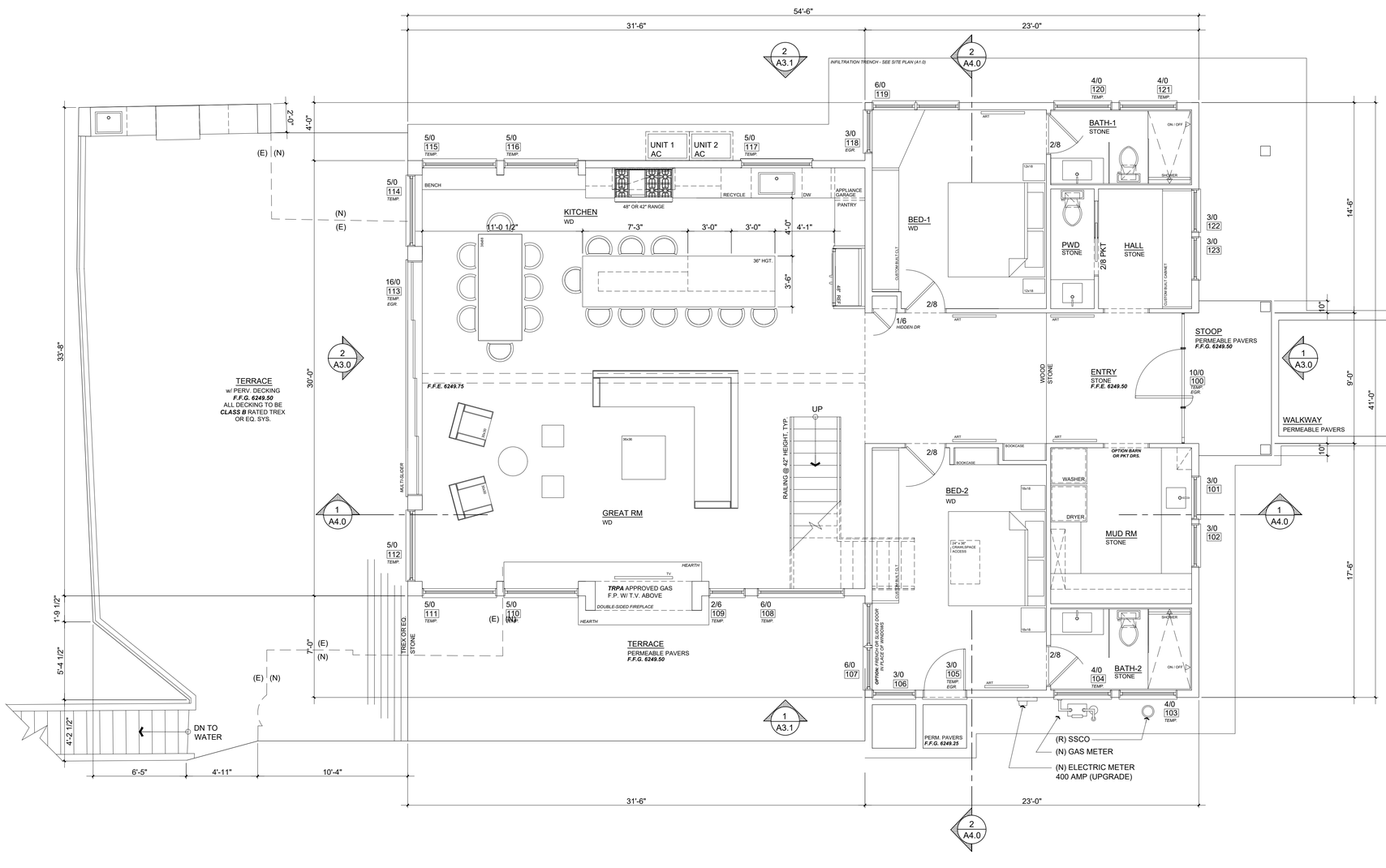
1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA "HANDBOOK OF BEST MANAGEMENT PRACTICES" AND "LIVING WITH FIRE", LAKE TAHOE BASIN, SECOND EDITION.
2. EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE FOUNDATION FOOTPRINT TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE BUILDING FOOTPRINT.
3. CONSTRUCTION PLANS SHALL BE CONFIRMED AT THE TIME OF THE TRPA PRE-GRADING INSPECTION. ANY REQUIRED MODIFICATIONS, AS DETERMINED BY TRPA, SHALL BE INCORPORATED INTO THE PROJECT PERMIT AT THAT TIME.
4. DUST CONTROL MEASURES SHALL BE IN PLACE DURING THE CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 30 FEET OF STRUCTURE.
5. FOR ALL AREAS DISTURBED BY CONSTRUCTION, INSTALL TEMPORARY STABILIZATION MEASURES SUCH AS EROSION CONTROL BLANKETS OR HYDROMULCH W/ TACKIFIERS. COVER STOCKPILES THAT WILL REMAIN COVERED IN WINTER WITH A DURABLE MATERIAL OR PLASTIC SHEETING. THESE MEASURES SHALL BE MAINTAINED FROM COMPLETION OF THE INITIAL GRADING THROUGH COMPLETION OF THE PROJECT.
6. ALL EXTERIOR LIGHTING SHALL BE DIRECTED DOWNWARD AND BE CONSISTENT WITH TRPA CODE OF ORDINANCES, SECTION 36.8, EXTERIOR LIGHTING STANDARDS.
7. THIS SITE SHALL BE WINTERIZED IN ACCORDANCE WITH THE PROVISIONS OF ATTACHMENT R BY OCTOBER 15TH OF EACH CONSTRUCTION SEASON. ALL DISTURBED AREAS SHALL BE STABILIZED WITH A 3-INCH LAYER OF MULCH OR COVERED WITH AN EROSION CONTROL BLANKET.
8. THE PERMITTEE IS RESPONSIBLE FOR INSURING THAT THE PROJECT, AS BUILT, DOES NOT EXCEED THE APPROVED LAND COVERAGE FIGURES SHOWN ON THIS SITE PLAN. THE APPROVED LAND COVERAGE FIGURES SHALL SUPERCEDE SCALED DRAWINGS WHEN DISCREPANCIES OCCUR.
9. TEMPORARY AND PERMANENT BMPS MAY BE FIELD FIT BY THE ENVIRONMENTAL COMPLIANCE INSPECTOR WHERE APPROPRIATE.
10. PROVIDE A 3" LAYER OF CRUSHED 3/4" DRAINROCK BENEATH ALL RAISED BEDS.

POLLUTANT CONTROL NOTES:

1. PAINTS + COATINGS WILL COMPLY WITH VOC LIMITS PER **2019** CGC §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. ***2019*** CGC §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING + PRODUCT REQUIREMENTS FOUND IN THE ***2019*** CALIFORNIA GREEN BUILDING CODE. ***2019*** CGC §4.504.3
4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. ***2019*** CGC §4.504.4
5. HARDWOOD PLYWOOD, PARTICLEBOARD, + MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. ***2019*** CGC §4.504.5
6. AEROSOL PAINTS + COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND COMPLY W/ PERCENT VOC BY WEIGHT OF PRODUCT LIMITS, REGULATION 8, RULE 49. PER ***2019*** CGC 4.504.2.3
7. ADHESIVES, SEALANTS, + CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS ***2019*** CGC §4.504.2.1

INSULATION: (See Title-24 For Min.)

1. ALL EXTERIOR 2X6 WALLS: R-21 BATT INSULATION, ***OR*** MIN. BY TITLE-24
2. ALL EXTERIOR 2X4 WALLS: R-15 BATT INSULATION
OR MIN. BY TITLE-24
3. ALL CEILINGS TO RECEIVE R-32 MIN. INSULATION
OR MIN. BY TITLE-24
4. ALL UNDER FLOOR TO RECEIVE R-19 BAT INSULATION
5. ALL BATHROOMS, LAUNDRY ROOMS, TO RECEIVE SOUND BATT, INSULATION, TYPICAL.
6. CEILING INSULATION, MIN. R-30 INSULATION REQUIRED.
7. ***BUILDING ENVELOPE INSULATION:*** PER CLIMATE ZONE: 3 TABLE 150.1-A, & B
8. ***BUILDING ENVELOPE INSULATION:*** WALLS, ABOVE OR BELOW GRADE, MEET STANDARDS IN TABLE 150.1-A & B
9. QUALITY INSULATION INSTALLATION INSPECTION ***(QII)*** IS REQUIRED BY A THIRD PARTY.



PROPOSED FIRST FLOOR PLAN

SQUARE FOOTAGE 1ST FLR.: **1,887**

Scale: 1/4 = 1'-0"

1 / A2.0

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

PLANNING SET

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Proposed First Floor Plan

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22

Drawn : TIM RAUDENZ

Job No. : 22_42

A2.0

Sheet

Scale: See Details

AGENDA ITEM NO. V. A.

RELATED CODE REQUIREMENTS: (EGRESS + WINDOWS + DRS.)

1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
4. MAX. U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS ***2019*** CEC 150.0 (Q)
5. MAX. TOTAL AREA, 20%, NO MAXIMUM FOR WEST FACING AREA TABLE 150.1-A, & B
6. FENESTRATION MAX. U-FACTOR 0.30. NO SHGC REQUIREMENT TABLE 150.1-A, & B
7. DOOR MAX. U-FACTOR: 0.20 TABLE 150.1A, & B

2019 CODE REQUIREMENTS: (PLUMBING)

1. REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT HTTP://LEGINFO.CA.GOV/PUB/09-10/BILL/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED.HTML.
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RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

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GENERAL NOTES:

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11. NA.
12. ALL LAVATORY FAUCETS TO HAVE ***1.2 GPM***, + KITCHEN FAUCETS TO HAVE ***1.8 GPM*** FLOW MAX. PER ***2019*** CPC SECT. 403.7, & 403.6 (CGC 4.303.1.4.4)
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14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
15. THRESHOLD FOR IN-SWING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWING DOORS.
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GENERAL NOTES: (cont.)

22. FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
23. ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE. ***2019*** CGC 4.503.1
24. PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) ***2019*** CRC R311.3
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INSULATION: (See Title-24 For Min.)

1. ALL EXTERIOR 2X6 WALLS: R-21 BATT INSULATION, ***OR*** MIN. BY TITLE-24
2. ALL EXTERIOR 2X4 WALLS: R-15 BATT INSULATION
OR MIN. BY TITLE-24
3. ALL CEILINGS TO RECEIVE R-32 MIN. INSULATION
OR MIN. BY TITLE-24
4. ALL UNDER FLOOR TO RECEIVE R-19 BAT INSULATION
5. ALL BATHROOMS, LAUNDRY ROOMS, TO RECEIVE SOUND BATT, INSULATION, TYPICAL.
6. CEILING INSULATION, MIN. R-30 INSULATION REQUIRED.
7. ***BUILDING ENVELOPE INSULATION:*** PER CLIMATE ZONE: 3 TABLE 150.1-A, & B
8. ***BUILDING ENVELOPE INSULATION:*** WALLS, ABOVE OR BELOW GRADE, MEET STANDARDS IN TABLE 150.1-A & B
9. QUALITY INSULATION INSTALLATION INSPECTION ***(QII)*** IS REQUIRED BY A THIRD PARTY.

POLLUTANT CONTROL NOTES:

1. PAINTS + COATINGS WILL COMPLY WITH VOC LIMITS PER **2019** CGC §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. ***2019*** CGC §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING + PRODUCT REQUIREMENTS FOUND IN THE ***2019*** CALIFORNIA GREEN BUILDING CODE. ***2019*** CGC §4.504.3
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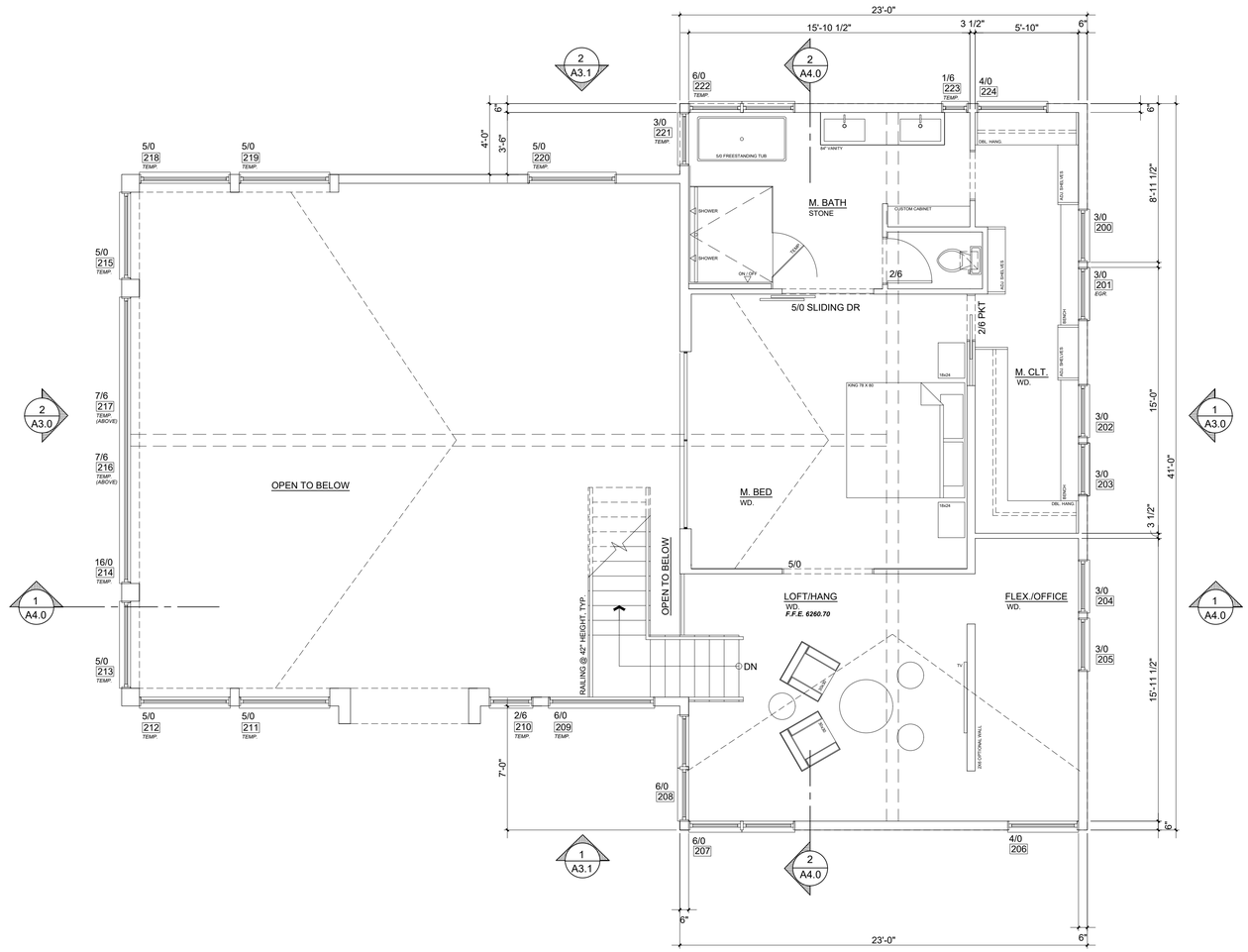
7. ADHESIVES, SEALANTS, + CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL + REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS ***2019*** CGC §4.504.2.1



PROPOSED SECOND FLOOR PLAN

SQUARE FOOTAGE 2ND FLR.: **943**

Scale: 1/4 = 1'-0"

1 A2.1

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

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DESIGN ■ PLANNING

PLANNING SET

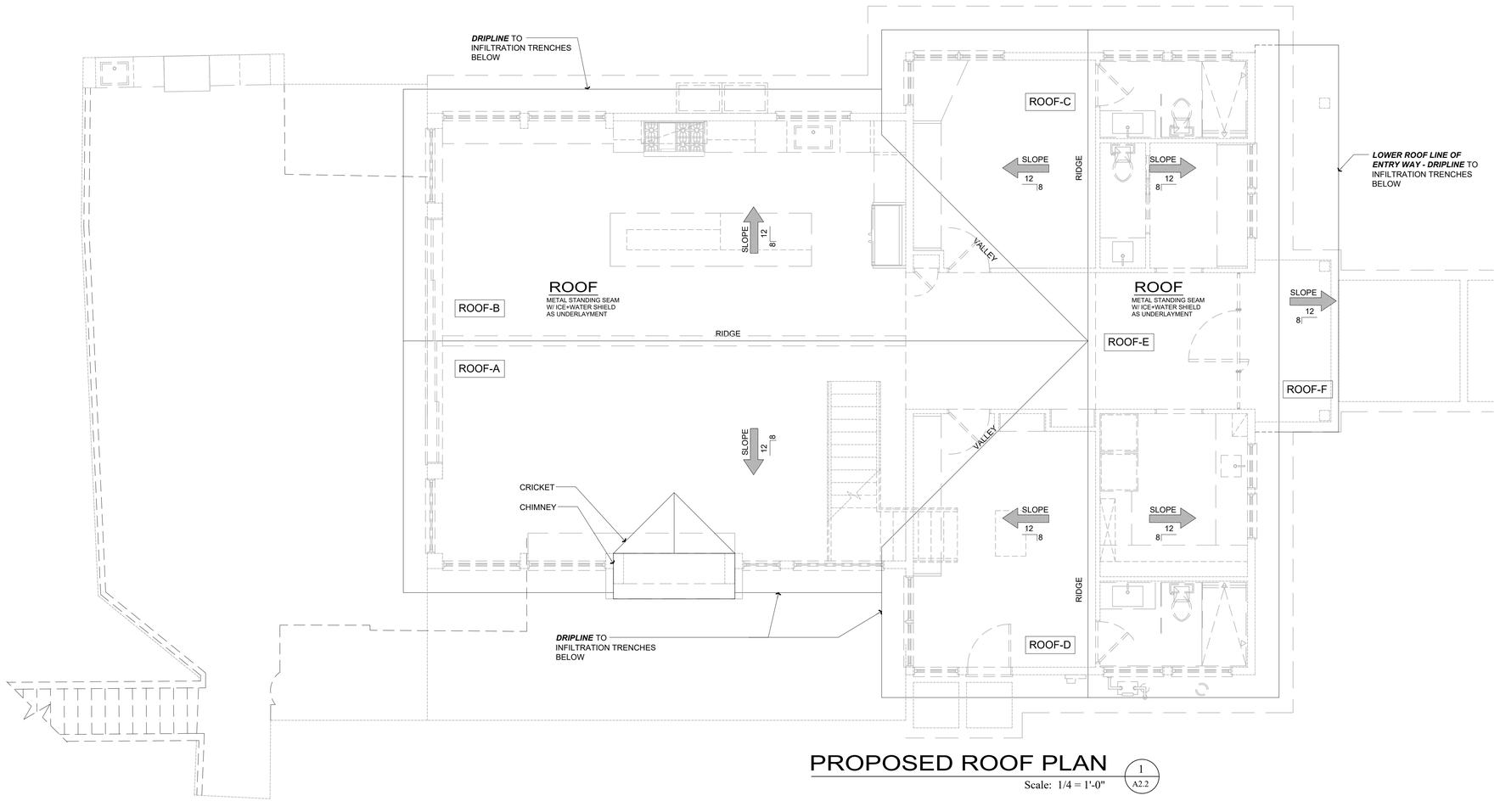
Title : Proposed Second Floor Plan
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22
Drawn : TIM RADUENZ
Job No. : 22_42

A2.1

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.



PROPOSED ROOF PLAN

Scale: 1/4 = 1'-0"

1 / A2.2

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

PLANNING SET

Contractor :

Owner : MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.34 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

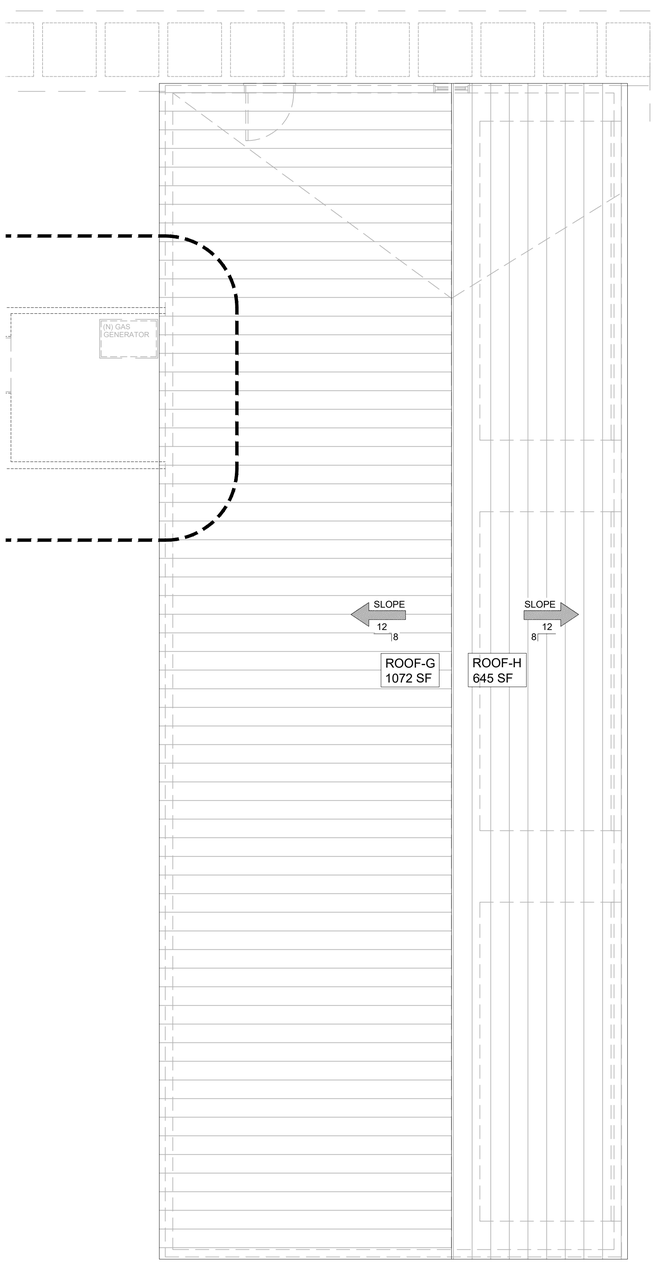
Title : Proposed Roof Plan
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Job No. : 22_42
Drawn : TIM RADUENZ
Date : 12.08.22

A2.2

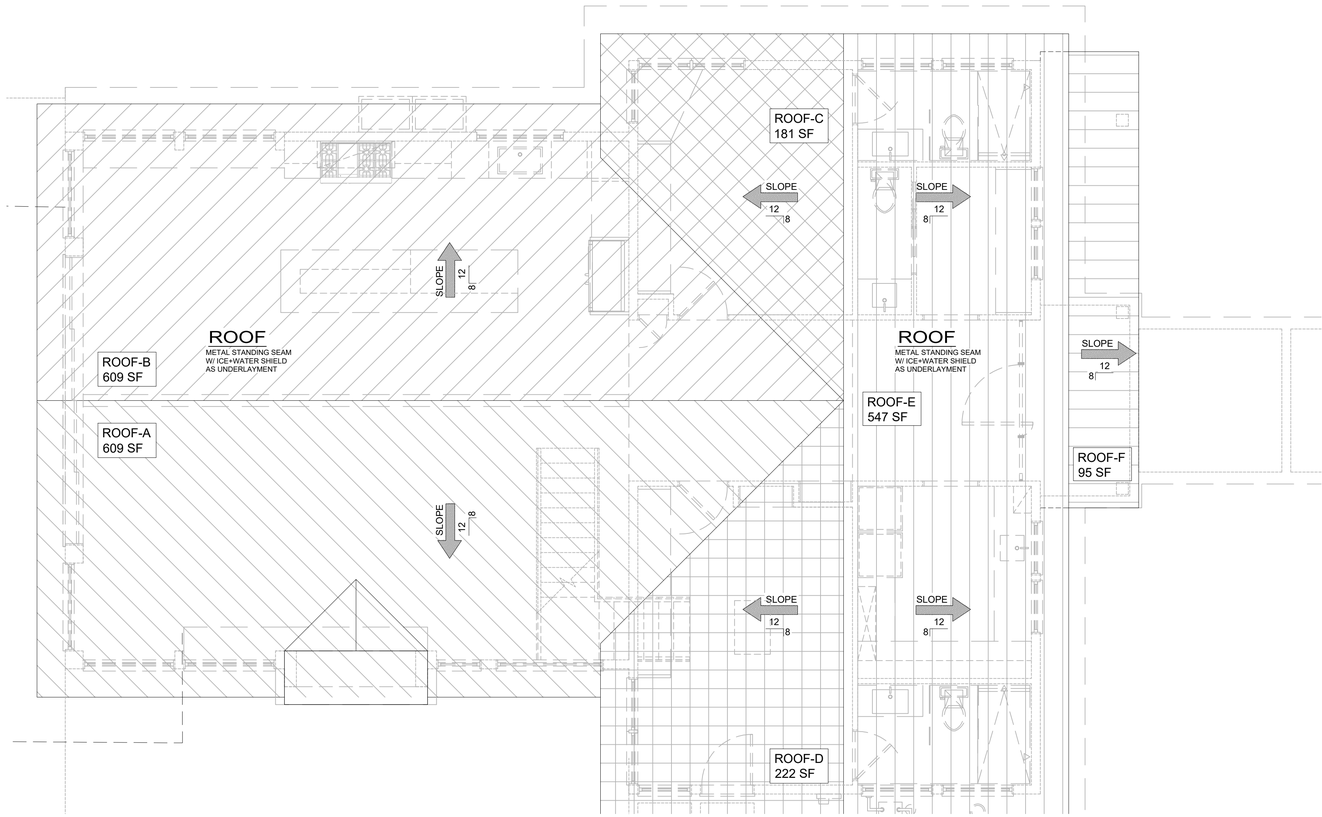
Sheet

Scale: See Details

AGENDA ITEM NO. V. A.



(E) GARAGE ROOF PLAN (2 / A2.3)
INFILTRATION Scale: 1/4 = 1'-0"



PROPOSED ROOF PLAN (1 / A2.3)
INFILTRATION Scale: 1/4 = 1'-0"

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

PLANNING SET

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

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DESIGN ■ PLANNING

Title : Proposed Roof Plan - Infiltration
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Drawn : TIM RADUENZ
Date : 12.08.22
Job No. : 22_42

A2.3

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

HEIGHT CALCULATIONS:

CROSS SLOPE = (6249 - 6249) / 72
= 0.000 x 100 = 0%

ALLOWABLE BUILDING HEIGHT @ 0% CROSS SLOPE & 8:12 ROOF PITCH = 33'-7"

PROPOSED BUILDING HEIGHT:

0' - 0"	LOWEST POINT @ NAT. GRADE E. *6249*
+0' - 6"	TO MAIN FLOOR F.F. EL. *6249.50*
+11' - 2 3/4"	TO UPPER FLOOR F.F. EL. *6260.73*
+9' - 4"	TO ROOF PLATE EL. *6270.06*
+9' - 7 1/2"	TO HIGHEST RIDGE @ 8:12 ROOF PITCH EL. *6279.69*
=30' - 8 1/4"	HT. OF HIGHEST POINT OF ROOF FROM LOWEST POINT @ NATURAL GRADE

WUI REQUIREMENTS:

1. (N) ROOFING SHALL BE CLASS A, WITH CLASS A CONTINUOUS RIDGE VENT BY LOMANCO, OR APPROVED EQUAL, TYP.

2. (N) VALLEY FLASHING SHALL BE MINIMUM NO. 26 GALVANIZED SHEET GAGE.

3. ANY SPACE BETWEEN ROOF COVERING AND ROOF DECKING OR AT EAVE ENDS SHALL BE FIRE STOPPED TO PREVENT THE ENTRY OF FLAMES OR EMBERS.

4. ROOF GUTTERS AND DOWNSPOUTS SHALL BE OF NON-COMBUSTIBLE MATERIALS AND PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.

5. UNDERSIDE OF (N) ROOF OVERHANGS AND (N) BUILDING OVERHANGS SHALL BE SOFFITED WITH 2x6 WESTERN RED CEDAR BOARDS. EAVE VENTS SHALL BE BY VULCAN OR BRANDGUARD, OR APPROVED EQUAL.

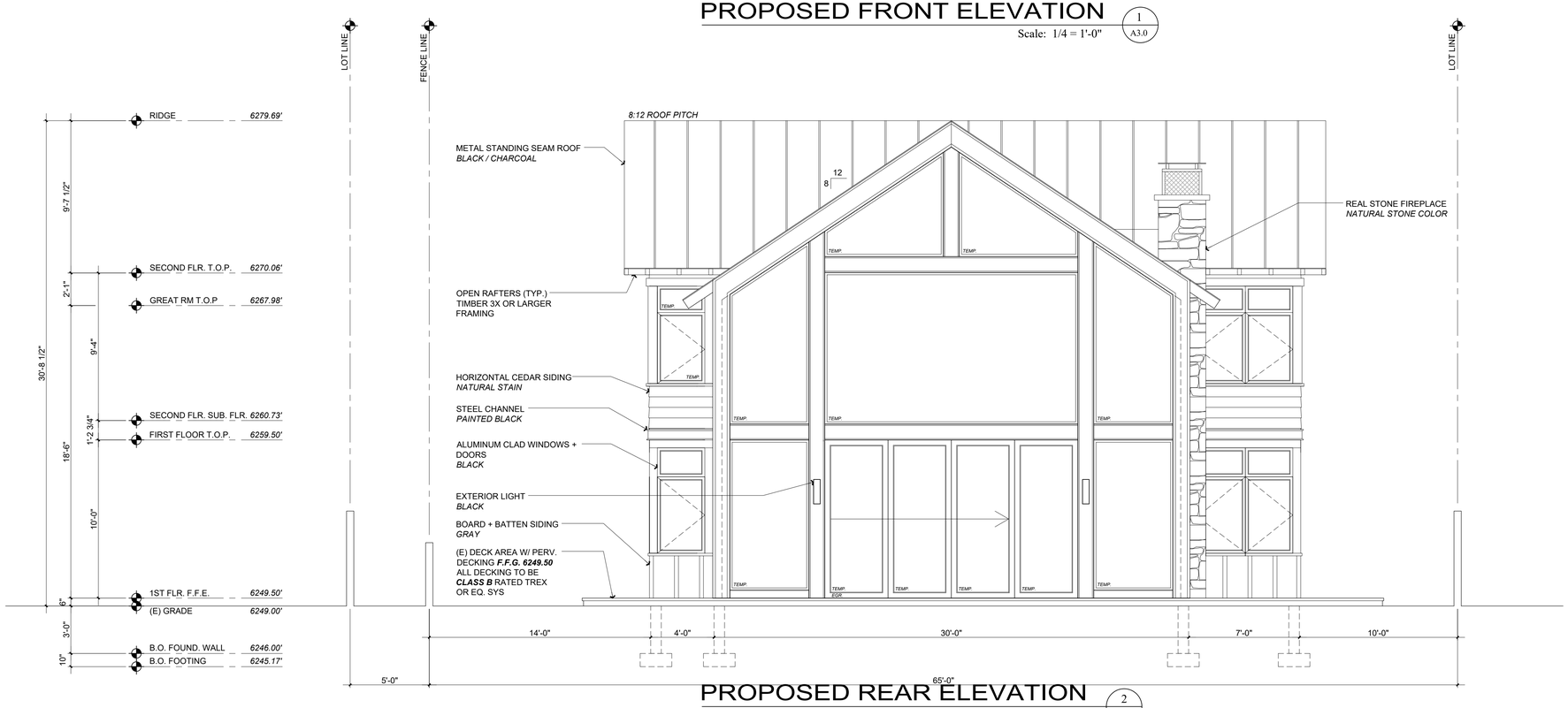
6. (N) EXTERIOR WALL FINISH THAT IS NON-IGNITION RESISTANT SHALL BE INSTALLED IN A FIRE RATED ASSEMBLY, USING TYPE 'X' GYPSUM BOARD ON THE UNDERSIDE OF THE COMBUSTIBLE SIDING, OR FIRE RESISTANT STRUCTURAL OSB SHEATHING BY LP-FLAMEBLOCK, OR APPROVED EQUAL.

7. (N) EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS AND SKYLIGHTS SHALL BE TEMPERED GLASS, INSULATING DUAL GLAZED GLASS UNITS, GLASS BLOCK OR HAVE A MINIMUM 20 MINUTE FIRE RESISTIVE RATING.

8. (N) EXTERIOR DOORS SHALL BE MINIMUM 1 ¾" SOLID CORE OR HAVE A 20 MINUTE FIRE RATING. DOOR TRIM, THRESHOLDS, SCREENS AND WEATHER STRIPPING HAVE NO WUI REQUIREMENTS.

9. (N) EXTERIOR DECKING SHALL BE NON-COMBUSTIBLE MATERIAL, OR CLASS B RATED DECK BOARDS. HANDRAILS, GUARDRAILS AND BALUSTERS HAVE NO WUI REQUIREMENT.

PROPOSED FRONT ELEVATION (1 / A3.0)
Scale: 1/4 = 1'-0"



PROPOSED REAR ELEVATION (2 / A3.0)
Scale: 1/4 = 1'-0"

Revisions

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Contractor :

PLANNING SET

APN#: 026-021-011

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

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DESIGN ■ PLANNING

Title : Proposed Elevations
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150
Date : 12.08.22
Drawn : TIM RADUENZ
Job No. : 22_42

A3.0
Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

PROPOSED LEFT ELEVATION

Scale: 1/4 = 1'-0"

1 / A3.1

PROPOSED RIGHT ELEVATION

Scale: 1/4 = 1'-0"

2 / A3.1

STANDING SEAM METAL ROOF - BLACK

HORIZ. CEDAR SIDING - NATURAL STAIN

BOARD + BATTEN SIDING - GRAY

FIREPLACE - NATURAL STONE

EXTERIOR LIGHTING
SEE ME3.0 FOR SPEC SHT.

Revisions

Rev.:	Description :	Date :
001		
002		
003		
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005		
006		

Contractor :

PLANNING SET

APN#: 026-021-011

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

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Park City, UT 84098
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form+one
DESIGN ■ PLANNING

Title : Proposed Elevations

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22

Drawn. : TIM RADUENZ

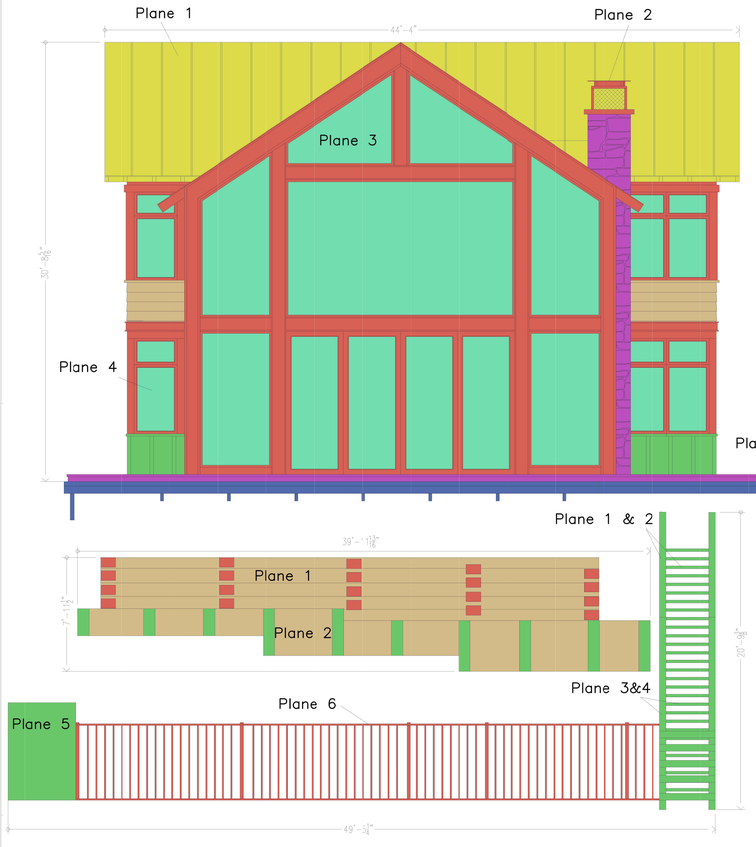
Job No. : 22_42

A3.1

Sheet

Scale: See Details

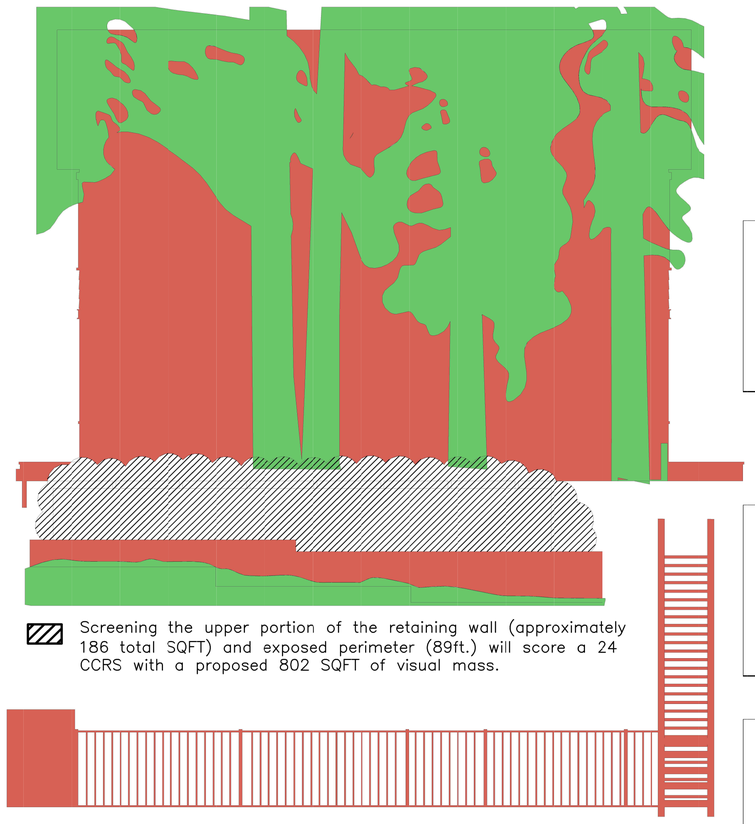
AGENDA ITEM NO. V. A.



RESIDENCE MATERIAL LIST	APPROXIMATE AREA IN FEET
Limestone Veneer	58
Cedar Wrap	29
Matte Black Metal Roof	273
Glass	579
Urban Bronze Trim	332
Board and Batten Bronze	29
Deck	44
	1,344

RETAINING WALL MATERIAL LIST	APPROXIMATE AREA IN FEET
Wood	23
Metal	14
Retaining Wall	213
	250

SITE WORK MATERIAL LIST	APPROXIMATE AREA IN FEET
Wood	74
Metal	49
	123



Screening the upper portion of the retaining wall (approximately 186 total SQFT) and exposed perimeter (89ft.) will score a 24 CCRS with a proposed 802 SQFT of visual mass.

Proposed Perimeter Length	
Visible Perimeter (ft)	51.8
Screened (ft)	120.1
Total Perimeter	171.9
% Visible	30.1%
Perimeter Score	8
Visible Mass (SQFT)	527

Retaining Wall Perimeter Length	
Visible Perimeter (ft)	51.2
Screened (ft)	44.6
Total Perimeter	95.9
% Visible	53.4%
Perimeter Score	5
Visible Mass (SQFT)	228

Site Work Perimeter Length	
Visible Perimeter (ft)	150.6
Screened (ft)	0.0
Total Perimeter	150.6
% Visible	100.0%
Perimeter Score	1
Visible Mass (SQFT)	123

CONTRAST RATING SHEET
Project: Murphy at Lakeview
Address: 747 Lakeview
Structure: Residence
Proposed

	Limestone Veneer	Cedar Wrap	Metal Roof	Glass	Bronze Trim	Board Batten	Deck	Total Façade
Area SF	58.0	29.0	273.0	579.0	332.0	29.0	44.0	1,344.0
Percentage	4%	2%	20%	43%	25%	2%	3%	100%
Color Rating (Munsell Color)	1 (5YR 7/2)	12 (7.5YR 5/6)	GLEY2 2.5/10B	>15%	17 (5YR 3/2)	17 (5YR 3/2)	17 (GLEY2 3/5PB)	
	0.0	0.3	3.5	0.4	4.2	0.4	0.6	9.3
Percentage	4%	2%	20%	43%	25%	2%	3%	+
SP & Texture	7 (Heavy)	6 (Moderate)	4 (None)	4 (None)	6 (Moderate)	7 (Heavy)	7 (Heavy)	
# of Planes: 6	0.30	0.13	0.81	1.72	1.48	0.15	0.23	4.8
								+
Perimeter Score	37.4%							7
CONTRAST SCORE								21.1

CONTRAST RATING SHEET
Project: Murphy at Lakeview
Address: 747 Lakeview
Structure: Retaining Wall
Existing

	Wood	Metal	Retaining Wall	Total Façade
Area SF	23.0	14.0	213.0	250.0
Percentage	9%	6%	85%	100%
Color Rating (Munsell Color)	17 (GLEY2 3/5PB)	17 (GLEY2 2.5/5PB)	17 (5YR 3/3)	
	1.6	1.0	14.5	17.0
Percentage	9%	6%	85%	+
SP & Texture	5 (Heavy)	2 (None)	5 (Heavy)	
# of Planes: 2	0.46	0.11	4.26	4.8
				+
Perimeter Score	53.4%			5
CONTRAST SCORE				26.8

CONTRAST RATING SHEET
Project: Murphy at Lakeview
Address: 747 Lakeview
Structure: Site Work
Existing

	Wood	Metal	Total Façade
Area SF	74.0	49.0	123.0
Percentage	60%	40%	100%
Color Rating (Munsell Color)	17 (GLEY2 3/5PB)	17 (GLEY2 2.5/5PB)	
	10.2	6.8	17.0
Percentage	60%	40%	+
SP & Texture	7 (Heavy)	4 (None)	
# of Planes: 6	4.21	1.59	5.8
			+
Perimeter Score	100.0%		1
CONTRAST SCORE			23.8

COMPOSITE CONTRAST RATING
Project: Murphy at Lakeview
Address: 747 Lakeview
Structure: Composite
Proposed

	Proposed	Retaining Wall	Site Work	Façade
Area SF	1,344.0	250.0	123.0	1,717.0
Percentage	78%	15%	7%	100%
	21.1	26.8	23.8	
	16.5	3.9	1.7	22.2
COMPOSITE CONTRAST RATING				22.0

VISIBLE SQ. FT. ASSESSMENT

Appendix H Allowable Visible Mass for a 22 CCRS	785
PROPOSED	
Total Lakefront Façade	1,717
Existing Screening	729
Proposed Visible SQFT	988
Net allowable SQFT remaining	**(203)**

3DFX DESIGN
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CONSULTANTS

Aaron Souza
3Dfx Design
1612 Sunset Ave.
Chico, CA 95926

747 Lakeview
South Lake Tahoe, CA 96150

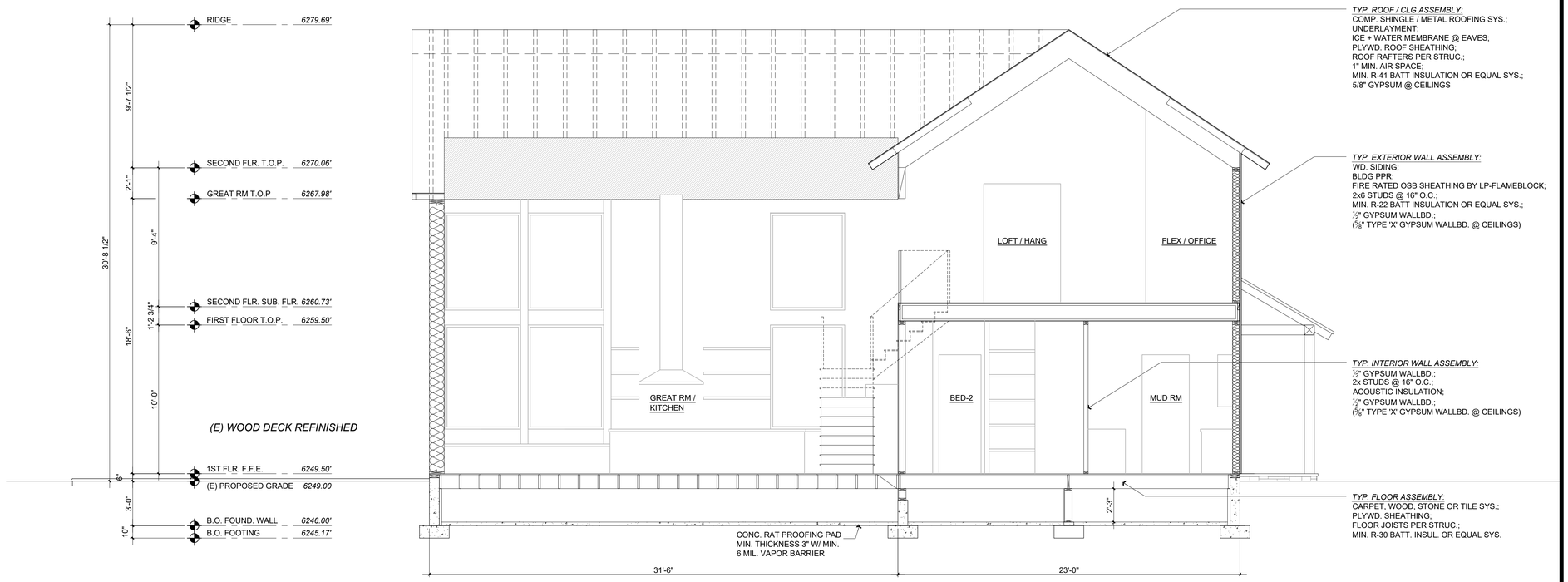
MARK	DATE	DESCRIPTION

PROJECT NO: #
CAD DWG FILE: 747 LAKEVIEW-RKIN1.DWG
DRAWN BY: Aaron Souza
CHK'D BY: ####
COPYRIGHT

SHEET TITLE
Elevation/Perimeter

SHEET 1 OF #

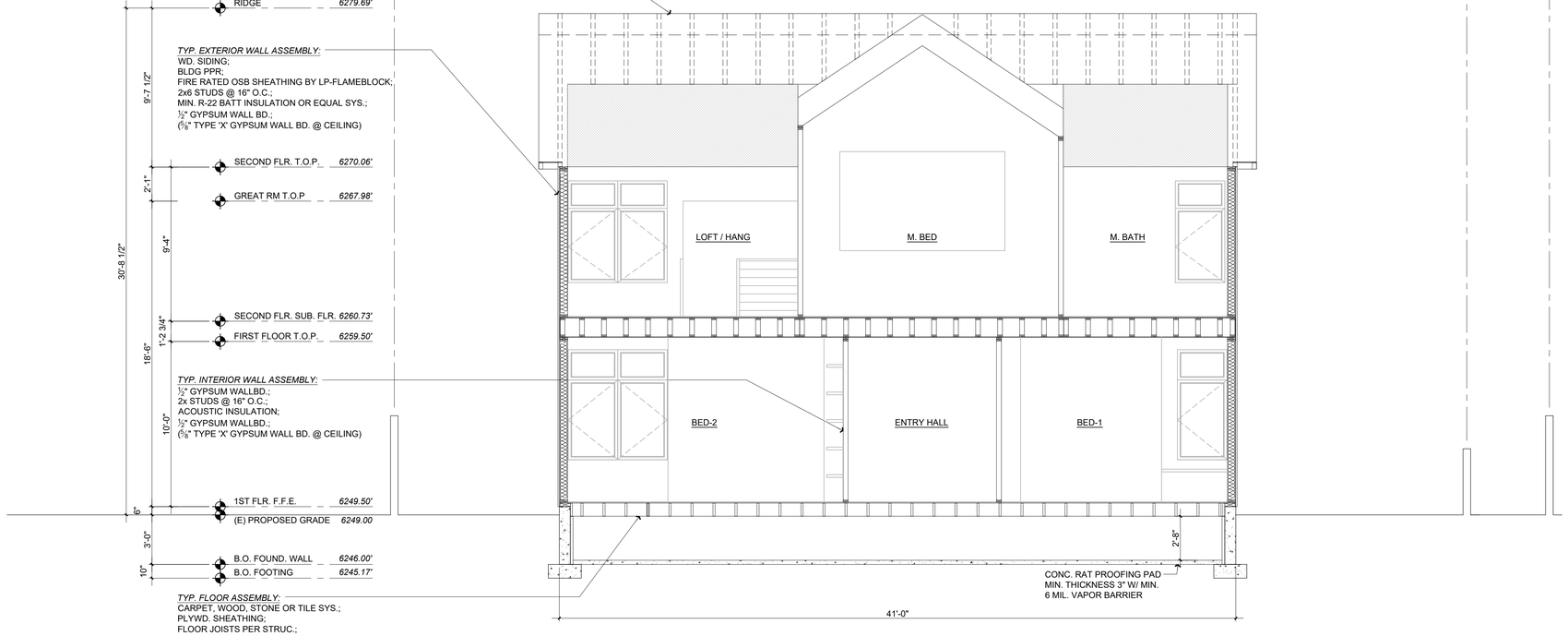
AGENDA ITEM NO. V. A.



PROPOSED BUILDING SECTION

Scale: 1/4 = 1'-0"

1 / A4.0



PROPOSED BUILDING SECTION

Scale: 1/4 = 1'-0"

2 / A4.0

Revisions

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Contractor :

PLANNING SET

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA. 96150

Zoning: R1
Existing Home Built: 1930
Lot Size: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
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Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

Title : Proposed Building Section

Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22

Drawn : TIM RAUDENZ

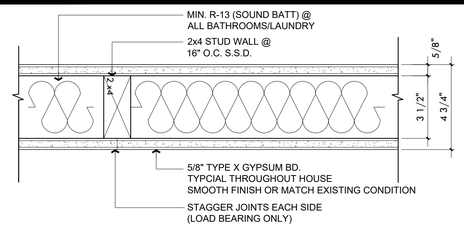
Job No. : 22_42

A4.0

Sheet

Scale: See Details

AGENDA ITEM NO. V. A.

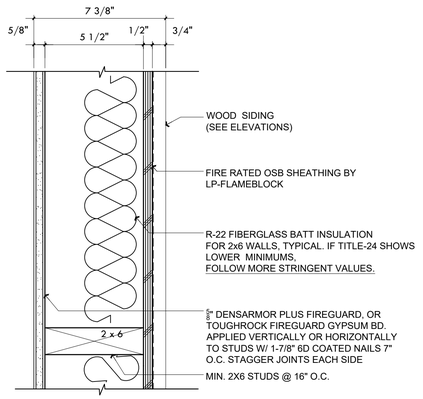


NOTES:
SEE WWW.GPGYPSUM.COM FOR
TECHNICAL SPEC'S

INTERIOR WALL DTLS.

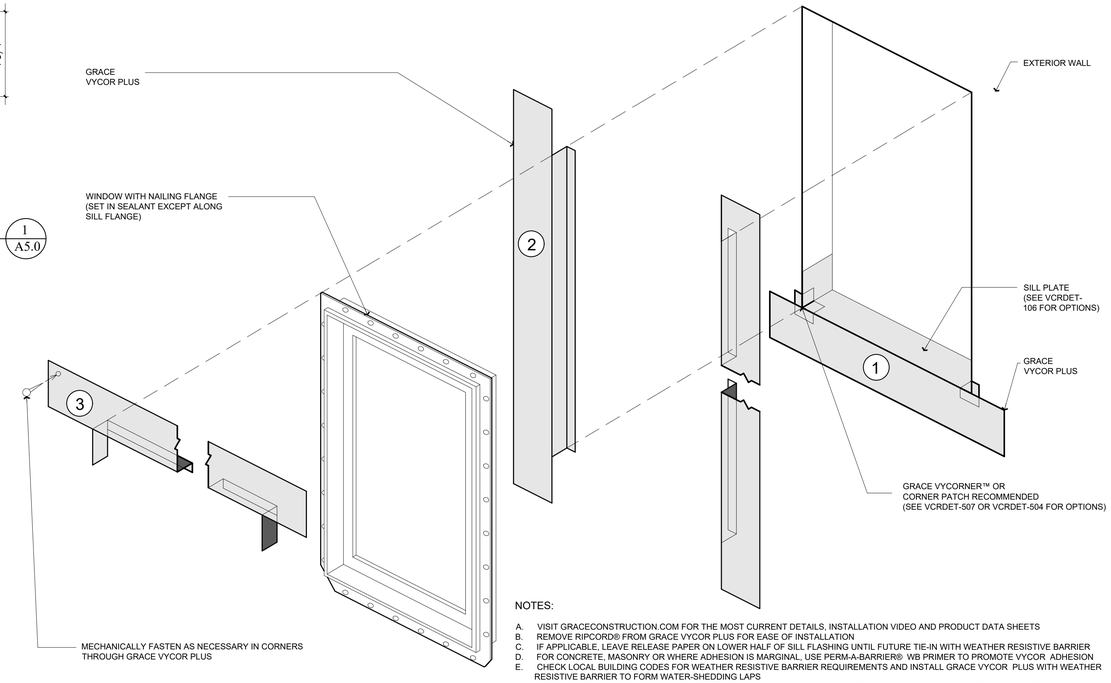
1 A5.0

Scale: 3" = 1'-0"



EXT. WALL DTLS.

2 A5.0



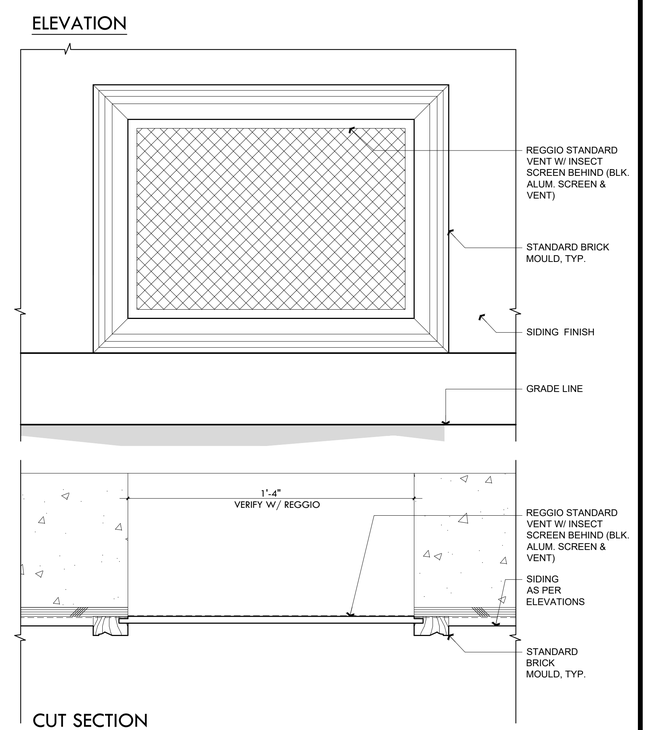
NOTES:

A. VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
B. REMOVE RIPCORD® FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
C. IF APPLICABLE, LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING UNTIL FUTURE TIE-IN WITH WEATHER RESISTIVE BARRIER
D. FOR CONCRETE, MASONRY OR WHERE ADHESION IS MARGINAL, USE PERM-A-BARRIER® WB PRIMER TO PROMOTE VYCOR ADHESION
E. CHECK LOCAL BUILDING CODES FOR WEATHER RESISTIVE BARRIER REQUIREMENTS AND INSTALL GRACE VYCOR PLUS WITH WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
F. INSTALL WINDOW PER MANUFACTURER'S RECOMMENDATION AND USE APPROPRIATE SEALANT FOR WINDOW AND WOOD BUCK
G. DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL

WINDOW FLASHING DTLS.

3 A5.0

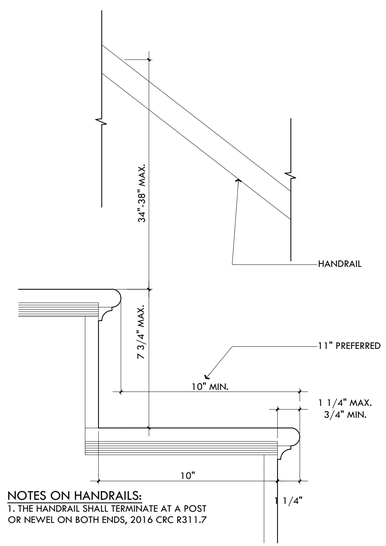
Scale: N.A.



(N) EXT. WALL VENT DTLS.

4 A5.0

Scale: 3" = 1'-0"

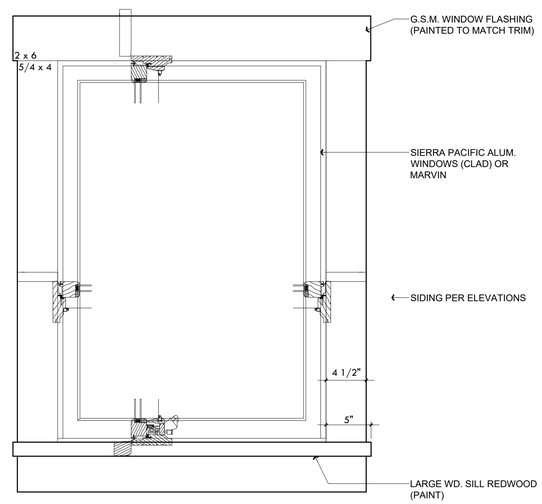


Interior Stair Detail

2019 CRC R311.7.8

5 A5.0

Scale: 3" = 1'-0"



TYPICAL WINDOW DETAIL

Sierra Pacific or Marvin or Equal

6 A5.0

Scale: 3" = 1'-0"

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SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22
Drawn : TIM RADUENZ
Job No. : 22_42

A5.0

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

ROOM FINISH SCHEDULE

	ROOM	FLOORING	PAINT WALLS	PAINT CEILING	PAINT MILLWORK	PAINT CROWN	REMARKS
1ST FLR	ENTRY	STONE/WD	TBS	TBS	PAINT (TBS)	TBS	
	HALL	STONE	TBS	TBS	PAINT (TBS)	TBS	
	PWD	STONE	TBS	TBS	PAINT (TBS)	TBS	
	MUD RM	STONE	TBS	TBS	PAINT (TBS)	TBS	
	BED-1	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	BATH-1	STONE	TBS	TBS	PAINT (TBS)	TBS	
	BED-2	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	BATH-2	STONE	TBS	TBS	PAINT (TBS)	TBS	
	KITCHEN	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	GREAT RM	WOOD	TBS	TBS	PAINT (TBS)	TBS	
2ND FLR	LOFT/HANG	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	FLEX/OFFICE	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	M. BED	WOOD	TBS	TBS	PAINT (TBS)	TBS	
	M. BATH	STONE	TBS	TBS	PAINT (TBS)	TBS	
	M. CLT.	WOOD	TBS	TBS	PAINT (TBS)	TBS	

PAINT SPECS.

INTERIORS:
MAIN ROOMS:
AURA, NATURA, REGAL SELEVT, OR APPROVED EQUIVALENT
CEILINGS:
WATERBORNE CEILING PAINT, OR APPROVED EQUIVALENT
BATHROOMS:
AURA BATH AND SPA, OR APPROVED EQUIVALENT
EXTERIORS:
HOUSE:
AURA, REGAL SELECT, OR APPROVED EQUIVALENT

CAL GREEN NOTES:

1. PAINTS AND COATINGS WILL COMPLY WITH VOC LIMITS PER CGC §4.504.2.2
2. DOCUMENTATION PROVIDED THAT VERIFIES COMPLIANCE WITH VOC FINISH MATERIALS. 2019 CGC §4.504.2.4
3. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR WILL MEET THE TESTING AND PRODUCT REQUIREMENTS FOUND IN THE 2019 CALIFORNIA GREEN BUILDING CODE. 2019 CGC §4.504.3
4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE CALIFORNIA GREEN BUILDING CODE REQUIREMENTS. 2019 CGC §4.504.4
5. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING WILL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. 2019 CGC §4.504.5
6. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3
7. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL FOLLOW LOCAL AND REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT STANDARDS 2019 CGC §4.504.2.1
8. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (q)
9. REDUCED ***U-FACTOR (0.30)*** FOR HIGH PERFORMANCE WINDOWS 2019 CAL ENERGY CODE §150.1 (c)3 A
10. MAX. TOTAL AREA, 20%, NO MAX. FOR WEST FACING AREA, TABLE 150.1-A, AND B
11. DOOR MAX. U-FACTOR 0.20, TABLE 150.1-A, AND B

ROOM FINISH SCHEDULE

Scale: NA (1 / A9.0)

EXTERIOR DOORS & WINDOWS

		LOCATION	DOORS: DOOR SIZE WxH	TYPE	SYM.	MATERIALS: CORE	EXT. FIN.	INT.FIN.	GLASS	DETAILS: HEAD	JAMB	SILL	TRIM	HDWR.: TYPE	FIN.	REMARKS
1ST FLR	100	ENTRY	9'-0" x 10'-0"	ENTRY, SL, TR	A	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	101	MUD RM	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	102	MUD RM	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	103	BATH-2	4'-0" x 2'-0"	TRANSOM	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	104	BATH-2	4'-0" x 2'-0"	AWNING	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	105	BED-2	3'-0" x 9'-6"	ENTRY, TR	D	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	106	BED-2	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	107	BED-2	6'-0" x 6'-8"	CSMT, TR	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	108	GREAT RM	6'-0" x 9'-6"	FIXED	F	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	109	GREAT RM	2'-6" x 9'-6"	FIXED	G	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	110	GREAT RM	5'-0" x 9'-6"	FIXED	H	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	111	GREAT RM	5'-0" x 9'-6"	FIXED	H	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	112	GREAT RM	5'-0" x 9'-6"	FIXED	H	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	113	GREAT RM / KITCH.	16'-0" x 10'-0"	MULTI-SLIDER	I	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	114	KITCHEN	5'-0" x 9'-6"	FIXED	H	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	115	KITCHEN	5'-0" x 7'-0"	FIXED	J	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	116	KITCHEN	5'-0" x 7'-0"	FIXED	J	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	117	KITCHEN	5'-0" x 7'-0"	FIXED	J	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	118	BED-1	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	119	BED-1	6'-0" x 6'-8"	CSMT, TR	E	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	120	BATH-1	4'-0" x 2'-0"	AWNING	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	121	BATH-1	4'-0" x 2'-0"	TRANSOM	C	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	122	HALL	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	123	HALL	3'-0" x 6'-8"	CSMT, TR	B	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
2ND FLR	200	M. CLT.	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	201	M. CLT.	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1, 2
	202	M. CLT	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	203	M. CLT	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	204	FLEX / OFFICE	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	205	FLEX / OFFICE	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	206	FLEX / OFFICE	4'-0" x 6'-2"	CSMT, TR	L	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	207	LOFT / HANG	6'-0" x 6'-2"	CSMT, TR	M	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	208	LOFT / HANG	6'-0" x 6'-2"	CSMT, TR	M	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	209	GREAT RM	6'-0" x 6'-6"	FIXED	N	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	210	GREAT RM	2'-6" x 6'-6"	FIXED	O	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	211	GREAT RM	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	212	GREAT RM	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	213	GREAT RM	5'-0" x 11'-6 1/2"	FIXED	R	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	214	GREAT RM / KITCH.	16'-0" x 9'-6"	FIXED	S	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	215	KITCHEN	5'-0" x 11'-6 1/2"	FIXED	R	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	216	GREAT RM / KITCH.	5'-0" x 6'-8"	FIXED	T	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	217	GREAT RM / KITCH.	5'-0" x 6'-8"	FIXED	T	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	218	KITCHEN	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	219	KITCHEN	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	220	KITCHEN	5'-0" x 6'-6"	FIXED	P	ALUM.	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	221	M. BATH	3'-0" x 6'-2"	CSMT, TR	K	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	222	M. BATH	6'-0" x 6'-2"	CSMT, TR	M	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1
	223	M. BATH	1'-6" x 6'-2"	CSMT, TR	Q	PINE	CLAD	PRIMED	LO E (T)	SEE DETAILS				STD.	TBD	NOTE # 1
	224	M. CLT.	4'-0" x 2'-0"	TRANSOM	C	PINE	CLAD	PRIMED	LO E	SEE DETAILS				STD.	TBD	NOTE # 1

NOTES

1. WOOD/CLAD SIERRA PACIFIC WINDOWS+ DOORS, WITH ***TRUE*** S.D.L 3/4" MUNTIN BARS ***W/ SPACER BAR BETWEEN THE WINDOW PANES + MUNTIN BARS ADHERED TO THE INTERIOR + EXTERIOR OF THE WINDOWS.***
2. EGRESS PER CODE
3. DOOR BY ***SIMPSON*** OR EQUAL, VERIFY DESIGN WITH OWNER & DESIGNER
4. VERIFY OPENING SIZE W/ CONTRACTOR
5. PRIVACY GLASS, OPTION BY *LOCAL ARTISAN*
6. DOOR BY SIMPSON FIBERGLASS DOOR OR EQ.
7. OVERHEAD DOOR (SHOP DRAWING REQUIRED, VERIFY SIDE MOUNT MOTOR IN FIELD
8. TRANSOM ABOVE UNIT TO BE LEADED WINDOW MADE BY *LOCAL ARTISAN*.
9. NA
10. NA
11. (*) FIELD MEASURE

HARDWARE FINISH SPECIFICATION:
ENTRY DOOR HARDWARE: (BY OWNER) AND INSTALLED BY CONTRACTOR
WINDOW HARDWARE: WHITE, TYP. (VERIFY W/ OWNER)

CAL. GREEN REQUIREMENTS

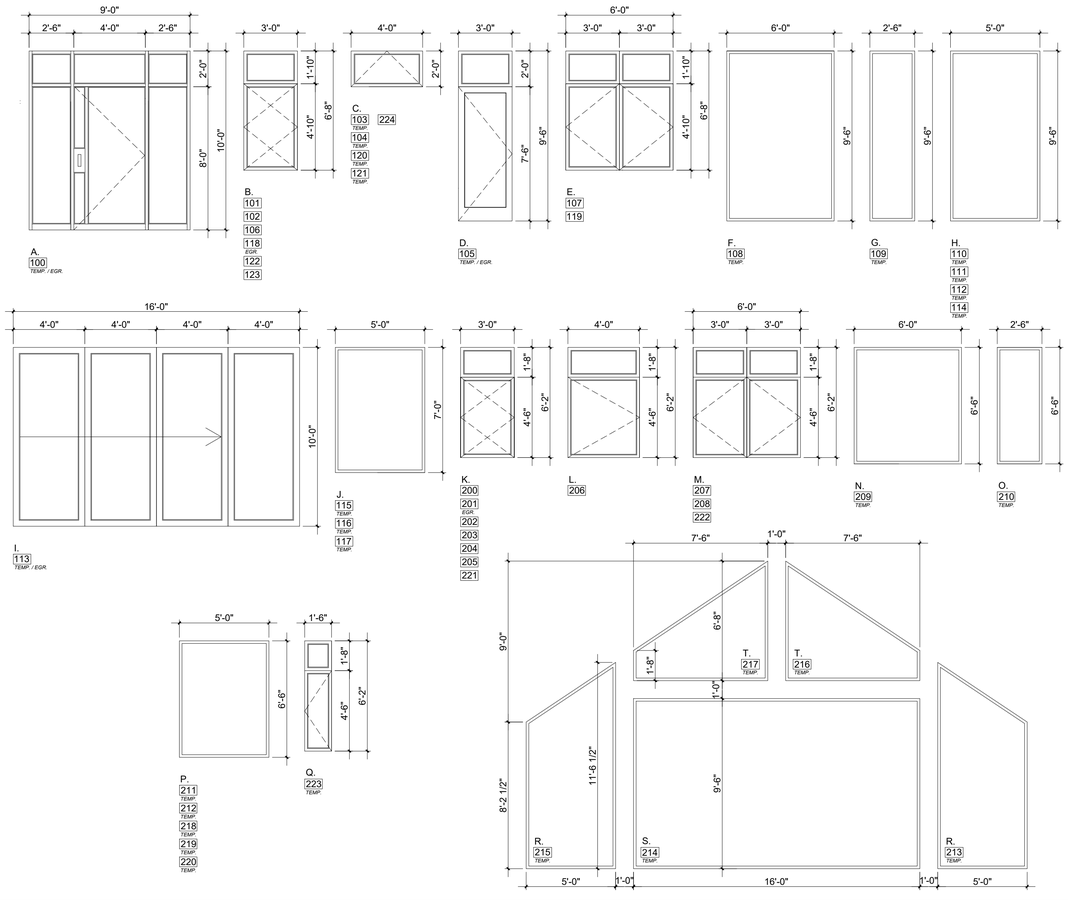
1. NEW MANDATORY U-FACTOR (0.58) FOR FENESTRATION + SKYLIGHTS §150.0 (q)
2. REDUCED ***U-FACTOR (0.30) AND SHGC (0.20)*** FOR HIGH PERFORMANCE WINDOWS 2019 CAL ENERGY CODE §150.1 (c)3 A
3. FENESTRATION MAX U-FACTOR 0.30. NO SHGC REQUIREMENT. PER TABLE 150.1-A & B
4. MAX TOTAL AREA, 20%, NO MAX FOR WEST FACING AREA. PER TABLE 150.1-A & B
5. DOOR MAX U-FACTOR 0.20 PER TABLE 150.1-A & B

SAFETY GLAZING NOTES (CRC R308.4)

A. ALL SLIDING + SWINGING GLASS DOORS TO HAVE SAFETY GLAZING.
B. GLAZING IN SHOWER/TUB/SAUNA ROOMS LESS THAN 60" ABOVE THE STANDING SURFACE AND LESS THAN 60" MEASURED HORIZONTIALLY FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.
C. GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60" ABOVE THE FLOOR.
D. GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9 SQ. FT., BOTTOM IS LESS THAN 18" AND AT LEAST 36" ABOVE THE FLOOR, AND ADJACENT TO WALKING SURFACES.
E. WITHIN 60" OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36" ABOVE THE FLOOR
F. GLAZING IN GUARDS & RAILINGS.
G. GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36" ABOVE FINISH FLOOR.

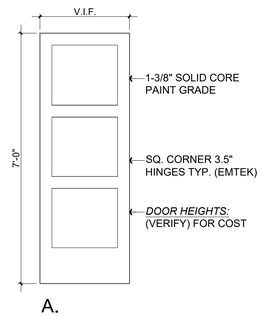
EXT. DOORS & WINDOWS SCHEDULE

Scale: NA (2 / A9.0)



EXT. DOORS & WINDOWS ELEVATIONS

Scale: 1/4" = 1'-0" (3 / A9.0)



A.

INT. DOORS ELEVATIONS

Scale: 1/2" = 1'-0" (4 / A9.0)

APPLIANCE SCHEDULE

NOTE: ALLOWANCE AND INSTALLED BY ALLOWANCE, CONTRACTOR TO INCLUDE BLOCKING / ROUGH-IN AS NEEDED PER SPEC. SHEETS

	ROOM	APPLIANCE TYPE	MANUF.	FINISH	MODEL #	REMARKS
FIRST FLOOR	KITCHEN	(N) RANGE	T.B.D.	T.B.D.	T.B.D.	T.B.D., TYPICAL DUAL FUEL
		(N) VENT HOOD	T.B.D.	T.B.D.	T.B.D.	T.B.D., MIN. 100 CFM, VENT TO EXTERIOR PER CODE
		(N) DISHWASHER	T.B.D.	T.B.D.	T.B.D.	T.B.D.
		(N) DISPOSAL	T.B.D.	T.B.D.	T.B.D.	T.B.D.
	LAUNDRY	(N) WASHER	T.B.D.	T.B.D.	T.B.D.	T.B.D.
		(N) DRYER	T.B.D.	T.B.D.	T.B.D.	T.B.D.

APPLIANCE SCHEDULE

Scale: NA (5 / A9.0)

Revisions

Rev.:	Description:	Date:
001		
002		
003		
004		
005		
006		

Contractor :

Owner : MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

PLANNING SET

Finish Schedule

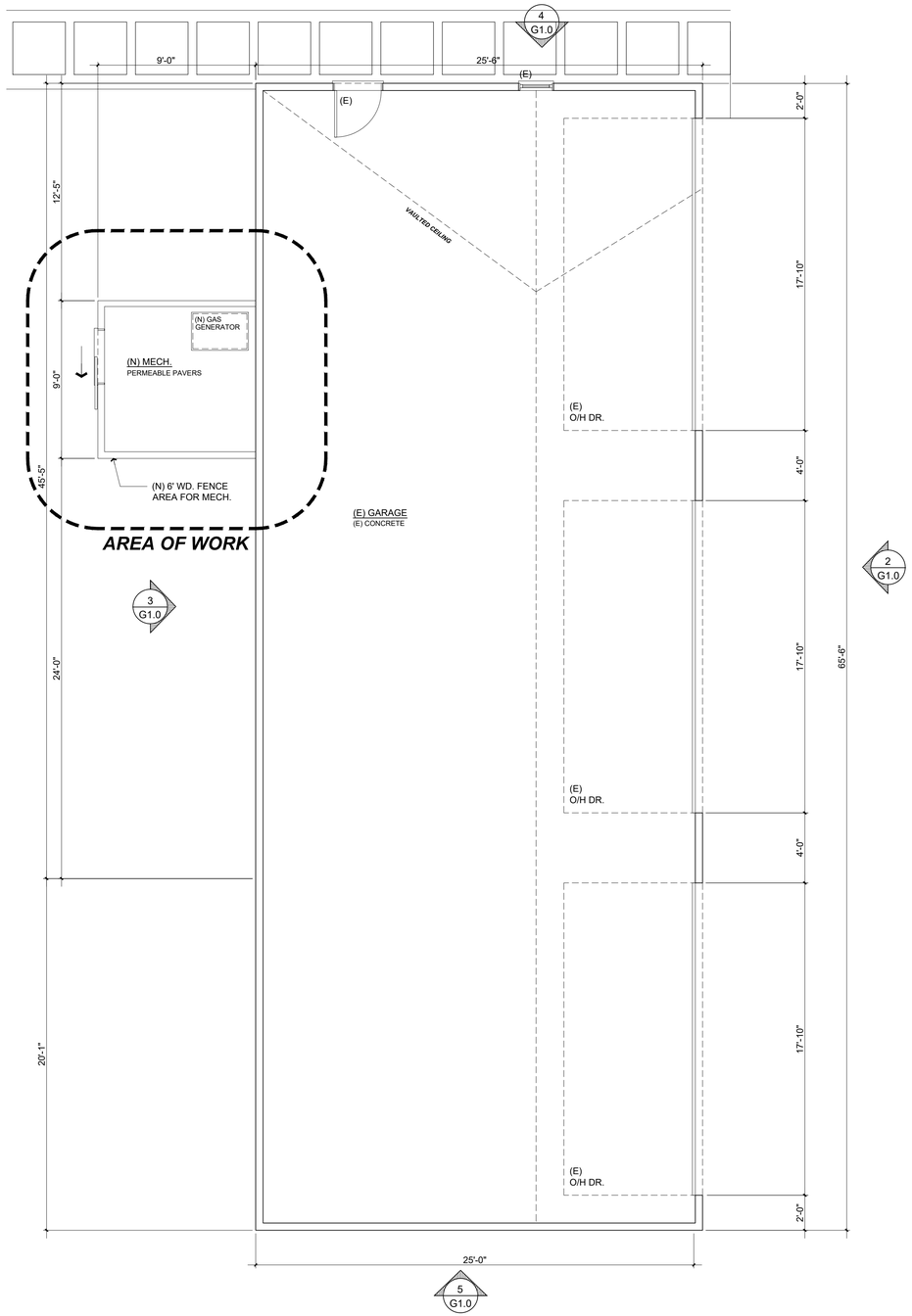
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22
Drawn : TIM RAUDENZ
Job No. : 22_42

A9.0

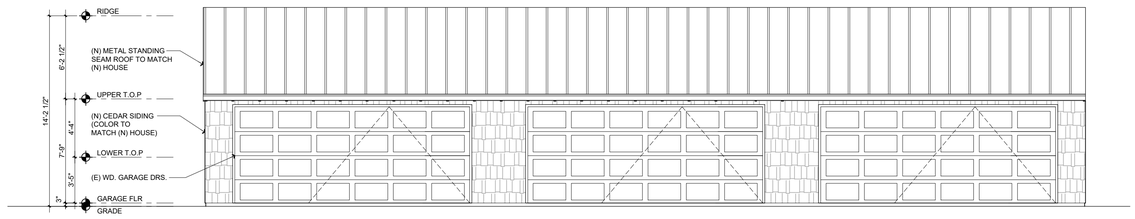
Sheet
Scale: See Details

AGENDA ITEM NO. V. A.



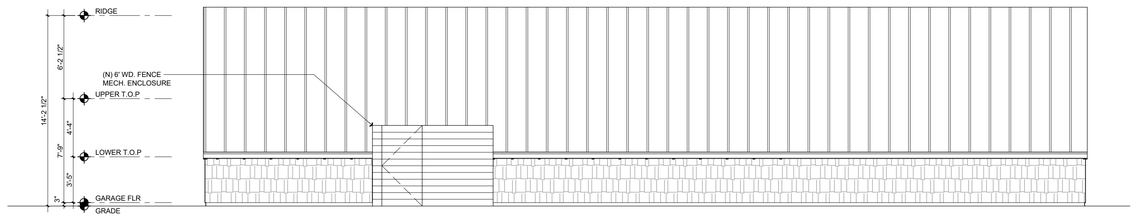
EXISTING GARAGE FLOOR PLAN

Scale: 1/4 = 1'-0" (1 / G1.0)



EXISTING FRONT ELEVATION

Scale: 3/16 = 1'-0" (2 / G1.0)



EXISTING REAR ELEVATION

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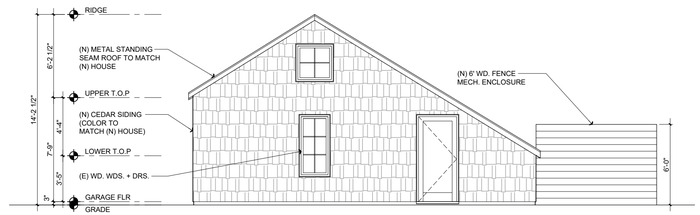
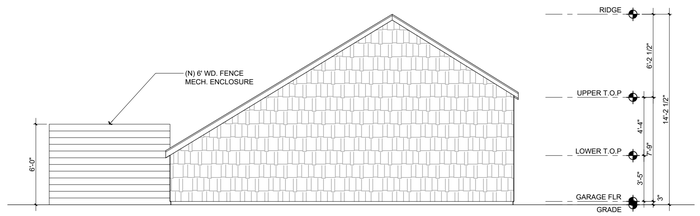


EXISTING RIGHT ELEVATION

Scale: 3/16 = 1'-0" (4 / G1.0)



EXISTING RIGHT ELEVATION

Scale: 3/16 = 1'-0" (5 / G1.0)

Revisions

Rev.:	Description :	Date :
001		
002		
003		
004		
005		
006		

Contractor :

Owner :
MURPHY RESIDENCE
747 LAKEVIEW AVE.
SOUTH LAKE TAHOE, CA. 96150

Zoning: R1
Existing Home Built: 1930
LOT SIZE: 0.32 ACRES

APN#: 026-021-011

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDESIGN.COM

form+one
DESIGN ■ PLANNING

PLANNING SET

Title : Existing Garage Plans
Project : MURPHY RESIDENCE
747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, CA. 96150

Date : 12.08.22
Drawn : TIM RADUENZ
Job No. : 22_42

G1.0

Sheet
Scale: See Details

AGENDA ITEM NO. V. A.

LANDSCAPE NOTES

GENERAL NOTES:

1. ALL LANDSCAPE WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR.
2. VERIFY LOCATIONS OF PERTINENT EXISTING OR PROPOSED SITE IMPROVEMENTS. IF ANY PART OF THIS PLAN CAN NOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
3. REFER TO THE IMPROVEMENT PLANS FOR UTILITY LOCATIONS & FINAL GRADING DIRECTION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTIONS ON HOW TO PROCEED.
4. PRIOR TO COMMENCING CONSTRUCTION, CONTACT THE UNDERGROUND UTILITY LOCATION SERVICES FOR UTILITY LOCATION & IDENTIFICATION.
5. VERIFY PLANT QUANTITIES. QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANTING SCHEDULE DIFFER FROM GRAPHIC INDICATIONS THEN GRAPHICS SHALL PREVAIL.
6. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE & IF NECESSARY BY HAND. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THIS WORK & DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING WORK DURING CONSTRUCTION & REPAIR ALL DAMAGE TO THE SITE AT NO COST TO THE OWNER.
8. ALL POST CARE & REQUIRED MAINTENANCE SHALL BEGIN IMMEDIATELY UPON THE COMPLETION OF THE WORK UNTIL THE FINAL PROJECT ACCEPTANCE IS COMPLETE.
9. ALL INSTALLATION MANUALS, OPERATION SHEETS, & AS-BUILT DRAWINGS SHALL BE SUBMITTED UPON FINAL INSPECTION.
10. ALL PLANT MATERIALS SHALL BE FIELD LOCATED TO AVOID ACTUAL SITE IMPROVEMENTS & INTERFERENCE TO SITE ILLUMINATION. ALL TREES SHALL BE FIELD LOCATED WITH A MIN. 10' OFFSET FROM ALL UNDERGROUND & ABOVE GROUND UTILITY LINES.

PLANT MATERIALS:

11. LANDSCAPE ARCHITECT SHALL REVIEW AND APPROVE ALL PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPH PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.
12. THE CONTRACTOR SHALL PROVIDE ALL PLANT MATERIALS IN SUFFICIENT QUANTITIES & SIZES TO COMPLETE SHOWN PLANTINGS.
13. ALL PLANT MATERIAL SHALL CONFORM TO CURRENT INDUSTRY STANDARDS ADOPTED BY THE AMERICAN STANDARDS FOR NURSERY STOCK AS WELL AS CRITERIA ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
    - ALL INSTALLED PLANT MATERIALS SHALL BE HEALTHY, VIGOROUS, WELL ROOTED, & ESTABLISHED IN THE APPROPRIATE CONTAINER.
    - ALL INSTALLED PLANT MATERIALS SHALL HAVE APPROPRIATELY SIZED ESTABLISHED ROOT BALL & BE FREE OF EXCESSIVE ROOT GROWTH.
    - ALL INSTALLED PLANT MATERIALS SHALL BE FREE OF LARGE WOUNDS (LARGER THAN 1"), INSECTS, DISEASE, WINDBURN, RODENT, WEED, OR MECHANICAL DAMAGE.
    - ALL INSTALLED PLANT MATERIALS SHALL CONTAIN MATERIALS APPROPRIATE LEADERS, COLOR, BUDS, FOLIAGE, STRUCTURE, & TAPER.
15. ALL INSTALLED PLANT MATERIALS SHALL BE FREE OF ANY PLASTIC OR METAL ROOT BALL CONTAINERS. ALL FABRIC STYLE POTS SHALL HAVE SIDES REMOVED BEFORE PLANTING. ALL BALLED & BURLAP PLANT MATERIALS SHALL BE FREE OF ANY ROPE & BURLAP FABRIC. EXCESSIVE REINFORCEMENT WIRE SHALL BE REMOVED.
16. ALL INSTALLED CONTAINER GROWN PLANT MATERIAL SHALL BE INSPECTED FOR, & REJECTED IF, ROOT BOUND.
17. ALIGN & EQUALLY SPACE IN ALL DIRECTIONS PLANT MATERIALS AS DESIGNATED PER THESE NOTES & DRAWINGS.
18. ALL PLANT MATERIALS SHALL MAINTAIN THE SAME RELATION TO FINISHED GRADE WHEN PLANTED AS THEIR ORIGINAL GRADE.
19. PRUNE NEWLY PLANTED PLANT MATERIALS ONLY UPON APPROVAL BY THE LANDSCAPE ARCHITECT.
20. ALL PLANT MATERIAL SHALL BE WATERED TWICE WITHIN 24 HOURS OF PLANTING.

STAKING:

21. ALL TREES SHALL BE STAKED IMMEDIATELY AFTER PLANTING.
22. STAKE TREES WITH (2) 8' WOOD STAKES (OR APPROVED EQUIVALENT) PLACED 12 TO 18 INCHES OUTSIDE THE PLANTING PIT, SO TO NOT INTERFERE WITH THE TRUNK OR BRANCHES, & ORIENT INTO THE PREVAILING WINDS. TRIPLE STAKING ARE REQUIRED IF TREES ARE NOT COMPLETELY STABILIZED WITH DOUBLE POSITION STAKES OR THE TREE IS LARGER THAN 10' TALL OR 2 1/2" CAL. ALL TIE MATERIAL SHALL BE OF A BROAD SMOOTH MATERIAL FASTENED LESS THAN 1/3 OF THE TOTAL HEIGHT OF THE TREE. PROPER FLAGGING SHALL BE PLACED ON ALL WIRES FOR VISIBILITY PURPOSES.
23. TREE STAKING SHALL ALLOW FOR MODERATE TREE MOVEMENT.
24. ALL STAKES SHALL BE REMOVED AFTER 1 YEAR MIN. OR UPON ESTABLISHMENT OF PROPER ROOTING STRUCTURE.

PLANTED AREAS:

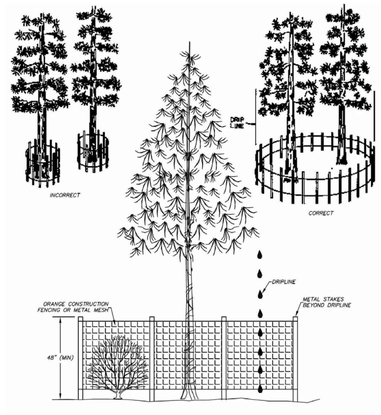
25. SOILS SHALL BE TESTED FOR PLANT SUPPLIER RECOMMENDED PH & FERTILITY, & SHALL BE ADJUSTED WITH LIME, SULFUR OR FERTILIZER TO CORRECT ANY IMBALANCES.
26. APPLY PROPERLY LABELED PRE-EMERGENT HERBICIDE IN PLANTING AREA & WET ACCORDING TO THE MANUFACTURERS DIRECTIONS PRIOR TO APPLYING MULCH OR ROCK.
27. ALL PLANTER AREAS NOT TOP DRESSED WITH MULCH SHALL BE TOP DRESSED WITH MATERIAL(S) SPECIFIED IN THESE PLANS.
28. FINISH GRADE IN PLANTED AREAS (MULCH LAYER) SHALL BE 1-½ INCHES BELOW ADJACENT PAVING OR HEADER.
29. ALL SETTLING BELOW GRADE SHALL BE FILLED WITH MOIST BACKFILL TO THE TOP OF THE SOIL BALL.
30. CARE SHALL BE TAKEN TO REDUCE ANY SOIL COMPACTION TO PLANTED AREAS. IF SOIL COMPACTION OCCURS LOOSEN AS NECESSARY.
31. IF DISTURBED AREAS LIE IDLE FOR MORE THAN 10 DAYS DURING AN INTERIM PERIOD BETWEEN CONSTRUCTION PHASES, SUCH AREAS SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH APPLIED AT 1 TON PER ACRE.

SEEDED AREAS:

32. CONSTOCK MIX# 236184 747 LAKEVIEW RESEED MIXTURES SHALL CONSIST OF THE FOLLOWING SEED SPECIES OR APPROVED EQUIVALENT

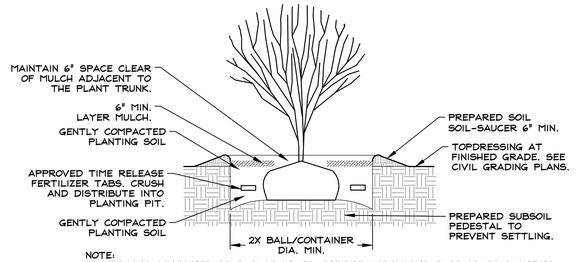
SPECIES	LBS/ACRE	TTL LBS
FESCUE, SHEEP	3.00	3.00
FESCUE, HARD	3.00	3.00
FESCUE, CREEPING RED	2.50	2.50
BLUEGRASS, SANDBERG	1.00	1.00
PENSTEMON, BLUE MOUNTAIN	0.20	0.20
SULFUR BUCKWHEAT	0.35	0.35

37. APPLY SEED MIXTURE TO ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY AND NOT OTHERWISE SPECIFIED FOR LANDSCAPE TREATMENT OR HARDSSCAPE OR RIP-RAP IMPROVEMENTS PER THESE PLANS.
38. SEED SITE DURING SEASON AS RECOMMENDED BY SEED MANUFACTURER.
39. CLEAR AND ROUGH GRADE THE SITE PRIOR TO SEED APPLICATION.
40. IF NEEDED, INCORPORATE ORGANICS AND NUTRIENTS INTO THE PREPARED SOIL PER RECOMENDATIONS FROM SOILS REPORT.
41. TILL THE SOIL TO A DEPTH OF AT LEAST 6 INCHES AND SMOOTH GRADE SEED BED IMMEDIATELY PRIOR TO HYDROSEED APPLICATION.
42. SLURRY MIX SHALL BE COMPRISED OF WOOD CELLULOSE FIBER MULCH, SEED MIXTURE AND FERTILIZER AS DIRECTED BY THE SEED MANUFACTURER.
43. KEEP HYDROMULCH WITHIN AREAS DESIGNATED AND KEEP FROM CONTACT WITH OTHER PLANT MATERIAL.
44. SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED WITHIN FOUR (4) HOURS OF MIXING SHALL NOT BE USED AND SHALL BE REMOVED FROM THE SITE.
45. IMMEDIATELY AFTER APPLICATION, THOROUGHLY WASH OFF ANY PLANT MATERIAL, PLANTING AREAS, OR PAVED AREAS NOT INTENDED TO RECEIVE SLURRY MIX. KEEP ALL PAVED AND PLANTING AREAS CLEAN DURING MAINTENANCE OPERATIONS.
46. ALL AREAS DESIGNED ON DRAWINGS SHALL BE COVERED UNIFORMLY WITH SPECIFIED MATERIALS USING HYDROMULCHING PROCESSES. IF SURFACES REMAIN UNCOVERED WITHIN THE DESIGNATED AREA, THE CONTRACTOR SHALL SEED WITH REQUIRED MATERIALS THOSE AREAS MISSED BY THE HYDROMULCH APPLICATION. METHOD USED TO SEED THESE MISSED SURFACES SHALL BE AN ALTERNATE SEEDING OPERATION APPROVED BY THE LANDSCAPE ARCHITECT AND SHALL BE ACCOMPLISHED AT NO ADDITIONAL COST TO THE OWNER.
47. KEEP ALL AREAS OF WORK CLEAN, NEAT, AND ORDERLY AT ALL TIMES. KEEP ALL PAVED AREAS CLEAN DURING INSTALLATION OPERATIONS. CLEAN UP AND REMOVAL ALL DELETERIOUS MATERIALS AND DEBRIS FROM THE ENTIRE WORK AREA PRIOR TO FINAL ACCEPTANCE TO THE SATISFACTION OF OWNER.
48. MAKE WRITTEN REQUEST FOR INSPECTION PRIOR TO SEEDING AND AFTER AREAS HAVE BEEN SEEDED. SUBMIT REQUESTS FOR INSPECTIONS TO LANDSCAPE ARCHITECT AT LEAST TWO (2) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
49. THE CONTRACTOR'S MAINTENANCE OF NEW PLANTING SHALL CONSIST OF WATERING, WEEDING, REPAIR OF ALL EROSION AND RESEEDING AS NECESSARY TO ESTABLISH A UNIFORM STAND OF THE SPECIFIED GRASSES. CONTRACTOR SHALL GUARANTEE GROWTH AND COVERAGE OF HYDROMULCH PLANTING UNDER THIS CONTRACT TO THE EFFECT THAT A MINIMUM OF NINETY FIVE (95%) PERCENT OF THE AREA PLANTED WILL BE COVERED WITH SPECIFIED PLANTING AFTER SIXTY (60) DAYS WITH NO BARE SPOTS GREATER THAN TEN (10) SQUARE FEET.
50. CONTRACTOR SHALL MAKE A SECOND APPLICATION OF SPECIFIED HYDROMULCH PLANTING TO BARE AREAS NOT MEETING SPECIFIED COVERAGE AS DETERMINED BY THE ENGINEER. SUCH REPLANTING TO BE PERFORMED WITHIN SIXTY (60) DAYS OF INITIAL APPLICATION AND IMMEDIATELY UPON NOTIFICATION BY LANDSCAPE ARCHITECT TO REPLANT.



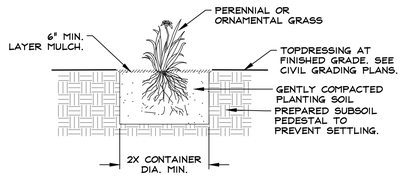
NOTES:
1. DO NOT PERMIT PERSONEL, CONSTRUCTION MATERIALS, OR EQUIPMENT, TEMPORARY OR OTHERWISE, WITHIN PROTECTIVE FENCING. ENTERING PROTECTION AREAS MAY RESULT IN UP TO A $5,000 PENALTY PER VIOLATION PER DAY (TRPA CODE OF ORDINANCE SECT 65.2.1 AND 2).
2. VEGETATION PROTECTION IS REQUIRED FOR ALL PROJECTS AS A CONDITION OF PERMIT ATTACHMENTS.
3. METAL OR WIRE MESH FENCING MAY BE REQUIRED.

TREE PROTECTION FENCING
NOT TO SCALE



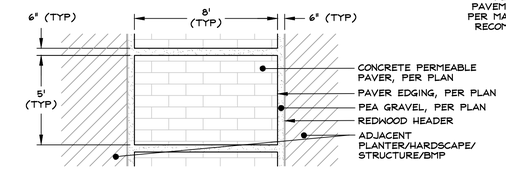
NOTE:
1. REMOVE CONTAINER OR BURLAP IN ITS ENTIRETY FROM SHRUB PRIOR TO PLANTING.
2. NO LANDSCAPE FABRIC (IF USED) SHALL BE PLACED WITHIN 24" OF THE PLANT TRUNK.

SHRUB PLANTING DETAIL
NOT TO SCALE

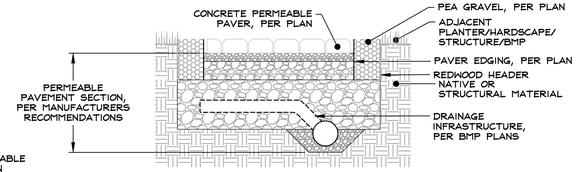


NOTES:
1. CONTRACTOR TO REMOVE ALL STAKING UNLESS OTHERWISE SPECIFIED IN THESES PLANS.
2. NO LANDSCAPE FABRIC (IF USED) SHALL BE PLACED WITHIN 24" OF THE PLANT TRUNK.

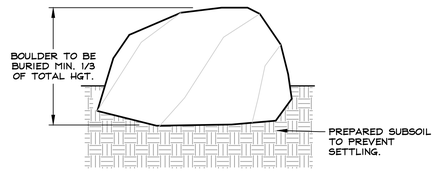
PERENNIAL & ORNAMENTAL GRASS PLANTING DETAIL
NOT TO SCALE



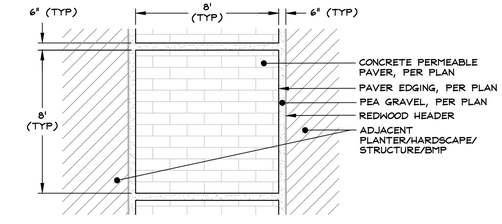
8'x5' PAVER POD DETAIL
NOT TO SCALE



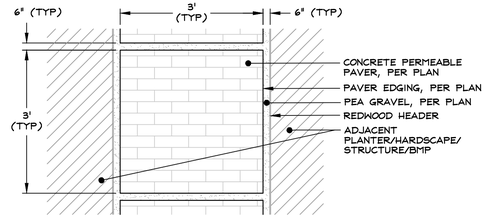
PAVER POD SECTION (TYP)
NOT TO SCALE



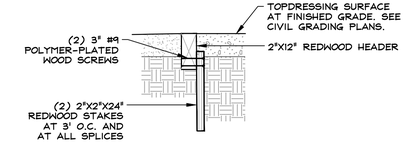
BOULDER DETAIL
NOT TO SCALE



8'x8' PAVER POD DETAIL
NOT TO SCALE



3'x3' PAVER POD DETAIL
NOT TO SCALE



2"X12" REDWOOD HEADER
NOT TO SCALE

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1603 Esmeralda Ave
P.O. Box 2229
Minden, NV 89423
p 775.782.2322
f 775.782.7084

RENO
9060 Double Diamond Pkwy, Unit 1B
Reno, NV 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE
747 LAKEVIEW AVENUE

LANDSCAPE NOTES AND DETAILS

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA
PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L01
SCALE: NONE	SHEET: L1
DATE: 12/22/22	OF: 05 SHEETS

AGENDA ITEM NO. V. A.

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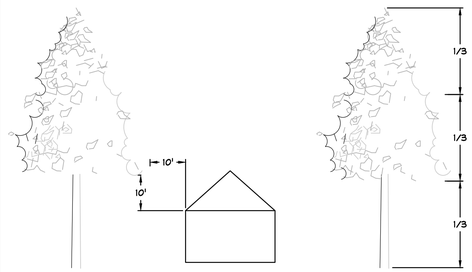
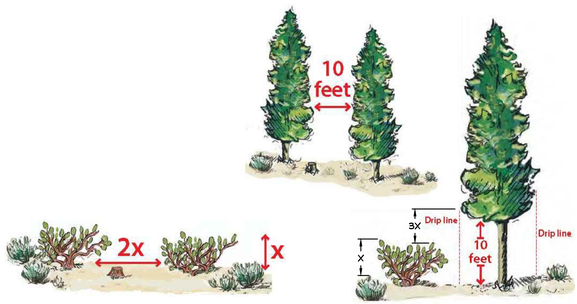


TREE TRIMMING GUIDELINE

NOT TO SCALE



SHRUB SPACING

TREE SPACING

EXISTING VEGETATION THINNING DETAIL

NOT TO SCALE

SPECIFIC REVEGETATION PLAN NOTES:

SYMBOL USED FOR SPECIFIC NOTE CALL OUT.

1. PRESERVE AND PROTECT EXISTING RETAINING WALLS.
2. PRESERVE AND PROTECT EXISTING STAIRS.
3. PRESERVE AND PROTECT ALL TREES IDENTIFIED TO REMAIN, AS INDICATED IN THESE PLANS. (TYP OF ALL)
4. PRESERVE AND PROTECT EXISTING FENCE.
5. PRESERVE AND PROTECT EXISTING GARAGE.
6. PRESERVE AND PROTECT EXISTING VEGETATION.
7. DEMO AND REMOVE EXISTING TREE (TYP OF 2).
8. PROPOSED COMPOSITE TERRACE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
9. PROPOSED PAVER DECK.
10. PROPOSED PAVER WALKWAY.
11. PRESERVE AND PROTECT EXISTING FENCE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
12. PROPOSED GATE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
13. PRESERVE AND PROTECT EXISTING AC PARKING AREA.
14. APPROXIMATE EDGE OF DISTURBANCE. (TYP OF ALL) CONTRACTOR TO FIELD LOCATE AND ADJUST EXTENTS OF REVEGETATION TO ACTUAL EDGE OF DISTURBANCE.
15. PROPOSED RESIDENCE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
16. PROPOSED OUTDOOR KITCHEN. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
17. PROPOSED HVAC UNIT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
18. PROPOSED ENCLOSED MECHANICAL SPACE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

SPECIFIC REVEGETATION NOTES:

1. BROADCAST SEED ONTO A LIGHTLY RIPPED SOIL SURFACE AND RAKED IN TO A MAXIMUM DEPTH OF 1/2 INCH.
2. TOP DRESS WITH FINE ORGANIC WEED FREE SOIL.
3. IRRIGATE SEED MIXTURE AS NECESSARY TO KEEP THE SURFACE CONTINUALLY DAMP DURING THE DAY UNTIL GERMINATION, APPROXIMATELY 2 WEEKS.
4. IRRIGATE ON HOURLY INTERVALS AT 5 -10 MINUTES PER HOUR.
5. ADJUST IRRIGATION TIMES AND FREQUENCY AS NECESSARY TO MAINTAIN OPTIONAL SOIL MOISTURE.
6. PROVIDE REGULAR TEMPORARY IRRIGATION FOR TWO GROWING SEASONS ALLOWING ROOTS TO DEVELOP AT SAFE DEPTHS TO SURVIVE LONG DRY PERIODS.
7. COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS FOR APPLICATION, MAINTENANCE, AND IRRIGATION.

FIRE DEFENSE PLAN NOTES:

GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY TREE REMOVAL PERMITS FROM TAHOE REGIONAL PLANNING AGENCY (TRPA) OR THE LOCAL FIRE DISTRICT PRIOR TO COMMENCING TREE REMOVAL.

SEPARATION BETWEEN TREE BRANCHES & LOWER GROWING PLANTS

1. SEPARATE LADDER FUEL THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER UNDER ALL TREES WITHIN DEFENSIBLE ZONE.
2. PRUNE BRANCHES FROM THE LOWER THIRD OF TREE HEIGHT.
3. DO NOT REMOVE MORE THAN ONE-THIRD OF THE TOTAL TREE BRANCHES WHEN NO UNDERSTORY VEGETATION IS PRESENT.
4. REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST FIVE FEET ABOVE GROUND.
5. FOR TREES WHERE THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER EXTENDS BEYOND THE LOWER THIRD OF TREE HEIGHT, SHORTEN THE HEIGHT OF THE SHRUB OR REMOVE PLANTS BELOW THE TREE.

FOREST TREES

1. ON FLAT OR GENTLY SLOPPING TERRAIN, TREES SHALL BE THINNED TO PROVIDE 10' AVERAGE SEPARATION BETWEEN THE CANOPIES.
2. FOR HOMES LOCATED ON STEEPER SLOPES REFER TO TRPA GUIDELINES FOR SEPARATION FACTOR.
3. STUMPS SHALL BE CUT FLUSH TO THE GROUND FOR TREES LESS THAN 6 INCHES IN DIAMETER AT BREAST HEIGHT, AND WITHIN 6 INCHES OFF THE GROUND FOR TREES LARGER THAN 6 INCHES IN DIAMETER AT BREAST HEIGHT.
4. COAT STUMPS SURFACE WITH POWDERED BORAX TO RETARD THE SPREAD OF ROOT DISEASES.
5. UNHEALTHY, DAMAGED, OR WEAK TREES SHALL BE REMOVED PRIOR TO HEALTHY TREE REMOVAL.
6. RETAIN LESS COMMON SPECIES OF TREES AS POSSIBLE.

SEPARATION BETWEEN TREES & SHRUBS

1. ON FLAT TO GENTLY SLOPING TERRAIN, INDIVIDUAL SHRUBS OR SMALL CLUMPS OF SHRUBS WITHIN THE DEFENSIBLE SPACE ZONE SHALL BE SEPARATED FROM ONE ANOTHER BY AT LEAST TWICE THE HEIGHT OF THE AVERAGE SHRUB.
2. FOR HOMES LOCATED ON STEEPER SLOPES REFER TO TRPA GUIDELINES FOR SEPARATION FACTOR.
3. REMOVE SHRUBS OR PRUNE TO REDUCE THEIR HEIGHT AND/OR DIAMETER.

GUIDELINES FOR TRIMMING TREES

1. ALL RESIDUAL TREES SHALL BE LIMBED TO A HEIGHT OF 10' FEET FROM GROUND
2. LIMBING SHALL NOT TO EXCEED 1/3 OF THE TOTAL TREE HEIGHT.
3. ALL RESIDUAL TREES SHALL BE LIMBED TO ACHIEVE 10' FEET OF CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE.
4. IF REQUIRE LIMING EXCEEDS THE CROWN OR IF LIMBING EXCEEDS THE LOWER 1/3 OF THE TREE THAN THE TREE SHOULD BE REMOVED.

0-5' ZONE

1. INSTALL A NONCOMBUSTIBLE AREA AT LEAST 5' FEET WIDE AROUND THE BASE OF THE STRUCTURE (INCLUDING ALL DECKS.)
2. ALL PINE NEEDLES AND FOREST DUFF SHALL BE REMOVED FROM THIS AREA.
3. ONLY SINGLE SPECIMENS OF WELL MAINTAINED AND WELL IRRIGATED SHRUBS OR TREES SHALL BE PRESENT.
4. ALL BRUSH, TREES OR FLAMMABLE MATERIAL WILL BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR THE TREE GROUP.

5'-30' ZONE

1. ONLY A SMALL AMOUNT OF FLAMMABLE VEGETATION HALL REMAIN WITHIN 30 FEET OF THE STRUCTURE.
2. PLANTS WITHIN THIS AREA SHALL BE KEPT HEALTHY, GREEN AND IRRIGATED DURING FIRE SEASON.
3. ALL TREES OVER 20 FEET TALL SHALL BE LIMBED 10 FEET ABOVE ADJACENT GRADE.
4. REMOVE ANY TREE 14 INCHES DIAMETER OR LESS (OR AS SHOWN ON DRAWINGS) TO CREATE A 10 FOOT SPACE BETWEEN ADJACENT TREE CANOPY PER THE EXISTING VEGETATION THINNING DETAIL ON THIS SHEET.
5. REMOVE ALL DEAD VEGETATION FROM TREES WITHIN 10 FEET ABOVE ADJACENT GRADE.

30'-100' ZONE

1. REMOVE ALL DEAD VEGETATION AND DEBRIS.
2. THIN DENSE STANDS OF SHRUBS AND TREES TO CREATE A SEPARATION PER THE EXISTING VEGETATION THINNING DETAIL ON THIS SHEET.
3. TREE CANOPIES SHALL BE SPACED AT LEAST 10 FEET APART UNLESS TREES GROUP CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT.
4. REFER TO THE EXISTING VEGETATION THINNING DETAIL ON THIS SHEET FOR BRUSH THINNING IN THIS AREA.
5. A 3 INCH DEEP MAXIMUM PINE NEEDLE LAYER SHALL BE PRESERVED WITHIN ZONE 3.

PLANT SCHEDULE

REVEGETATION	QTY	COMMON / BOTANICAL NAME	CONT
	4,495 SF	MURPHY RESIDENCE RESEED MIX / MIX# 23G184 747 LAKEVIEW RESEED MIX	HYDROSEED

SCALE: 1" = 10'

NO.	DATE	REVISION BLOCK	BY

SCALE: 1" = 10'

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MINDEN
1603 Esmeralda Ave
P.O. Box 2229
Minden, NV 89423
p 775.782.2322
f 775.782.7084
RENO
9060 Double Diamond Pkwy, Unit 1B
Reno, NV 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE

747 LAKEVIEW AVENUE

REVEGETATION PLAN AND SCHEDULE AND FIRE DEFENSE PLAN

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA

PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L02
SCALE: 1" = 10'	SHEET: L2
DATE: 12/22/22	OF: 05 SHEETS

AGENDA ITEM NO. V. A.

PLANT SCHEDULE

TREES	QTY	COMMON / BOTANICAL NAME	CAL
	7	EXISTING TREE / EXISTING TREE TO BE PRESERVED PRESERVE AND PROTECT IN PLACE. REFER TO SITE PLAN FOR CAL. SIZE	N/A
	5	SCENIC SCREENING TREE / EXISTING TREE TO BE PRESERVED PRESERVE AND PROTECT IN PLACE. REFER TO SITE PLAN FOR CAL. SIZE	N/A
	2	EXISTING TREE / TO BE REMOVED REFER TO SITE PLAN FOR CAL. SIZE	VARIES
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT
	10	ARCTIC FIRE® RED TWIG DOGWOOD / CORNUS STOLONIFERA 'FARROW'	5 GAL MIN.
	3	MAGICALB GOLD FORSYTHIA / FORSYTHIA X INTERMEDIA 'KOLGOLD'	5 GAL MIN.
	2	'FLAMINGO WILLOW / SALIX INTEGRA 'FLAMINGO'	5 GAL MIN.
	12	WHITE SYMPHONY™ SNOWBERRY / SYMPHORICARPOS X 'KOLMASYWH'	5 GAL MIN.
BOULDERS AND STEP STONES	QTY	COMMON / BOTANICAL NAME	CONT
A	6	1'-2' HGT. / BOULDER NATIVE GRANITE	N/A
C	9	3'-4' HGT. / BOULDER NATIVE GRANITE	N/A
B	7	2'-3' HGT. / BOULDER NATIVE GRANITE	N/A
D	2	4' + HGT. / BOULDER NATIVE GRANITE	N/A
	6	8' X 8' / PAVER POD	N/A
	15	3' X 3' / PAVER POD	N/A
	1	8' X 5' / PAVER POD	N/A
ORNAMENTAL GRASS	QTY	COMMON / BOTANICAL NAME	CONT
	5	KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'STRICTA'	5 GAL MIN.
	17	ELIJAH BLUE FESCUE / FESTUCA GLAUCA 'ELIJAH BLUE'	1 GAL MIN.
PERENNIAL	QTY	COMMON / BOTANICAL NAME	CONT
	15	SWEET WOODRUFF / GALIUM ODORATUM	1 GAL MIN.
	6	WHITE CREEPING PHLOX / PHLOX SUBULATA 'WHITE'	1 GAL MIN.

PLANT SCHEDULE

HARDSCAPE	QTY	COMMON / BOTANICAL NAME	CONT
	906 SF	COMPOSITE DECK PER ARCHITECTURAL PLANS	N/A
	856 SF	BASALITE PERMABLE PAVERS / PERMEABLE PLANK PAVER IN TRUCKEE RANDOM RUNNING BOND PATTERN. INSTALL PER MANUFACTURER RECOMMENDATIONS	N/A
TOPDRESSING	QTY	COMMON / BOTANICAL NAME	CONT
	633 SF	TOP DRESSING DRY CREEK BED MIXED NATIVE RIVER ROCK MIXTURE TO CONTAIN 30% 3" X 8" SEMI ROUND ROCK/30% 1" X 3" SEMI ROUND ROCK/20% 1 1/2" SEMI ROUND ROCK/20% 3/4" SEMI ROUND ROCK.	8" DEEP MIN
	1,611 SF	3/8 / TOP DRESSING PEA GRAVEL SALT AND PEPPER	3" DEEP MIN

LANDSCAPE FEATURE SCHEDULE

SYMBOL	DESCRIPTION	QTY
	REDWOOD HEADER. REFER TO DETAILS ON SHEET L1	325 LF
	GATOR EDGE RESTRAINT - FLEX PAVER EDGING OR APPROVED EQUIVALENT. INSTALL PER MANUFACTURER DIRECTIONS.	435 LF

SPECIFIC REVEGETATION PLAN NOTES:

○ SYMBOL USED FOR SPECIFIC NOTE CALL OUT.

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3. PRESERVE AND PROTECT ALL TREES IDENTIFIED TO REMAIN, AS INDICATED IN THESE PLANS. (TYP OF ALL)
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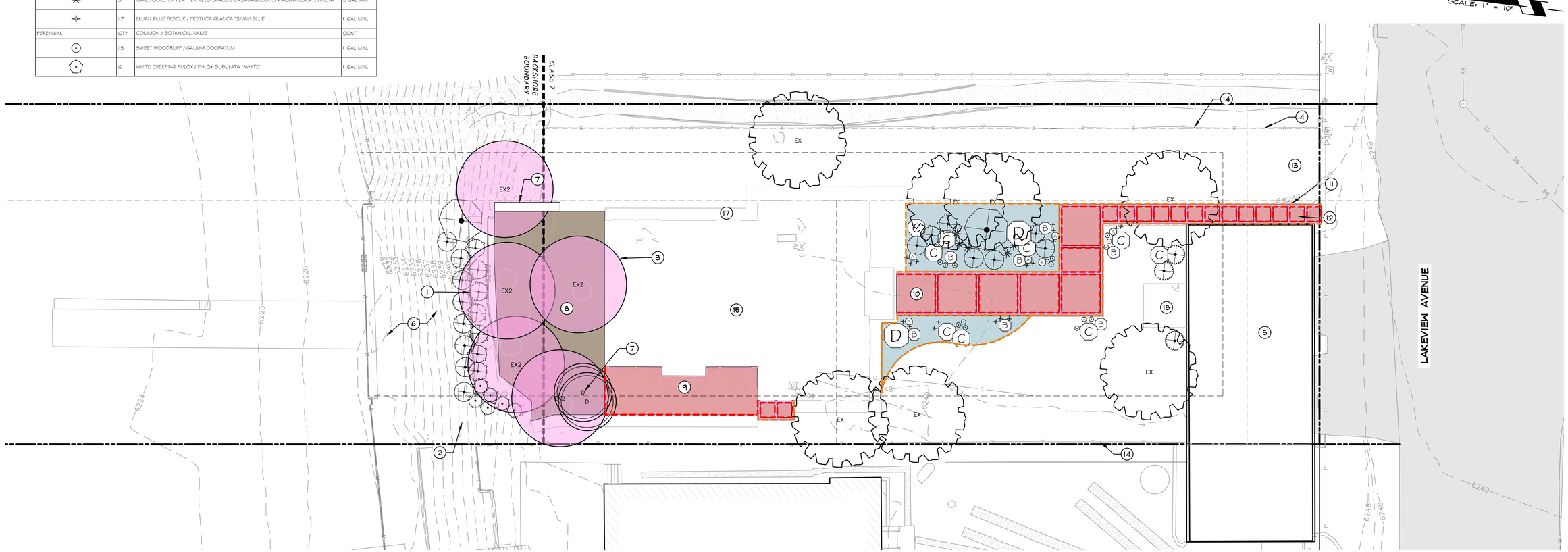
SCALE: 1" = 10'



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P.O. Box 2229
Minden, NV. 89423
p 775.782.2322
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RENO
9060 Double Diamond Pkwy, Unit 1B
Reno, NV. 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE
747 LAKEVIEW AVENUE

LANDSCAPE PLAN AND SCHEDULE

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA
PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L03
SCALE: 1" = 10'	SHEET: L3
DATE: 12/22/22	OF: 05 SHEETS

AGENDA ITEM NO. V. A.

IRRIGATION NOTES

GENERAL:

1. REFER TO THE IMPROVEMENT PLANS FOR UTILITY LOCATIONS & FINAL GRADING. IF THE ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTIONS AS TO HOW TO PROCEED.
2. VERIFY THE LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PARTS OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
3. PRIOR TO COMMENCING CONSTRUCTION, CONTACT THE UNDERGROUND UTILITY LOCATING SERVICES FOR UTILITY LOCATION & IDENTIFICATION.
4. PERFORM ALL EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE, & IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK & DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY & AT NO EXPENSE TO THE OWNER.
5. THE SCOPE OF THE WORK INCLUDES, BUT IS NOT LIMITED TO, ALL INSTALLATION & MATERIALS REQUIRED TO COMPLETE A WORKING IRRIGATION SYSTEM.
6. ALL SUBSTITUTION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL PERMITS.
8. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER THE FINAL INSPECTION HAS BEEN COMPLETED.
9. CHANGES TO SPECIFICATIONS OR DETAILS MAY BE NECESSARY TO PROVIDE A PROPERLY WORKING IRRIGATION SYSTEM. IF CHANGES ARE REQUIRED TO MEET THE NEEDS OF A SPECIFIC PROBLEM, THE CHANGES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.

GENERAL CONSTRUCTION INFORMATION:

10. ALL IRRIGATION COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S & LOCAL GOVERNMENT REQUIREMENTS.
11. FIELD LOCATE ALL IRRIGATION COMPONENTS TO AVOID CONTACT WITH EXISTING & PROPOSED SITE ELEMENTS.
12. ALL IRRIGATION COMPONENTS SHALL BE KEPT TO THE SIDE OF ALL PLANTING MATERIALS.
13. ALL IRRIGATION COMPONENTS SHALL BE NEW & HAVE NO DEFECTS.
14. INSTALL IRRIGATION COMPONENTS AS SPECIFIED BY THE MANUFACTURER, UNLESS SPECIFIED ON PLAN.
15. COORDINATE ALL SLEEVE INSTALLATION WITH THE PAVING CONTRACTOR.
16. ALL VALVES TO BE HOUSED IN GREEN VALVE BOXES BELOW GRADE IN PLANTING BEDS.
17. SIZE VALVE BOXES TO ALLOW 6" MIN. CLEARANCE AROUND ALL EQUIPMENT SUPPLY 3" MIN. OF DRAINAGE ROCK (2" MIN. BELOW ALL VALVES.) PROVIDE VALVE BOX EXTENSIONS IF NECESSARY TO MEET FINISH GRADES.
18. ALL CONTROL & PRESSURE REGULATING VALVES ARE TO BE LOCATED IN THE PLANTER AREAS. ALL WATER METERS & BACKFLOW PREVENTERS ARE TO BE LOCATED IN THE PLANTER AREAS. CONTROLLERS ARE TO BE FIELD LOCATED AS SHOWN ON THE PLANS.
19. ALL DRAIN VALVES SHALL BE LOCATED AT LOW POINTS ON ALL LATERAL & MAIN LINES & SHALL BE DRAINED PRIOR TO THE ONSET OF FREEZING TEMPERATURES.
20. DESIGN PRESSURE IS A MINIMUM OF 60 P.S.I. AT THE POINT OF CONNECTION. CHECK PRESSURE PRIOR TO COMMENCEMENT OF WORK, & IF THERE IS A SIGNIFICANT PRESSURE DIFFERENCE, CONTACT THE LANDSCAPE ARCHITECT.
21. ALL IRRIGATION LINES SHALL BE SLOPED TO DRAIN. INSTALL MANUAL DRAINS AFTER BACKFLOW DEVICE & WHERE EVER ELSE IS NEEDED FOR PROPER WINTERIZATION. CONSTRUCT GRAVEL SUMPS (6 CU. FT.) UNDER MAINLINE DRAINS.
22. ANY PIPE OR FITTINGS WHICH ARE LOCATED ABOVE GROUND SHALL BE GALVANIZED. ALL GALVANIZED MATERIALS LOCATED BELOW GROUND SHALL BE WRAPPED IN BLACK 10 MIL TAPE TO 1" ABOVE THE FINAL GRADE.
23. PIPE INSTALLATION SHALL ACCOMMODATE ALL SHRINKAGE & EXPANSION.
24. ALL PIPE INSTALLATION SHALL BE CONDUCTED AT TEMPERATURES ABOVE 40 DEGREES F.
25. ALL JOINTS SHALL BE SEALED AS PER MANUFACTURER'S INSTRUCTION, & HAVE 4-5 FULL TURNS OF TEFLON TAPE AT ALL CONNECTIONS.
26. ALL DRIP TUBING SHALL BE BURIED 6" BELOW SOIL SURFACE & SECURED WITH TUBING STAKES EVERY 25' OR AS NEEDED.
27. ALL PLANT MATERIAL SHALL HAVE THE LISTED BUBBLERS INSTALLED EVENLY AROUND THE BASE OF EACH PLANT.
    - (2) 2 GAL (& LTR) EMITTER FOR EACH 2 GAL PLANT
    - (5) 2 GAL (& LTR) EMITTER FOR EACH 5 GAL PLANT
    - (3) 5 GAL (& LTR) EMITTER FOR EACH TREE
28. BACKFLOW DEVICE ENCLOSURE SHALL BE CONSTRUCTED OF FIBERGLASS & ENCLOSURE SHALL BE BOLTED TO A CONCRETE PAD USING GALVANIZED STEEL HARDWARE. ENCLOSURE SHALL HAVE A LOCKABLE HINGE ON ONE END THAT ALLOWS FOR REMOVAL OF THE ENCLOSURE FOR BACKFLOW SERVICE.
29. INSTALL A SLIP X SLIP X 1" THREADED TEE WITH A RISER & A THREADED CAP AFTER THE BACKFLOW PREVENTER.
30. CONTROL WIRING TO BE 14-1 U.F. WITH NON WHITE JACKET. COMMON WIRING TO BE 12-1 U.F. WITH WHITE JACKET. PROVIDE 1 EXTRA WIRE FOR BACKUP, & LOOP INTO EACH VALVE BOX. ALL EXTRA WIRES TO BE OF A DIFFERENT COLOR. ALL WIRES SHALL BE CONNECTED TO VALVES WITH A WATERPROOF CONNECTION.
31. ALL WIRES SHALL BE BURIED DIRECTLY UNDER PIPE WHEN POSSIBLE.
32. ALL SPARE PARTS, REQUIRED SYSTEM TOOLS, & SPECIFICATION & INSTRUCTIONAL MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT BEFORE THE FINAL INSPECTION. SPARE PARTS SHALL INCLUDE BUT ARE NOT LIMITED TO:
    - 1 OF EACH TYPE OF IRRIGATION HEAD
    - 10 OF EACH TYPE OF IRRIGATION EMITTER
    - 1 MANUAL VALVE KEY OR HANDLE
    - ANY & ALL TOOLS REQUIRED FOR THE MAINTENANCE OF THE INSTALLED SYSTEM
33. ALL SOIL COMPACTION FOR BACKFILL SHALL MATCH ADJACENT SOIL COMPACTION DENSITY.
34. A COMPLETE SYSTEM FLUSHING, AT 1.5 TIMES THE STATIC PRESSURE FOR 2 CONTINUOUS HOURS, & INITIAL SYSTEM TESTING SHALL BE CONDUCTED BEFORE BACKFILLING. ALL LEAKS & SYSTEM MALFUNCTIONS SHALL BE REPAIRED & THE SYSTEM SHALL BE RETESTED UNTIL A SATISFACTORY RESULT IS PRODUCED.

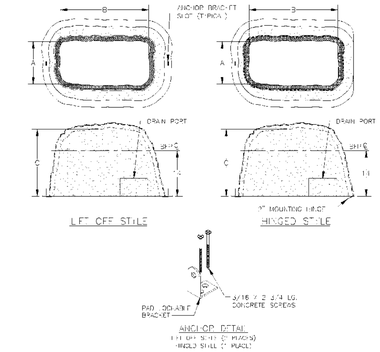
EXISTING IRRIGATION EXPANSION AND MODIFICATIONS:

35. IF APPLICABLE, ALL EXISTING IRRIGATION MODIFICATIONS SHALL BE CONDUCTED SO TO AVOID ANY INTERRUPTION TO REGULAR WATERING SCHEDULE FOR ALL REMAINING PLANT MATERIAL. IN THE EVENT A SCHEDULE INTERRUPTION CAN NOT BE AVOIDED, CONTRACTOR SHALL HAND WATER ALL REMAINING PLANT MATERIAL UNTIL THE REGULAR WATERING SCHEDULE RESUMES.
36. ALL EXISTING IRRIGATION MATERIALS SHOWN IN THESE PLANS ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING ALL EXISTING MATERIALS THAT ARE RELATED TO THE DESIGN OF THE PROPOSED IRRIGATION IMPROVEMENTS.
37. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ELEMENTS RELATED TO THE PROPOSED IRRIGATION IMPROVEMENTS ARE IN SATISFACTORY CONDITION, ENSURING THE EXISTING MATERIALS MEETS ALL STANDARDS SET IN THESE PLANS, AND ARE IN COMPLIANCE WITH ALL LOCAL, COUNTY, AND FEDERAL/STATE REQUIREMENTS AND WILL RESULT IN A FULLY FUNCTIONING IRRIGATION SYSTEM.
38. ALL EXISTING MATERIALS SHALL BE LOCATED AND VERIFIED PRIOR TO COMMENCING ANY WORK ON THE PROPOSED IMPROVEMENTS. IF ANY OF THE EXISTING COMPONENTS DO NOT MEET THE CONDITIONS SET IN THESE PLANS THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION ON HOW TO PROCEED.
39. CONTRACTOR TO DEMO AND REMOVE ALL EXISTING COMPONENTS ALL EXISTING COMPONENTS NOT NECESSARY FOR THE PROPER FUNCTION OF THE IRRIGATION SYSTEM AND/OR SPECIFIED AS NEW IN THESE PLANS.

TEMPORARY IRRIGATION FOR RESEEDED AREAS:

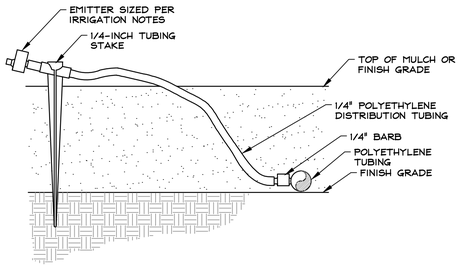
40. CONTRACTOR TO APPLY TEMPORARY IRRIGATION FOR ALL AREAS INTENDED TO BE RESEEDED.
41. IRRIGATE SEED MIXTURE AS NECESSARY TO KEEP THE SURFACE CONTINUALLY DAMP DURING THE DAY UNTIL GERMINATION, APPROXIMATELY 2 WEEKS.
42. IRRIGATE ON HOURLY INTERVALS AT 5 -10 MINUTES PER HOUR.
43. ADJUST IRRIGATION TIMES AND FREQUENCY AS NECESSARY TO MAINTAIN OPTIONAL SOIL MOISTURE.
44. PROVIDE REGULAR TEMPORARY IRRIGATION FOR TWO GROWING SEASONS ALLOWING ROOTS TO DEVELOP AT SAFE DEPTHS TO SURVIVE LONG DRY PERIODS.
45. COMPLY WITH ALL MANUFACTURER RECOMMENDATIONS FOR APPLICATION, MAINTENANCE, AND IRRIGATION.

Fiberglass Hot Rok® Enclosures



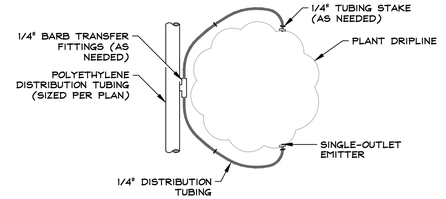
Installation:

1. Provide applicable GFI protected power. UL STND. 943-NEMA 3R. Inside enclosures requiring heat. Mount at least 8" above any discharge point and near the pipe riser on the enclosure access side or install per local code.
2. Pour a full concrete pad 4" thick around valve, allowing a minimum 1" radial space between riser and pad or install on a "Glass Pad™".
3. Place Hot Rok® Enclosure over the valve onto the pad or footer.
4. Use a masonry bit to drill through anchor hinge. Insert concrete screws and bolt firmly to concrete.
5. Mark and mount locking hasp.
6. Mark and mount support rod anchor.
7. For heated enclosures using a self regulating heat trace tape, secure tape to valve with pipe ties or fiberglass/electrician's tape. No pipe insulation is necessary. The Hot Rok® Enclosure provides the necessary insulation.
8. Plug the heat source into the specified circuit/receptacle, after verifying proper voltage.
9. Lower and secure hasp to staple via pad lock (padlock not included).



EMITTER ON 1/4" TUBING DETAIL

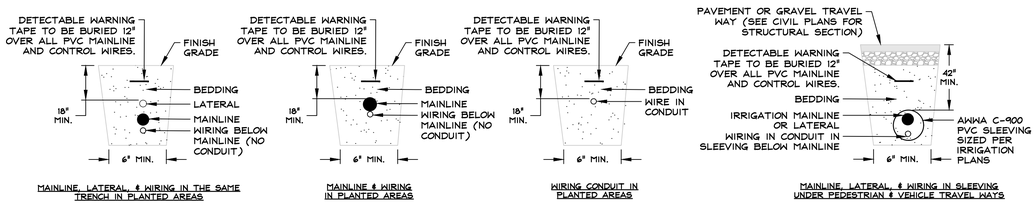
NOT TO SCALE



NOTES:
1. DISTRIBUTE EMITTERS EVENLY AT THE DRIPLINE OF PLANT WITH STREAM POINTING INTO PLANT BASIN IN THE QUANTITY SPECIFIED PER THESE PLANS.

EMITTERS AT PLANT BASE DETAIL

NOT TO SCALE



NOTES:
1. APPLY APPROPRIATE DETAIL BASED ON SLEEVING LOCATION.
2. DETAIL ADDRESSING MULTIPLE IRRIGATION SUPPLY LINES AND WIRING CAN APPLY TO ANY COMBINATION OF LINES IDENTIFIED IN THE DETAIL.

PIPE AND WIRE TRENCH DETAILS

NOT TO SCALE

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f 775.782.7084

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Reno, NV. 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE

747 LAKEVIEW AVENUE

IRRIGATION NOTES AND DETAILS

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA
PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L04
SCALE: NONE	SHEET: L4
DATE: 12/22/22	OF: 05 SHEETS

AGENDA ITEM NO. V. A.

Y:\Client Files\3441\3441-001\CAD\Planning\Landscape\3441-001 L04.dwg 12/22/2022 4:41:10 PM Marie A. Hulse

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
15 Q 15 T 15 H 15 H 15 TQ 15 F	RAIN BIRD 1812-SAM-PRS-U U15 SERIES SHRUB SPRAY, 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	16	30
8 08HE-VAN 12 12HE-VAN 10 10HE-VAN 15 15HE-VAN	RAIN BIRD 1812-SAM-PRS-U HE-VAN SERIES SHRUB SPRAY, 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	10	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD XCZ-100-PRF 1 MEDIUM FLOW DRIP CONTROL KIT, 1IN. DV VALVE, 1IN. PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3 GPM-15 GPM.	2	
	1/2" IRRIGATION DRIPLINE WITH ENDCAP 250 L.F. MAXIMUM RUN PER ZONE	314.8 L.F.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD DVF 1" STANDARD CONFIGURATION, ELECTRIC REMOTE CONTROL VALVE. PLASTIC RESIDENTIAL IN 1IN.. WITH FLOW CONTROL.	3	
	EXISTING SHUT OFF VALVE CONTRACTOR TO FIELD VERIFY LOCATION AND CONDITION OF DEDICATED IRRIGAITON VALVES. ENSURE EQUIPMENT MEETS ALL APPLICABLE REGULATIONS AND SAFETY STANDARDS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF CONDITION, EQUIPMENT, OR LOCATION IS NOT ACCEPTABLE.	1	
D	EXISTING DRAIN VALVE CONTRACTOR TO FIELD VERIFY LOCATION AND CONDITION OF DEDICATED IRRIGAITON VALVES. ENSURE EQUIPMENT MEETS ALL APPLICABLE REGULATIONS AND SAFETY STANDARDS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF CONDITION, EQUIPMENT, OR LOCATION IS NOT ACCEPTABLE.	1	
C	RAIN BIRD ESP4ME3 WITH (1) ESP-SM3 7 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1	
EX 1"	POINT OF CONNECTION EXISTING BFP. CONTRACTOR TO FIELD VERIFY LOCATION AND CONDITION OF DEDICATED IRRIGAITON BFP. ENSURE EQUIPMENT MEETS ALL APPLICABLE REGULATIONS AND SAFETY STANDARDS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF CONDITION, EQUIPMENT, OR LOCATION IS NOT ACCEPTABLE.	1	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	28.2 L.F.	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1/2"	127.7 L.F.	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 3/4"	51.0 L.F.	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1"	41.9 L.F.	
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/4"	8.2 L.F.	
	IRRIGATION MAINLINE: PVC SCHEDULE 40 1 1/2"	151.9 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 IRRIGATION SLEEVE	19.6 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 1" MIN. IRRIGAITON WIRE SLEEVE	19.4 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 3" MIN. IRRIGATION DRIPLINE SLEEVE	10.0 L.F.	

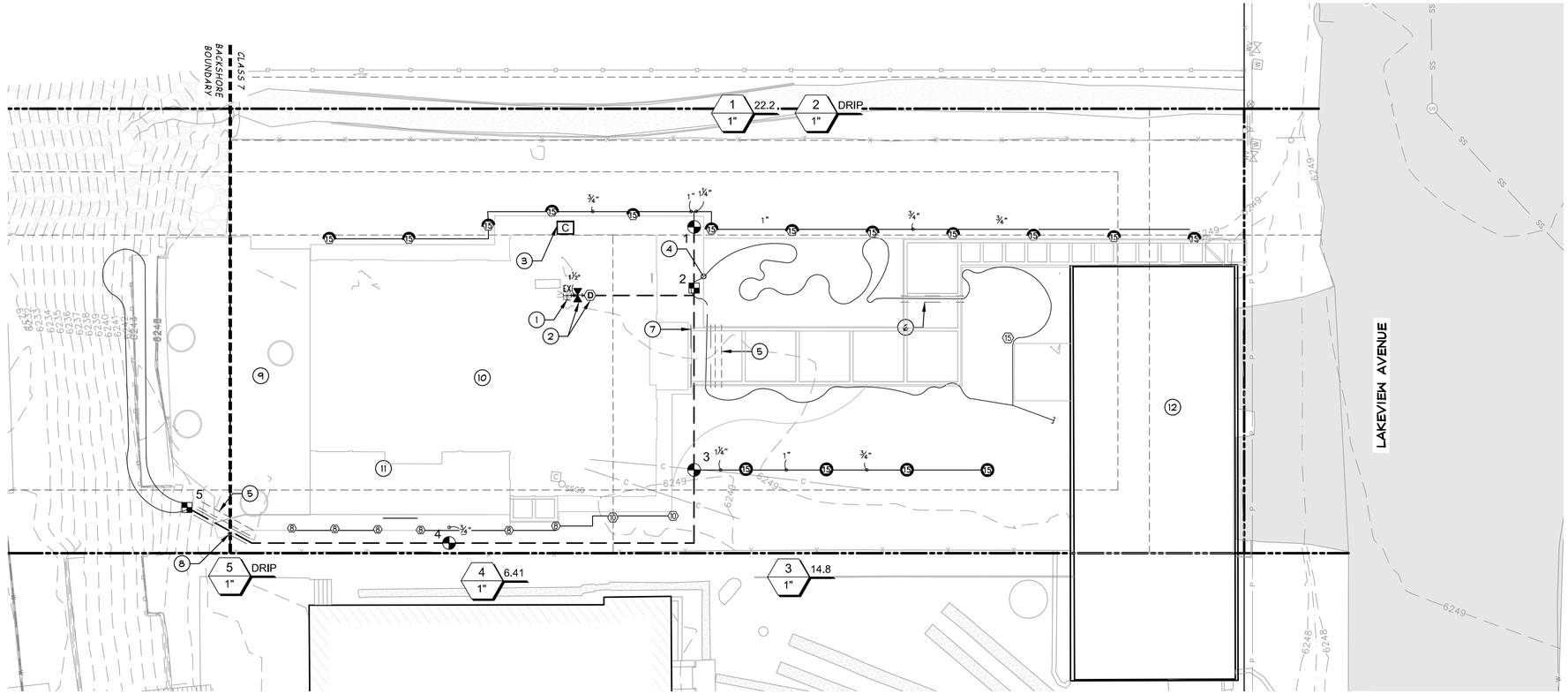
Valve Callout
Valve Number
Valve Flow

SPECIFIC IRRIGATION PLAN NOTES:

○ SYMBOL USED FOR SPECIFIC NOTE CALL OUT.

1. EXISTING IRRIGATION BACKFLOW PREVENTER. TO BE FIELD VERIFIED BY CONTRACTOR.
2. EXISTING IRRIGATION VALVES. TO BE FIELD VERIFIED BY CONTRACTOR.
3. CONTROLLER. REFER TO DETAIL ON SHEET L4.
4. 3/4" IRRIGATION DRIPLINE WITH CAP.
5. 1" MIN IRRIGATION WIRE SLEEVE.
6. 3" MIN. IRRIGATION DRIPLINE ONLY SLEEVE.
7. 4" MIN. IRRIGATION SLEEVE.
8. 3" MIN. IRRIGATION SLEEVE.
9. DECK
10. RESIDENCE
11. PATIO
12. GARAGE

SCALE: 1" = 10'



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Reno, NV 89521
p 775.782.2322
f 775.782.7084

MURPHY RESIDENCE
747 LAKEVIEW AVENUE

IRRIGATION PLAN AND SCHEDULE

PROFESSIONAL LANDSCAPE ARCHITECT Marie Hulse CALIFORNIA
PRELIMINARY For Review Only

DRAWN: MAH	JOB: 3441-001
LANDSCAPE ARCHITECT: MAH	DRAWING: L05
SCALE: 1" = 10'	SHEET: L5
DATE: 12/22/22	OF: 05 SHEETS

AGENDA ITEM NO. V. A.

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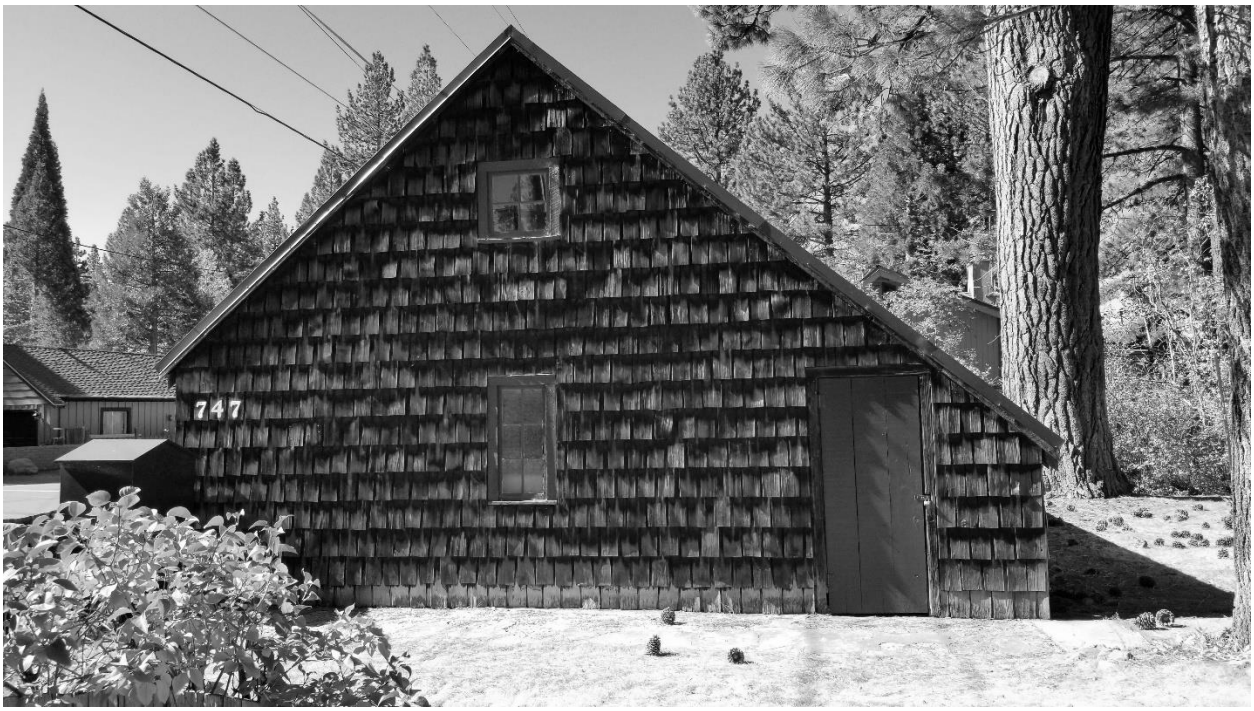
Attachment D
Photos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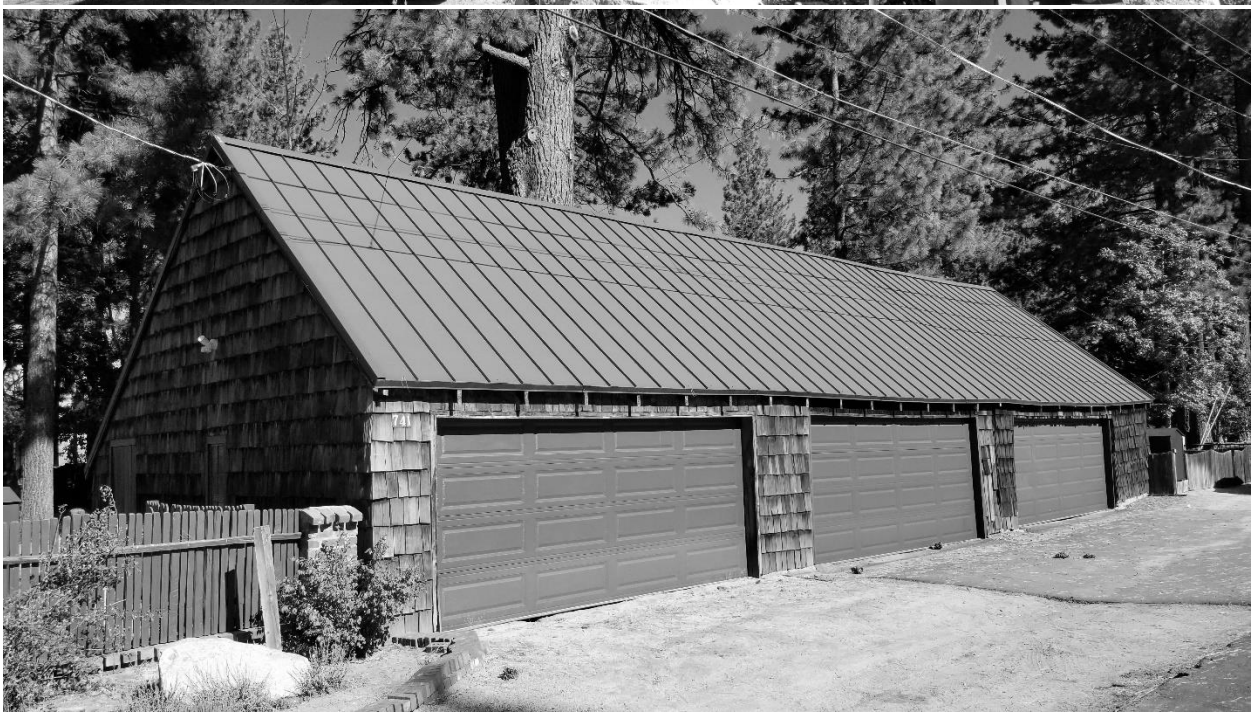

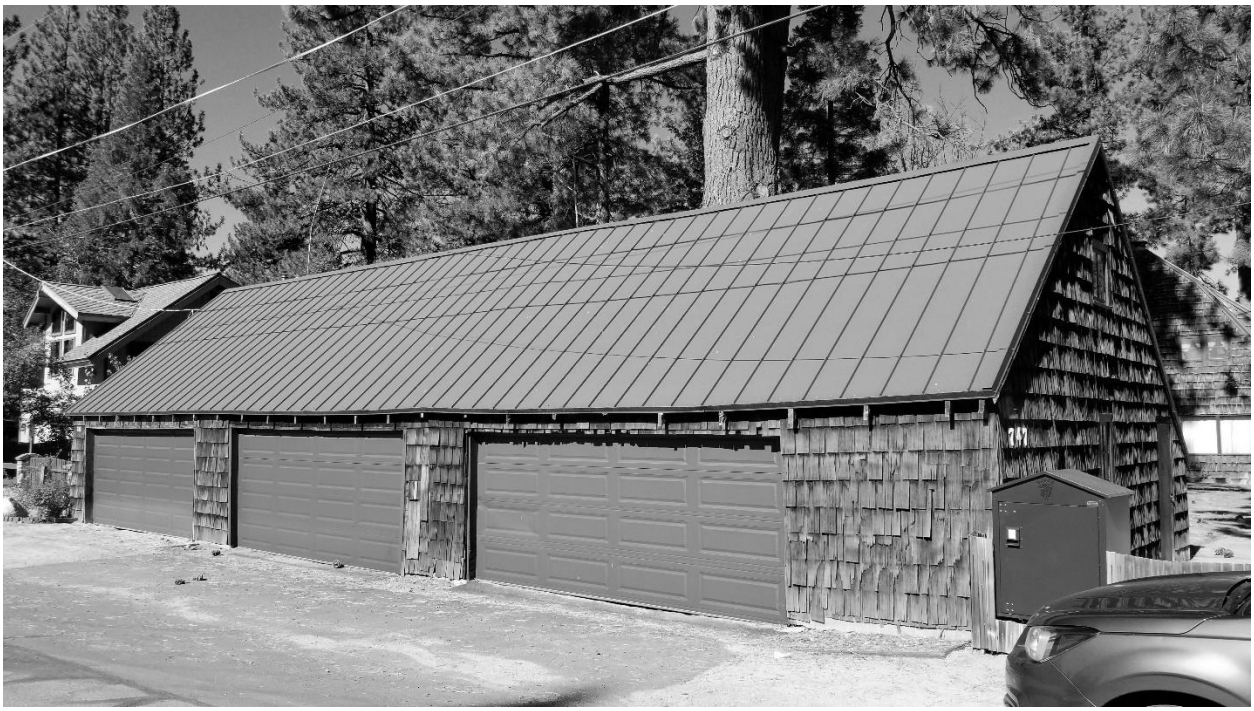

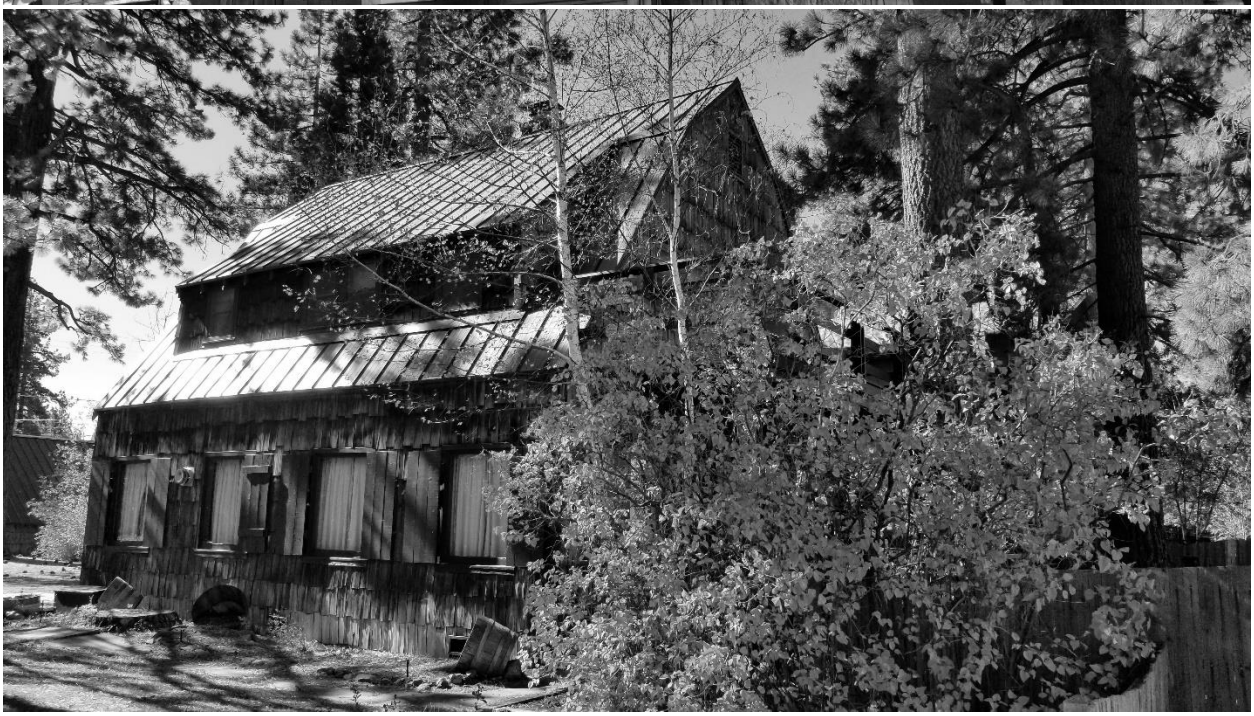

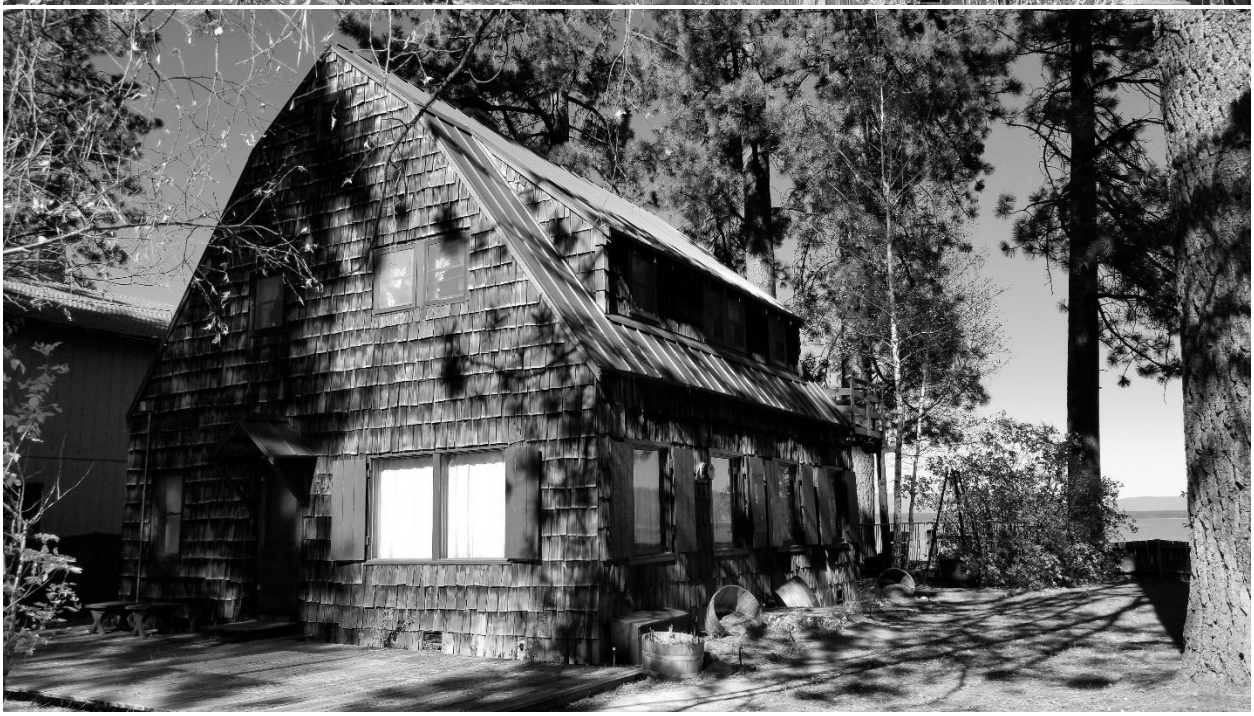

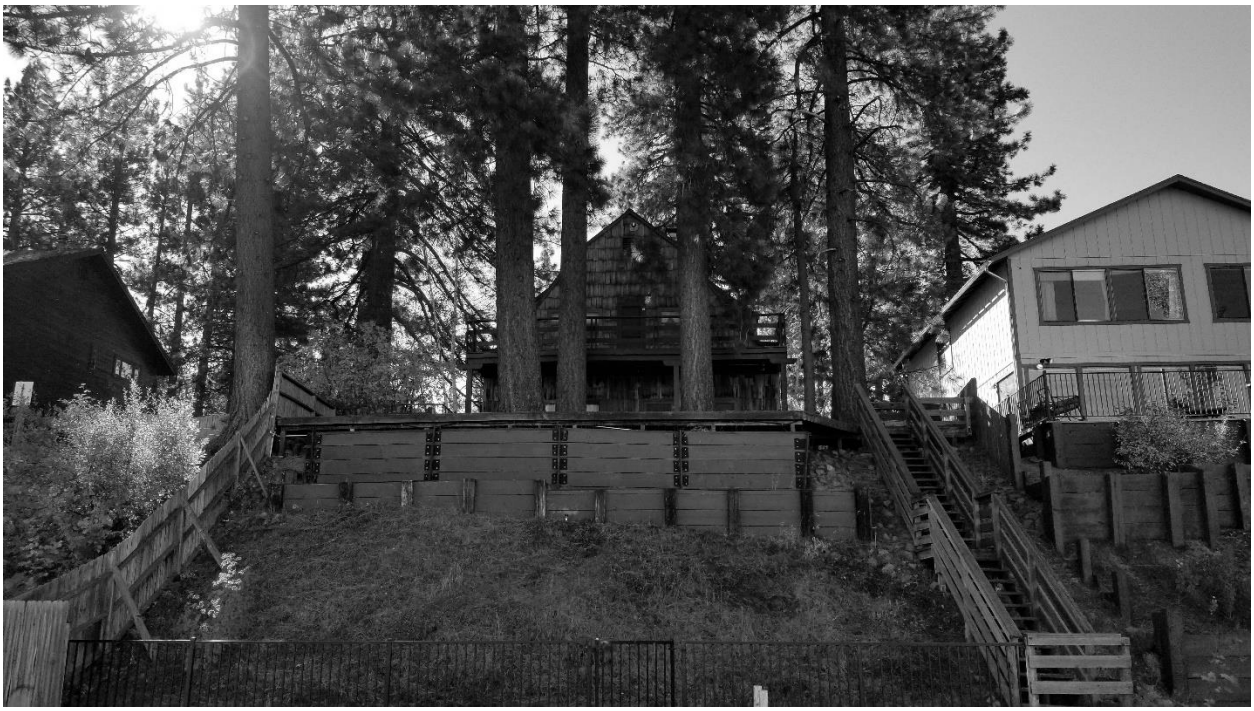

Attachment E
Resource Recovery Plan

RESOURCE RECOVERY PLAN

FOR 747 LAKEVIEW AVENUE
SOUTH LAKE TAHOE, EL DORADO COUNTY, CALIFORNIA

Prepared for:
Exline and Company
P.O. Box 16789
South Lake Tahoe, California 96151

Prepared by:
Erika Johnson and Robert McQueen
Summit Envirosolutions, Inc.
9533 Gateway Drive
Reno, Nevada 89521
Summit Project 2382-0004

Submitted to:
Tahoe Regional Planning Agency
P.O. Box 5310
Stateline, Nevada 89449
File HIST2022-940

February 21, 2023

AGENDA ITEM NO. V. A.

MANAGEMENT SUMMARY

The project consists of the proposed demolition of a cabin in South Lake Tahoe, California. The building consists of a two-story cabin located at 747 Lakeview Avenue (APN 026-021-06-100). The building is in the Al Tahoe subdivision and is considered a potential historic resource under Criterion C.

Prior to the demolition of the cabin, a resource recovery plan was completed by Summit Envirosolutions, Inc. (Summit) per Section 67.7.3.B of the Code of Ordinances of the Tahoe Regional Planning Agency (TRPA Governing Board 2015). This consisted of a field survey and inventory of the property to document the current condition of the buildings, photodocumentation of the resource to be demolished, and the preparation of this report.

TABLE OF CONTENTS

LIST OF FIGURES

PROJECT DESCRIPTION

The project consists of the proposed demolition of an existing, privately-owned cabin in the Al Tahoe subdivision of South Lake Tahoe, El Dorado County, California. The building is a two-story cabin constructed in 1930 in a Resort Rustic style, and is recognized as a potential historic resource under National Register of Historic Places (NRHP) Criterion C by the Tahoe Regional Planning Agency (TRPA File HIST2022-0940). The property is at 747 Lakeview Avenue (APN 026-021-06-100), located in Section 31 of T.13N, R.18E and on the *South Lake Tahoe, CA* 1992 USGS 7.5-minute topographic quadrangle (Figure 1). A garage constructed in 1930 and a pier built in 1954 are also located at the property (Figure 2).

As part of compliance with the Code of Ordinations (Section 67.7.3.B) of the TRPA (TRPA Governing Board 2015), the property owners contracted Summit Envirosolutions, Inc. (Summit) to complete a resource recovery plan. This consisted of a field survey and inventory of the property to document the current condition of the buildings, photodocumentation of the resource to be demolished, and the preparation of this report.

HISTORIC BACKGROUND

The area of Al Tahoe was first settled by Euroamericans as a waystation for travelers in the late 1850s. The Lake Bigler House (or simply Lake House) was built in 1859 by Seneca Dean and William Lapham who owned 320 acres. The hotel burned down in 1866 and the land was then sold to Thomas Rowland. A couple of years later, Rowland Station (or Rowlands) had several homes, buildings, a new hotel, and a dance pavilion and saloon (Scott 1980a:210). After Thomas' death in 1883, his wife Sophronia Rowland continued to operate the station, but mortgaged 400 acres of the property to a rancher. The Rowlands townsite was platted in 1896 and included blocks with lots, named streets, and dedicated public spaces. In 1907, Almerin "Al" R. Sprague took over the property and began marketing the area as "Al Tahoe," which is still referenced today. At least 273 acres were surveyed and the Rowlands town plat was amended as Al-Tahoe. The subdivision included 88 blocks with approximately 16 lots each, the lots measuring about 50 by 120 feet (*Record-Courier* 14 February 1908:1). Sprague built a new inn named the Al Tahoe or Liberty Hotel that had a "music room, billiard room, reading rooms, ladies' parlor, and all the auxiliaries of a first-class inn" (*Sacramento Bee* 29 June 1909:12). Other buildings included the Rubican Cottage with four suites, a store with a post office and express service, and tents for rent. A pier was extended to accommodate steamers. Al Tahoe was advertised mainly toward Sacramento area residents, billing itself as an easily accessible summer resort for families due to the lack of liquor sold there (*Sacramento Bee* 8 April 1908:11). Lots could be purchased to build vacation cottages, and as a real estate investment where the cottages could be rented for enough money to pay for their wholesale cost within four to five years. The Al Tahoe Company offered to build the cottages themselves for the owners and provided an on-site, year-round caretaker. By the 1910s, the Al Tahoe Hotel was managed by M. M. Kaufman and then D. H. Chambers but was still owned by the Al Tahoe Company. The property was sold in 1917 to W. J. Wallace who took over the inn and the town lots.

In 1924, Frank Globin and his wife purchased the inn and possibly all or at least a large portion of the subdivision. Globin was a notorious restaurateur from Sacramento. He began advertising the resort as a winter vacation destination that included sleighing, skiing, sledding, and ice skating. Globin placed a gate across the pier, prompting the summer homeowners of the subdivision to call him the "czar of Al Tahoe" for monopolizing the use of the pier (*Sacramento Bee* 7 August 1928:87). Globin also replaced the existing postmaster of 14 years with his wife.

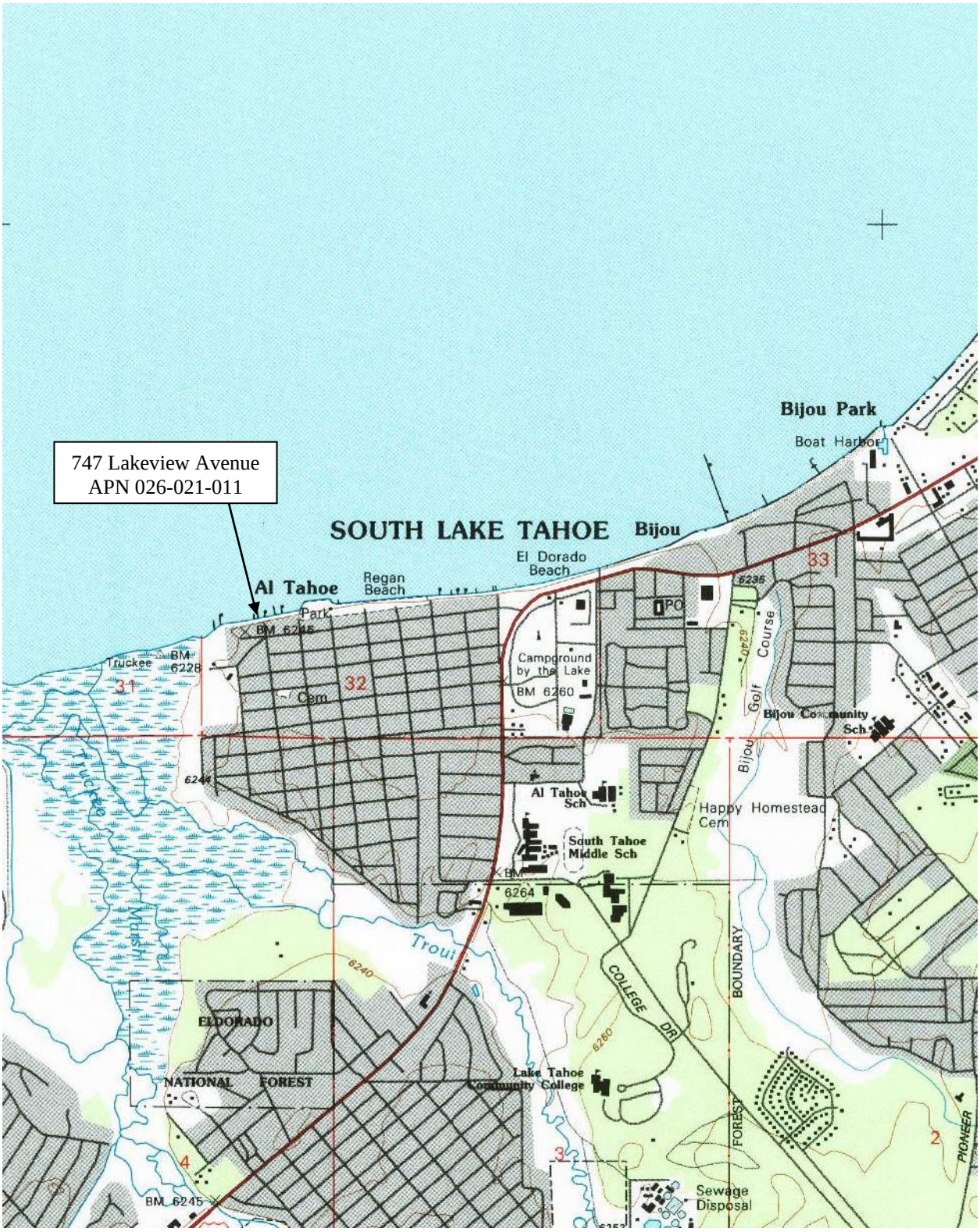

Figure 1. Project Location Map

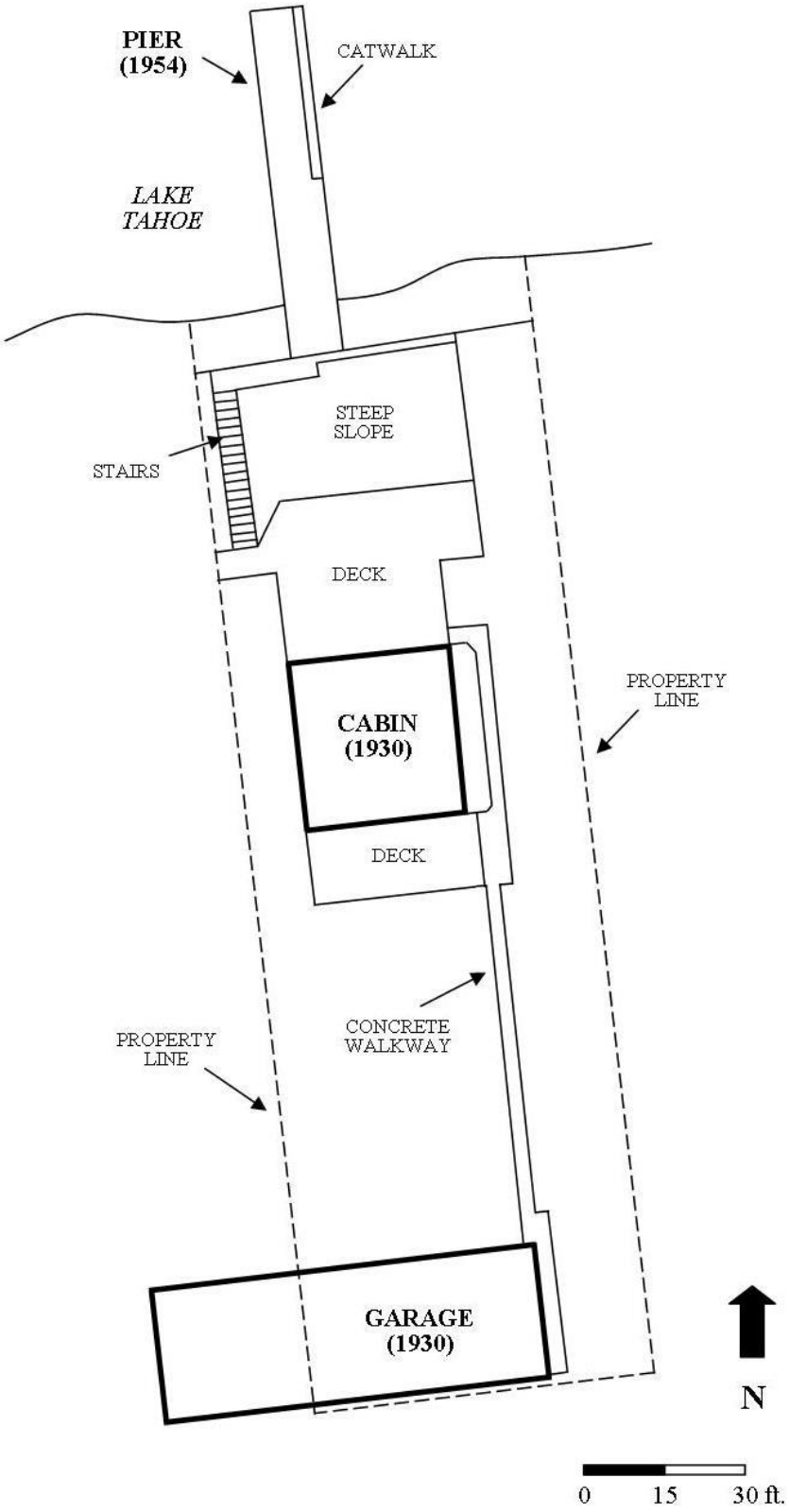

Figure 2. Property Sketch Map

In 1931, the Globins built a two-story "chalet" on the pier that included a dance pavilion and guest quarters. A small building boom took place in Al Tahoe in the early 1930s as a number of summer cottages and log cabins were constructed (*Sacramento Bee* 5 July 1933:7). Globin took advantage of the nearby route of Highway 50 and constructed a new, year-round hotel, market, and restaurant called Globin's Highway Hotel in 1939. In 1945, Aram Harootunian bought the entire Al Tahoe subdivision (Scott 1980b:18). A fire destroyed a portion of Globin's complex along Highway 50 in 1956, and the old Al Tahoe Hotel was eventually abandoned and sold at auction. The inn, pier, and chalet were demolished in 1965.

The current address of 747 Lakeview Avenue is located on Lots 9 and 10 of Block 1 of the Al Tahoe 1 subdivision (Figures 3 through 6). Lots on this block began to sell in 1908 and Lot 9 was purchase by Josie L. Knight in 1910 (*El Dorado Republican and Weekly Nugget* 5 August 1910:6). The present cabin was built on the property in 1930 and it is unknown who constructed the building or owned the land at that time. At some point the property was owned by sisters Velma H. King and Suzanne Leonard, great grandchildren of Peter Lee Hickman. Hickman settled in Sacramento about 1852 and started a family real estate business in 1861 named the Hickman-Coleman Company. Peter's son Frank P. Hickman joined the business in 1905; after his death in 1934 a family trust was created for his three grandchildren: Francis (Frank), Velma, and Suzanne. Frank's son Carleton M. (C. M.) Hickman operated a pear farm in Camino, California and was the president of the El Dorado County Farm Bureau. The property changed ownership in 1968, 1994, 1999, and 2002. These changes may simply be transfers of ownership within the Hickman family, with the final transfer being to Velma Hickman King's son Christopher King. As members of a successful real estate company, the Hickmans likely purchased the property as an investment and also for family vacations. C. M. Hickman is listed as the owner in 1974. The property was recently sold to the Murphy Family Trust in 2022.

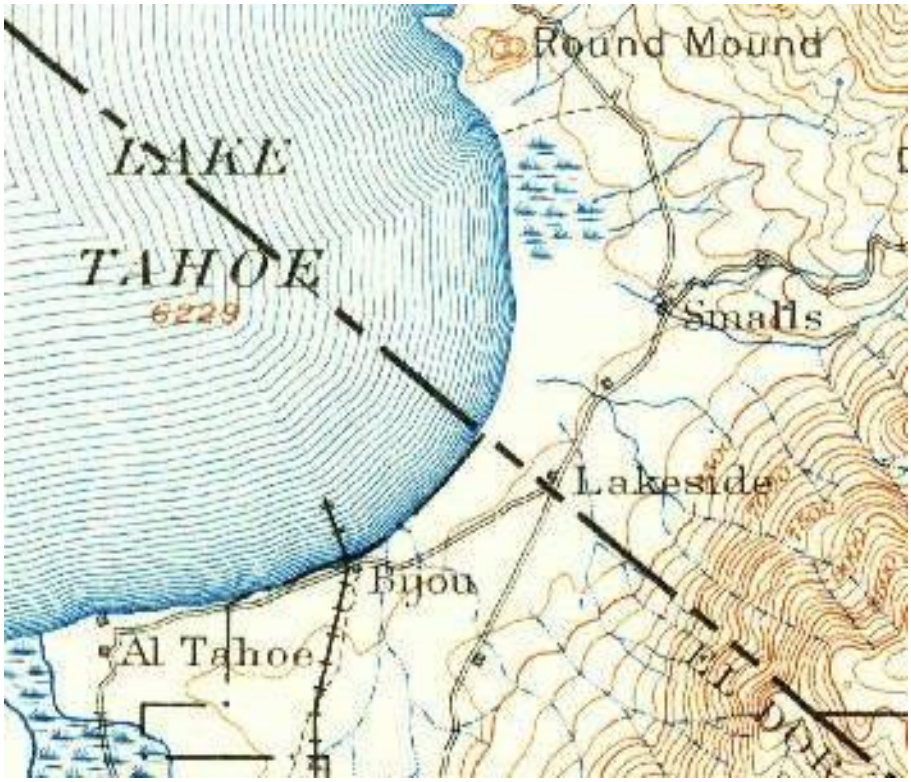

Figure 3. Detail of 1889 *Markleeville, CA* Topographic Map
(USGS 1:125,000 scale map)

Figure 4. Detail of 1945 Amended Map of Al Tahoe Subdivision
(Scott 1980b:19; arrow pointing to Lots 9 and 10 of Block 1)

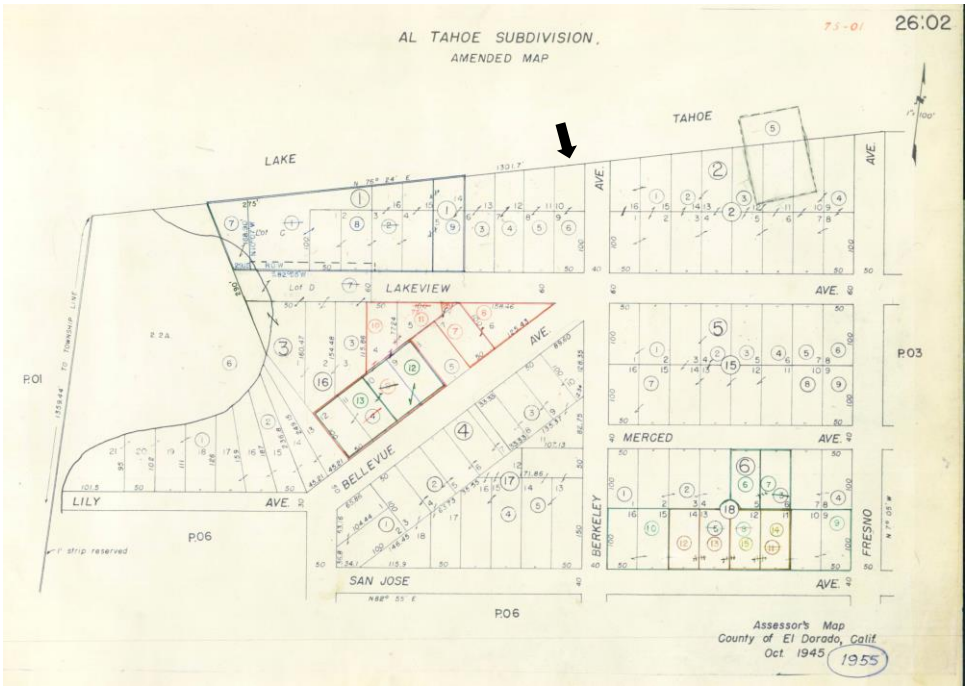

Figure 5. 1955 El Dorado County Assessor's Map
(El Dorado County Assessor's Office; arrow points to Lots 9 and 10 of Block 1)

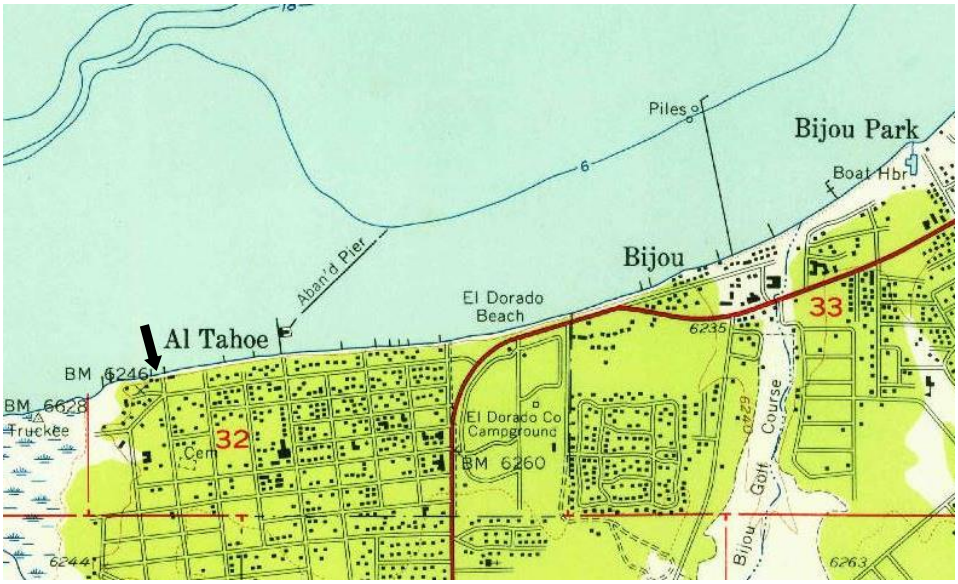

Figure 6. Detail of 1955 *Bijou, CA* Topographic Map
(USGS 1:24,000 scale map; Arrow points to 747 Lakeview Avenue/APN 026-021-011)

ARCHITECTURAL CONTEXT

Several types of architectural styles have been identified within the Lake Tahoe Basin. From about 1900 to 1940, a distinct Lake Tahoe style of architecture, also called "Rustic" or "Resort Rustic" architecture, emerged. The local newspaper routinely carried articles about new construction in the 1930s that showed an overwhelming preference for this "Tahoe-type architecture" (*Tahoe Tattler* 1938, 1939, 1940). Similar to trends used in National Parks for lodges and buildings, and rustic styles in the Adirondacks in upstate New York, the style embraced natural elements that reflected the building's setting (Caterino and Koval 1990). The style is defined by a mixture of native wood and stone on the exterior and interior including the floors, and at least one stone fireplace (Tweed et al. 1977). Large homes built at Lake Tahoe during the turn of the twentieth century embodied this Rustic style. Homes in the Rustic style include the use of unpeeled boards, grouped casement windows, and picture windows. The majority of the Lake Tahoe examples are characterized as vernacular, being small in scale and defined by the use of relatively inexpensive wood trim, such as siding shaped to look like logs, wood and bark shingles, and exposed rafters. True log construction is rare, as is the magnificent stonework often present in high-style examples. Natural finishes are preferred over paint. Gable, hip, and gambrel roofs tend to be moderate to steeply pitched, but can be low pitched on small buildings. Dormers are common. Most Tahoe buildings from this period do not exceed one-and-one half stories and basements are rare (Snyder et al. 2006:10). Rustic single-family residences were seasonally occupied and were considered second homes. These buildings exhibit the economy and practicality of the Rustic style, embracing simple furnishings and décor evoking outdoor sports, Native American and Western heritage, and nature (Mires 2016:47). The appropriateness and popularity of Rustic architecture was and continues to be recognized at Lake Tahoe.

DOCUMENTATION METHODS

A field visit was conducted on October 20, 2022 by Erika Johnson, M.A., RPA. Ms. Johnson meets the Secretary of Interior's Standards for Archaeology and History. This document was supplemented and reviewed by Robert McQueen, M.S., RPA. Mr. McQueen meets the standards for Archaeology, History,

and Historical Architecture. An inventory of the 0.32-acre property was conducted. The cabin was examined and documented and photographs were taken.

RESULTS

Architectural Description

The cabin sets within a partially wooded lakefront property with minimal formal landscaping (Figure 7). The residence was constructed in 1930 and embodies the Tahoe Rustic architecture of vacation cabins built during the first half of the twentieth century. The cabin is a two-story building with a simple square floor plan, consisting of four units over four units. The cabin measures 32 ft. N/S by 30 ft. E/W and is approximately 1,644 ft.^{2} The building contains a living/dining room, kitchen, utility room, bedroom, and half bath on the ground floor and four bedrooms, storage room, and a full bath on the second floor (Figures 8 and 9). The building is constructed with wood balloon framing one a concrete slab foundation. The roof is a steep pitched front gambrel with shed dormers with exposed rafter tails on the east and west sides. The material is green modern crimped sheet metal roofing installed in 1997. The siding is coursed wood shingles. The doors are shiplap panels and all have screen doors that are paneled on the lower half and screened on the upper half. The cabin has wood framed, one-over-one light single hung sash windows, fixed pane windows, and single light hopper windows. Some of the windows on the first floor have wooden shutters. All the windows that open have removable exterior screens. The doors and windows appear to be original to the structure. The trim, window frames, doors, screen doors, and shutters are painted a medium forest green to match the roof. A brick fireplace and chimney are centrally located in the building. Except for the modern roof material and some repairs in 1995, the cabin is essentially in the same condition as built.

Figure 7. Overview of Cabin
(Looking north toward front facade)

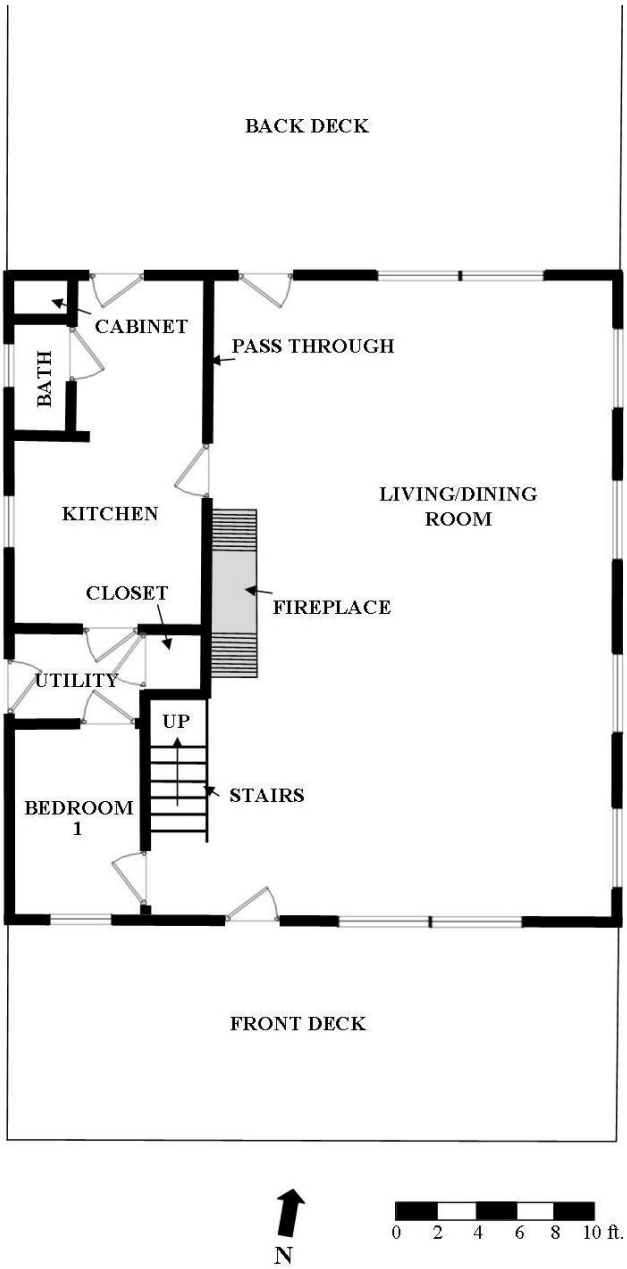

Figure 8. Floor Plan of First Floor

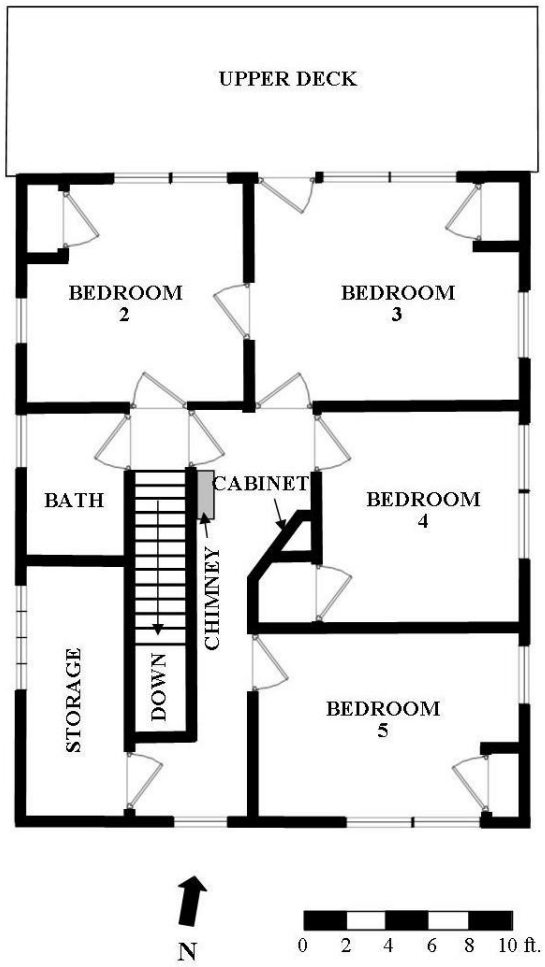

Figure 9. Floor Plan of Second Floor

The front façade or south side of the cabin is the primary elevation of the cabin. This elevation faces south toward Lakeview Avenue. The windows and entry door are asymmetrically placed (Figure 10). The front door is a paneled, shiplap wooden door and screened door under a small traditional style wooden canopy supported by simple wood brackets. The canopy has the same modern green roofing material. To the west of the door is a one-over-one light single hung sash window. To the east of the door are two grouped, square single fixed pane windows with wooden shutters. The second floor has a one-over-one light single hung sash window and two grouped one-over-one light single hung windows. The east elevation has four symmetrically placed, square single fixed pane windows with shutters on the first floor (Figure 11). The second floor has a dormer with four symmetrically placed one-over-one light single hung sash windows, two of which are grouped at the center. The north elevation faces Lake Tahoe. This side of the cabin has asymmetrically placed two square fixed pane windows with wooden shutters at the east end and two paneled, shiplap doors with screened doors on the first floor (Figure 12). The second floor has four one-over-one light single hung sash windows grouped in twos symmetrically placed on both sides of a wood panel door with screen door. The door accesses a small wooden deck. The west elevation has a single light hopper window with stippled privacy glass, two one-over-one light single hung sash windows, and a five-panel wood door with screen door asymmetrically placed on the first floor (Figure 13). The second floor has a dormer with one one-over-one light single hung sash window, a single light hopper window with stippled privacy glass, and a four light fixed pane window with stippled privacy glass.

Figure 10. Southeast Corner of Cabin
(Looking northwest)

Figure 11. East Elevation of Cabin
(Looking west)

Figure 12. North Elevation of Cabin
(Looking south)

Figure 13. Southwest Corner of Cabin
(Looking northeast)

The interior of the cabin has had minimal modern upgrades. The first floor has a large dining and living room area with exposed framing and ceiling beams (Figure 14). This room has a large brick fireplace centrally located within the cabin. The first floor also has a kitchen, a small half bath, a utility room with a sink and a closet, and a small room used as a bedroom. Stairs to the second floor have a wrought iron banister. The second story has four bedrooms with closets, a full bathroom with walk in shower, a storage room, a linen cabinet, and an exposed brick chimney.

Large wooden decks are located at the front and rear of the cabin. The rear deck has been extended, indicated by a change in the direction of the decking (Figure 15). Wooden stairs lead down a steep slope from this extension to a wooden walkway and a pier. The pier was constructed in 1954 and is approximately 6 ft. wide and 60 ft. long (Figure 16). The pier has metal pilings and girders, a catwalk on the east side, and new wood decking. A concrete walkway connects the cabin to a three-bay, six-car garage at Lakeview Avenue (Figure 17). The large, one-and-one-half story garage was built in 1930 according to the county assessor and is shared with the adjoining property to the west (one-third is located at 741 Lakeview Avenue and two-thirds are at 747 Lakeview Avenue). The garage measures 25 ft. N/S by 70 ft. E/W (Figure 18). The structure has coursed, wood shingles for siding and has a moderately-pitched side gable roof with exposed rafter tails and modern green sheet metal roofing. The structure has three modern two-car garage doors on the south elevation. The east elevation has one two-over-three light fixed window and a shiplap paneled door on the ground floor, and one two-over-two light fixed window symmetrically placed on the second half story. The north elevation has a small rectangular single light fixed window near the northeast corner. The west elevation is similar to the east elevation except it lacks the second story window. The three garage doors and door and window on the 741 Lakeview Avenue portion are painted brown, and the windows and door on the 747 Lakeview Avenue portion are painted medium forest green to match the paint on the cabin's trim.

Eligibility

The cabin and garage appear eligible under Criterion C of the NRHP and Criterion 3 of the California Register of Historical Resources (CRHR). The buildings were constructed in 1930 in a Resort Rustic style and retain their integrity of design, materials, workmanship, setting, feeling, and location. The cabin and garage are situated in the Al Tahoe subdivision of South Lake Tahoe but are not directly associated with an important event within the neighborhood or region. It is unknown who designed or built the cabin and garage. Although the property was owned by the Hickman family, the cabin was not a primary residence and is not associated with an important aspect of any of their lives. The cabin and garage are unlikely to yield additional important information about the history of the property or area. Therefore, the buildings fail to meet Criteria A, B, and D of the NRHP and Criteria 1, 2, and 4 of the CRHR.

The pier was constructed in 1954, but has been maintained and repaired over the years. The original wood pilings have been replaced with steel ones and the entire upper structure and decking appear modern. The pier post-dates the construction of the cabin and garage and does not appear eligible for the NRHP or CRHR under any criteria. The pier is not directly related to a specific important event or person in the history of the property or area; it is a common form with replacement materials and is not built in a distinctive architectural style; and it does not have the potential to contribute additional important information about the history of the property.

Figure 14. Fireplace in Living/Dining Room
(Looking northwest)

Figure 15. Back Deck
(Looking east)

Figure 16. Overview of Pier
(Looking north)

Figure 17. Overview of Garage
(Looking northwest)

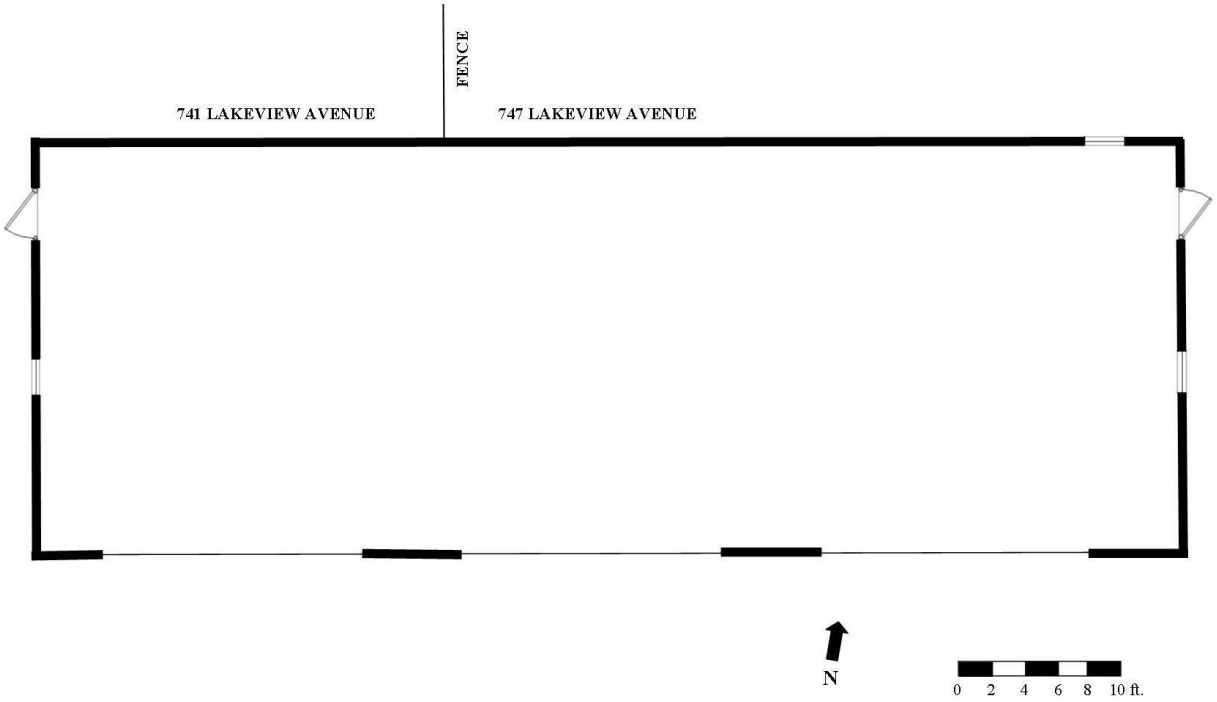

Figure 18. Floor Plan of Garage

QUALIFICATIONS

Erika Johnson is Summit's Cultural Resources Program Manager in the Reno office. Ms. Johnson received an M.A. in Anthropology with a concentration in Historical Archaeology in 2000 from the University of Idaho, and a B.A. in Anthropology in 1991 from San Francisco State University. She has been professionally employed in archaeology since 1993 and has experience working for private cultural resource management firms, as well as the U.S. Forest Service, the Nez Perce Tribe, and the northern repository for the Idaho SHPO. Ms. Johnson has served as principal investigator and project manager on several inventory and data recovery projects, and has written data recovery and inventory reports for projects throughout Nevada, Idaho, Utah, and California.

Robert McQueen is Summit's Principal Investigator. Mr. McQueen received an M.S. in Industrial Archaeology in 1995 from Michigan Technical University, and a B.S. in Anthropology in 1992 from Michigan State University. His graduate work emphasized the built environment – the sites, structures, and landscapes built for and shaped by industry, specifically architectural history of the myriad forms of workers' housing and numerous abandoned mines and mills. He has completed training using HABS/HAER documentation to study architectural history and documenting architectural resources. He has substantial experience in historic, architectural, and archaeological research projects, including preparing inventory reports, testing plans, historic properties treatment plans, and data recovery reports for projects in California, Nevada, Utah, and the Midwest. He has authored and contributed to hundreds of CRM reports, has designed public interpretation products, and has published his research.

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APPENDIX A:
DPR FORM

*P2. **Location:** ☒ **Unrestricted**

***a. County** El Dorado

***b. USGS 7.5' Quad** South Lake Tahoe, Calif. **Date** 1992 **T** 13N; **R** 18E; NW ¼ **of** SW ¼ **of Sec** 32 ; M.D. **B.M.**

c. Address 747 Lakeview Avenue City South Lake Tahoe Zip 96150

d. UTM: Zone 11S, 240984 mE/ 4314774 mN

e. Other Locational Data: APN 026-021-011

***P3a. Description:** This is a cabin, garage, and pier in the Al Tahoe subdivision of South Lake Tahoe, California. The cabin and garage were constructed in 1930 and embody Tahoe Rustic Resort architecture. The pier was built in 1954. The two-story cabin measures 32 ft. N/S by 30 ft. E/W and is approximately 1,644 ft.^{2} The building contains a living/dining room, kitchen, utility room, bedroom, and half bath on the first/ground floor and four bedrooms, storage room, and a full bath on the second floor. The building is constructed with wood balloon framing one a concrete slab foundation. The roof is a steep pitched front gambrel with shed dormers with exposed rafter tails on the east and west sides. The material is green modern crimped sheet metal roofing installed in 1997. The siding is coursed wood shingles. The doors are shiplap panels and all have screen doors. The cabin has wood framed, one-over-one light single hung sash windows, fixed pane windows, and single light hopper windows. Some of the windows on the first floor have wooden shutters. The doors and windows appear to be original to the structure. The trim, window frames, doors, screen doors, and shutters are painted a medium forest green to match the roof. (See Continuation Sheet).

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)

***P3b. Resource Attributes:** Single Family Property HP2; Garage HP4; Pier HP39

***P4.Resources Present:** ☒ Buildings

P5b. Photograph: File 120204, overview of cabin, looking northwest

***P6. Date Constructed/Age and Source:** ☒ Historic
1930 (El Dorado County Assessor)

***P7. Owner and Address:**
Murphy Family Trust
747 Lakeview Avenue
South Lake Tahoe, CA 96150

***P8. Recorded by:** Erika Johnson
Summit Envirosolutions, Inc.
9533 Gateway Drive
Reno, NV 89521

***P9. Date Recorded:** October 20, 2022

***P10. Survey Type:** Intensive

***P11. Report Citation**:
Resource Recovery Plan for 747 Lakeview Avenue, South Lake Tahoe, El Dorado County, California
Erika Johnson and Robert McQueen, Summit Envirosolutions, Inc., Reno, 2023.

***Attachments:** ☒Building, Structure, and Object Record ☒Continuation Sheet ☒Location Map ☒Sketch Map

B1. Historic Name: Unknown
B2. Common Name: None
B3. Original Use: Residence B4. Present Use: Residence
***B5. Architectural Style:** Tahoe Resort Rustic
***B6. Construction History:** The cabin was built in 1930. It is unknown who designed or constructed it. Repairs were made in 1995 and a new roof was installed in 1997.

The current address of 747 Lakeview Avenue is located on Lots 9 and 10 of Block 1 of the Al Tahoe 1 subdivision. Lots on this block began to sell in 1908 and Lot 9 was purchase by Josie L. Knight in 1910. The present cabin was built on the property in 1930 and it is unknown who constructed the building or owned the land at that time. At some point the property was owned by sisters Velma H. King and Suzanne Leonard, great grandchildren of Peter Lee Hickman. Hickman settled in Sacramento about 1852 and started a family real estate business in 1861 named the Hickman-Coleman Company. Peter's son Frank P. Hickman joined the business in 1905; after his death in 1934 a family trust was created for his three grandchildren: Francis (Frank), Velma, and Suzanne. Frank's son Carleton M. (C. M.) Hickman operated a pear farm in Camino, California and was the president of the El Dorado County Farm Bureau. The property changed ownership in 1968, 1994, 1999, and 2002. These changes may simply be transfers of ownership within the Hickman family, with the final transfer being to Velma Hickman King's son Christopher King. As members of a successful real estate company, the Hickmans likely purchased the property as an investment and also for family vacations. C. M. Hickman is listed as the owner in 1974. The property was recently sold to the Murphy Family Trust in 2022.

***B7. Moved?** ☒**No** ☐**Yes** ☐**Unknown** **Date:** N/A **Original Location:** N/A
***B8. Related Features:** Garage HP4 constructed in 1930; Pier HP39 constructed in 1954
B9a. Architect: Unknown b. Builder: Unknown

***B10. Significance: Theme** Recreation and Tourism; Community Development **Area** South Lake Tahoe
Period of Significance 1930 **Property Type** Single family cabin with detached garage and pier
Applicable Criteria The cabin and garage appear eligible under **Criterion C** of the NRHP and **Criterion 3** of the California Register of Historical Resources (CRHR). The buildings were constructed in 1930 in a Resort Rustic style and retain their integrity of design, materials, workmanship, setting, feeling, and location. The cabin and garage are situated in the Al Tahoe subdivision of South Lake Tahoe but are not directly associated with an important event within the neighborhood or region. It is unknown who designed or built the cabin and garage. Although the property was owned by the Hickman family, the cabin was not a primary residence and is not associated with an important aspect of any of their lives. The cabin and garage are unlikely to yield additional important information about the history of the property or area. Therefore, the buildings fail to meet Criteria A, B, and D of the NRHP and Criteria 1, 2, and 4 of the CRHR. (See Continuation Sheet).

B11. Additional Resource Attributes: N/A

***B12. References:** None
B13. Remarks: N/A
***B14. Evaluator:** Robert McQueen, M.S.
***Date of Evaluation:** Feb. 15, 2023

P3a: Description: A brick fireplace and chimney are centrally located in the building. The front façade or south side of the cabin is the primary elevation of the cabin. This elevation faces south toward Lakeview Avenue. The windows and door are asymmetrically placed. The front door is a paneled, shiplap wooden door and screened door under a small traditional style wooden canopy supported by simple wood brackets. The canopy has the same modern green roofing material. To the west of the door is a one-over-one light single hung sash window. To the east of the door are two grouped, square single fixed pane windows with wooden shutters. The second floor has a one-over-one light single hung sash window and two grouped one-over-one light single hung windows. The east elevation has four symmetrically placed, square single fixed pane windows with shutters on the first floor. The second floor has a dormer with four symmetrically placed one-over-one light single hung sash windows, two of which are grouped at the center. The north elevation faces Lake Tahoe. This side of the cabin has asymmetrically placed two square fixed pane windows with wooden shutters at the east end and two paneled, shiplap doors with screened doors on the first floor. The second floor has four one-over-one light single hung sash windows grouped in twos symmetrically placed on both sides of a wood panel door with screen door. The door accesses a small wooden deck. The west elevation has a single light hopper window with stippled privacy glass, two one-over-one light single hung sash windows, and a five-panel wood door with screen door asymmetrically placed on the first floor. The second floor has a dormer with one one-over-one light single hung sash window, a single light hopper window with stippled privacy glass, and a four light fixed pane window with stippled privacy glass.

The interior of the cabin has had minimal modern upgrades. The first floor has a large dining and living room area with exposed framing and ceiling beams. This room has a large brick fireplace centrally located within the cabin. The first floor also has a kitchen, a small half bath, a utility room with a sink and a closet, and a small room used as a bedroom. Stairs to the second floor have a wrought iron banister. The second story has four bedrooms with closets, a full bathroom with walk in shower, a storage room, a linen cabinet, and an exposed brick chimney.

Large wooden decks are located at the front and rear of the cabin. The rear deck has been extended, indicated by a change in the direction of the decking. Wooden stairs lead down a steep slope from this extension to a wooden walkway and a pier. The pier was constructed in 1954 and is approximately 6 ft. wide and 60 ft. long. The pier has metal pilings and girders, a catwalk on the east side, and new wood decking. A concrete walkway connects the cabin to a three-bay, six-car garage at Lakeview Avenue. The one-and-one-half story garage was built in 1930 and is shared with the adjoining property to the west (one-third is located at 741 Lakeview Avenue and two-thirds are at 747 Lakeview Avenue). The garage measures 25 ft. N/S by 70 ft. E/W. The structure has coursed, wood shingles for siding and has a moderately-pitched side gable roof with exposed rafter tails and modern green sheet metal roofing. The structure has three modern two-car garage doors on the south elevation. The east elevation has one two-over-three light fixed window and a shiplap paneled door on the ground floor, and one two-over-two light fixed window symmetrically placed on the second half story. The north elevation has a small rectangular single light fixed window near the northeast corner. The west elevation is similar to the east elevation except it lacks the second story window. The three garage doors and door and window on the 741 Lakeview Avenue portion are painted brown, and the windows and door on the 747 Lakeview Avenue portion are painted medium forest green to match the paint on the cabin's trim.

P5. Photographs

Overview of East Elevation (looking west). Photograph 120237, E. Johnson, October 20, 2022

Overview of North Elevation (looking south). Photograph 120357, E. Johnson, October 20, 2022

P5. Photographs

Overview of West Elevation (looking northeast). Photograph 120534, E. Johnson, October 20, 2022

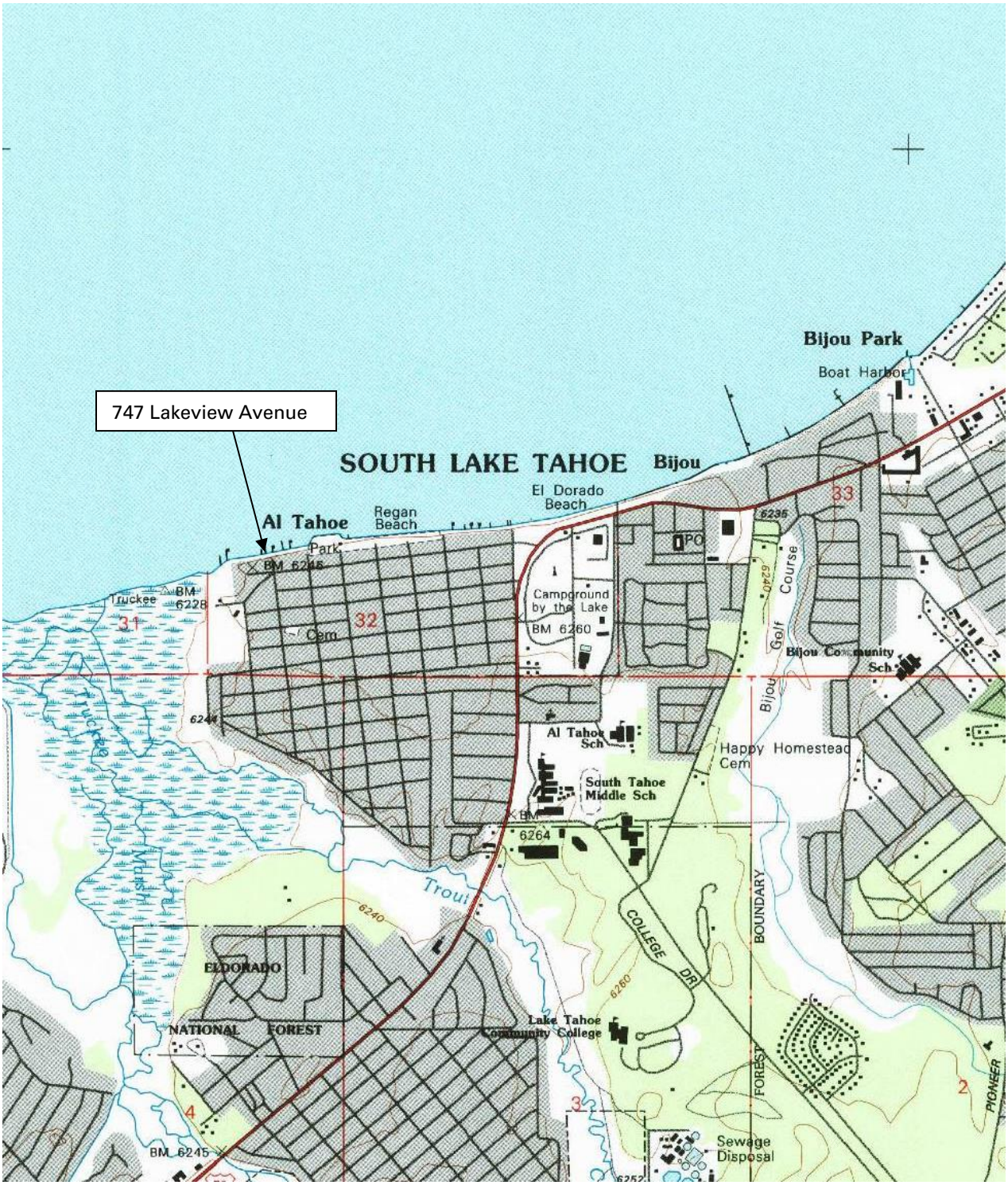
Overview of Southwest Corner (looking northeast). Photograph 120558, E. Johnson, October 20, 2022

P5. Photographs

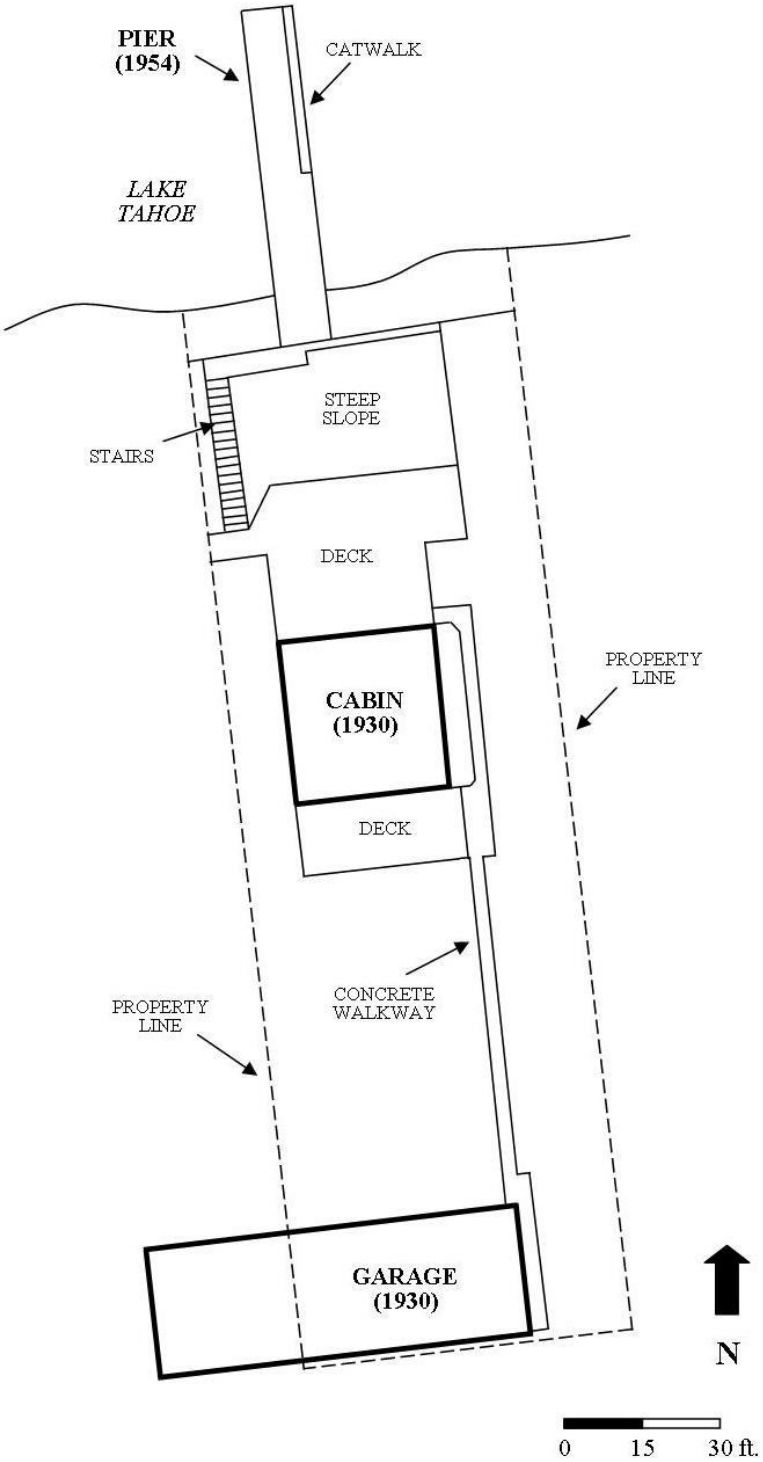
Overview of Garage (looking northwest). Photograph 120819, E. Johnson, October 20, 2002

Overview of Pier (looking north). Photograph 103542, E. Johnson, October 20, 2022

B10. Significance: The pier was constructed in 1954, but has been maintained and repaired over the years. The original wood pilings have been replaced with steel ones and the entire upper structure and decking appear modern. The pier post-dates the construction of the cabin and garage and does not appear eligible for the NRHP or CRHR under any criteria. The pier is not directly related to a known important event or person in the history of the property or area, is built in a usual and not distinct architectural style, and does not have the potential to contribute additional important information about the history of the property.


747 Lakeview Avenue
SOUTH LAKE TAHOE
Bijou
Bijou Park
Boat Harbor
El Dorado Beach
Regan Beach
Al Tahoe
Park
BM 6245
BM 6228
Truckee
Cem
Campground by the Lake
BM 6260
PO
Golf Course
Bijou Community Sch
Al Tahoe Sch
Happy Homestead Cem
South Tahoe Middle Sch
BM 6264
Trout
COLLEGE DR
BOUNDARY
ELDORADO
NATIONAL FOREST
Lake Tahoe Community College
Sewage Disposal
PIONEER
6240
6260
6236
6244
6252
31
32
33
4
3
2

***Drawn by:** E. Johnson ***Date of map:** Oct. 2022



***Drawn by:** E. Johnson ***Date of map:** Oct. 2022

APPENDIX B:
PHOTOGRAPHS

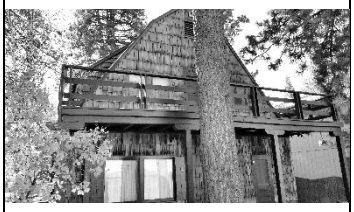
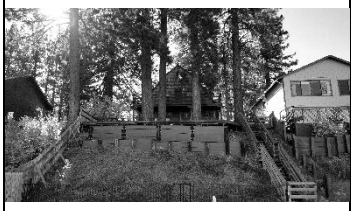
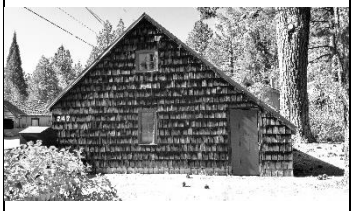
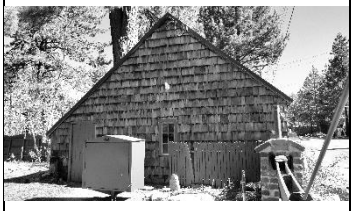
	**Photo: 120135** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: South façade of cabin** **Facing: North** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 120204** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Southeast corner of cabin** **Facing: Northwest** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 120237** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: East façade of cabin** **Facing: West** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 120255** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Northeast corner of cabin** **Facing: Southwest** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 120357** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: North façade of cabin** **Facing: South** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 120443** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Northwest corner of cabin** **Facing: Southeast** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 120534** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: East facade of cabin** **Facing: Northeast** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 120558** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Southwest corner of cabin** **Facing: Northeast** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 133557** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Living/dining area of 1st floor** **Facing: Northwest** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 133739** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Detail of fireplace on 1st floor** **Facing: West** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 133606** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Living/dining area on 1st floor** **Facing: Northeast** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 133617** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Living/dining area on 1st floor** **Facing: Northwest** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 133748** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Detail of ceiling of living/dining area** **Facing: North** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 133634** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Kitchen, back door on 1st floor** **Facing: North** **Date: Oct. 20, 2022** **Photographer: Johnson**

	**Photo: 120135** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Kitchen on 1st floor** **Facing: South** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 133707** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Bedroom 1 on 1st floor** **Facing: Northwest** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 133825** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Bedroom 2 on 2nd floor** **Facing: Northwest** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 133831** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Bedroom 3 on 2nd floor** **Facing: East** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 133837** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Bedroom 4 on 2nd floor** **Facing: Southeast** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 133902** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Bedroom 5 on 2nd floor** **Facing: East** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 133917** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Storage area on 2nd floor** **Facing: Northwest** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 133811** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Bathroom on 2nd floor** **Facing: West** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 103439** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Overview of property from Lake Tahoe** **Facing: South** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 103542** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Overview of pier** **Facing: North** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 120819** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Southeast corner of garage** **Facing: Northwest** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 121018** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: East façade of garage** **Facing: West** **Date: Oct. 20, 2022** **Photographer: Johnson**
	**Photo: 120954** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: Northeast corner of garage** **Facing: Southwest** **Date: Oct. 20, 2022** **Photographer: Johnson**		**Photo: 120135** **747 Lakeview Avenue** **South Lake Tahoe, El Dorado County, California** **Description: West façade of garage at 741 Lakeview Avenue** **Facing: East** **Date: Oct. 20, 2022** **Photographer: Johnson**

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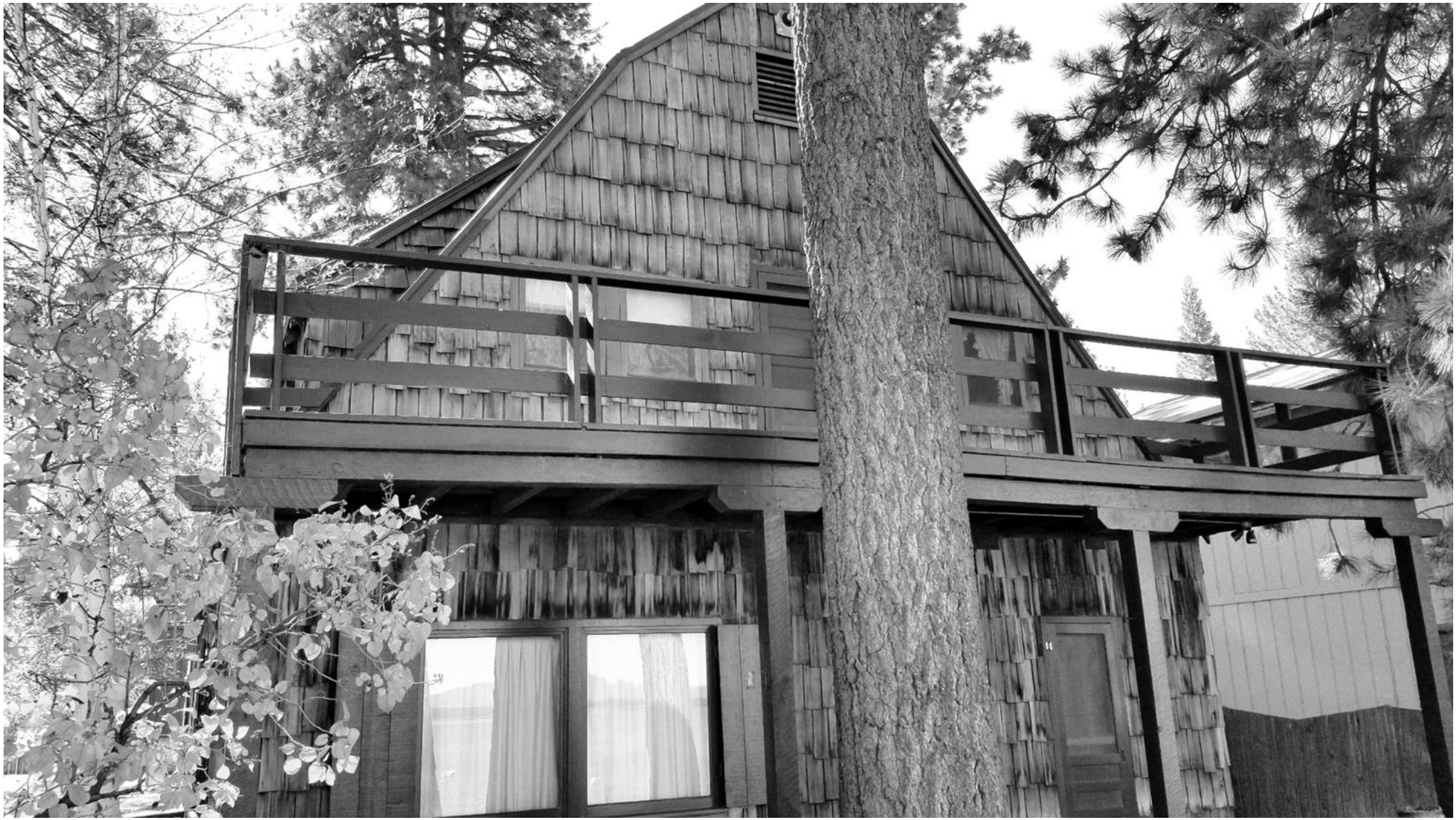

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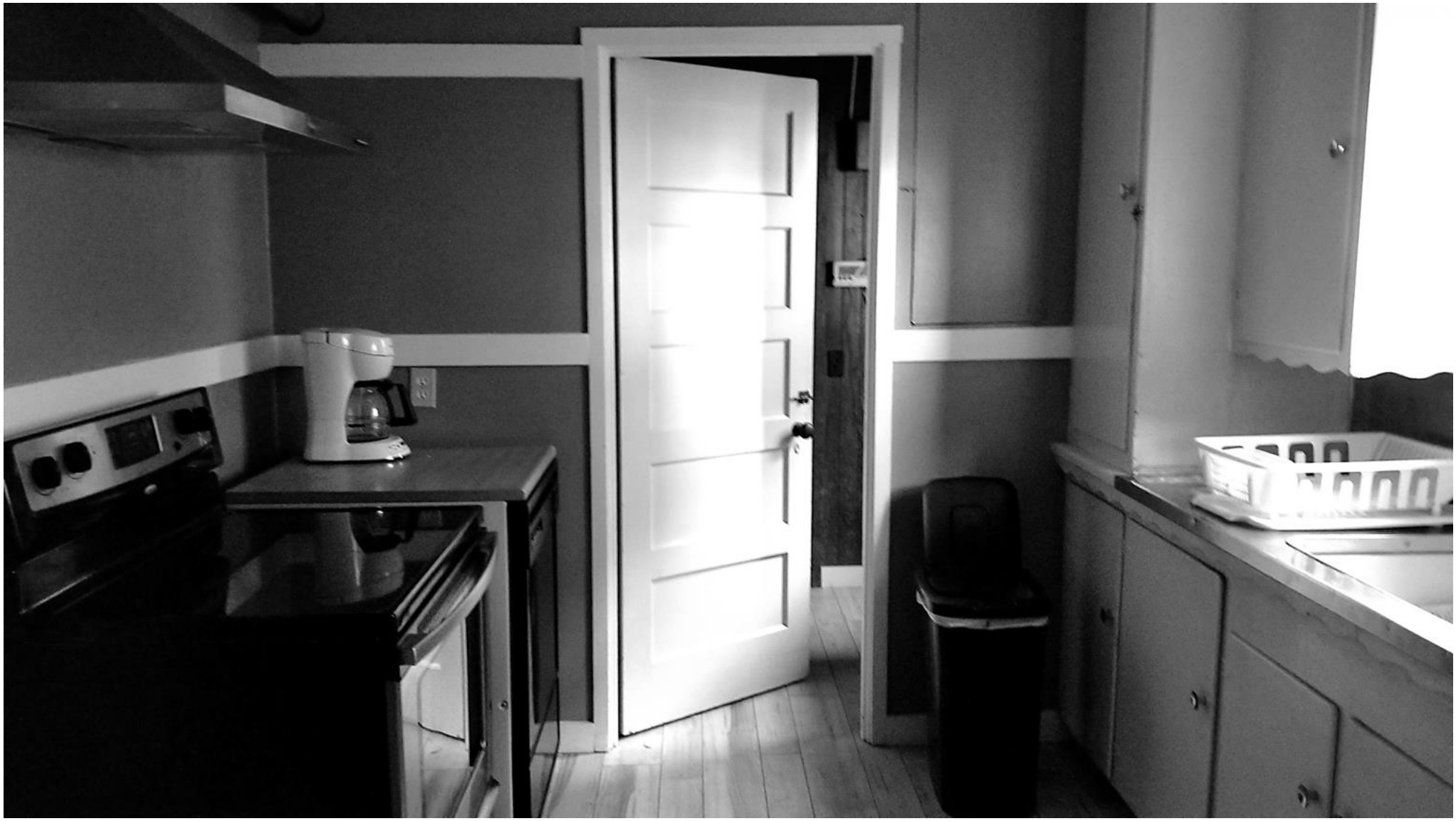

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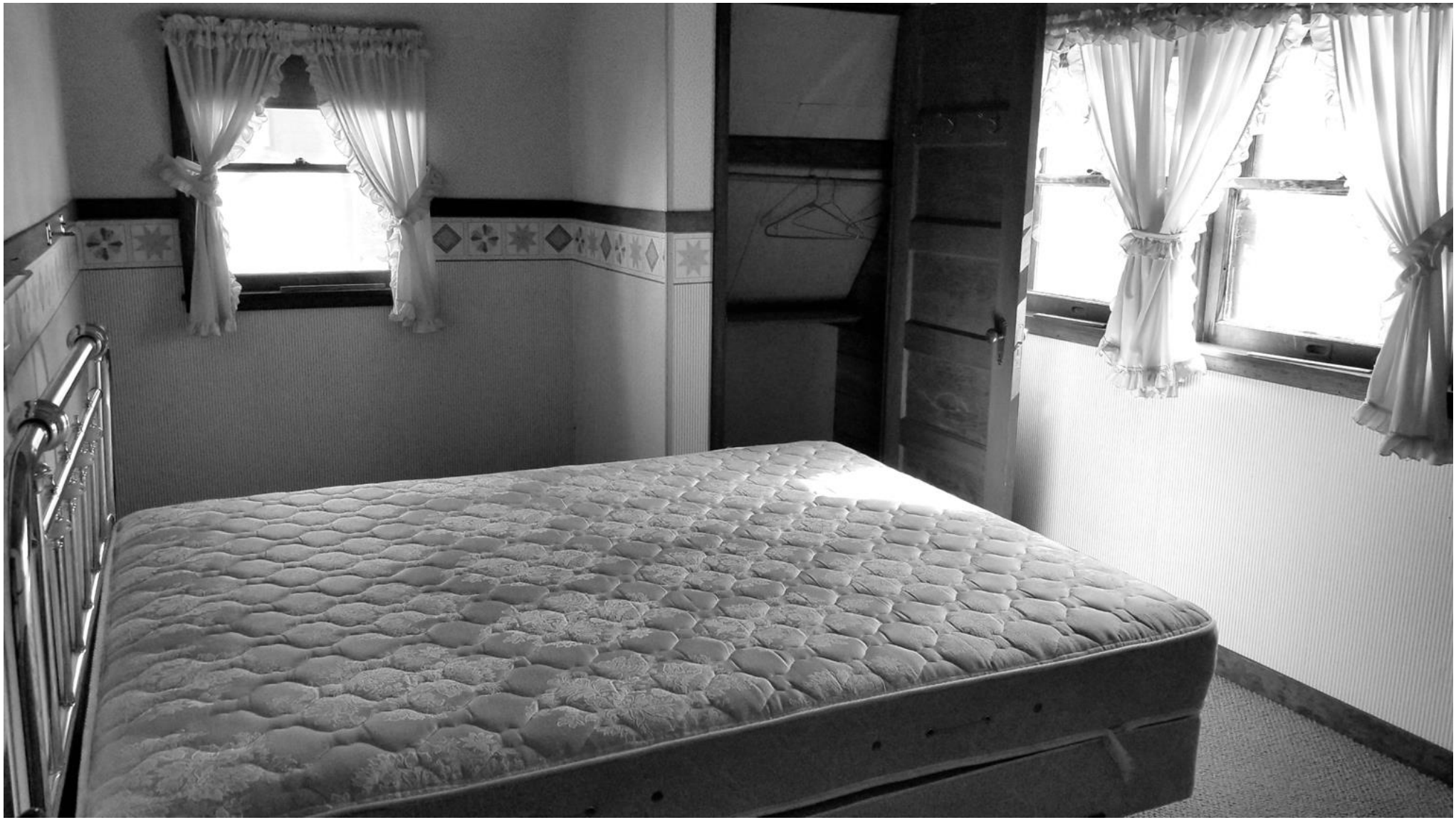

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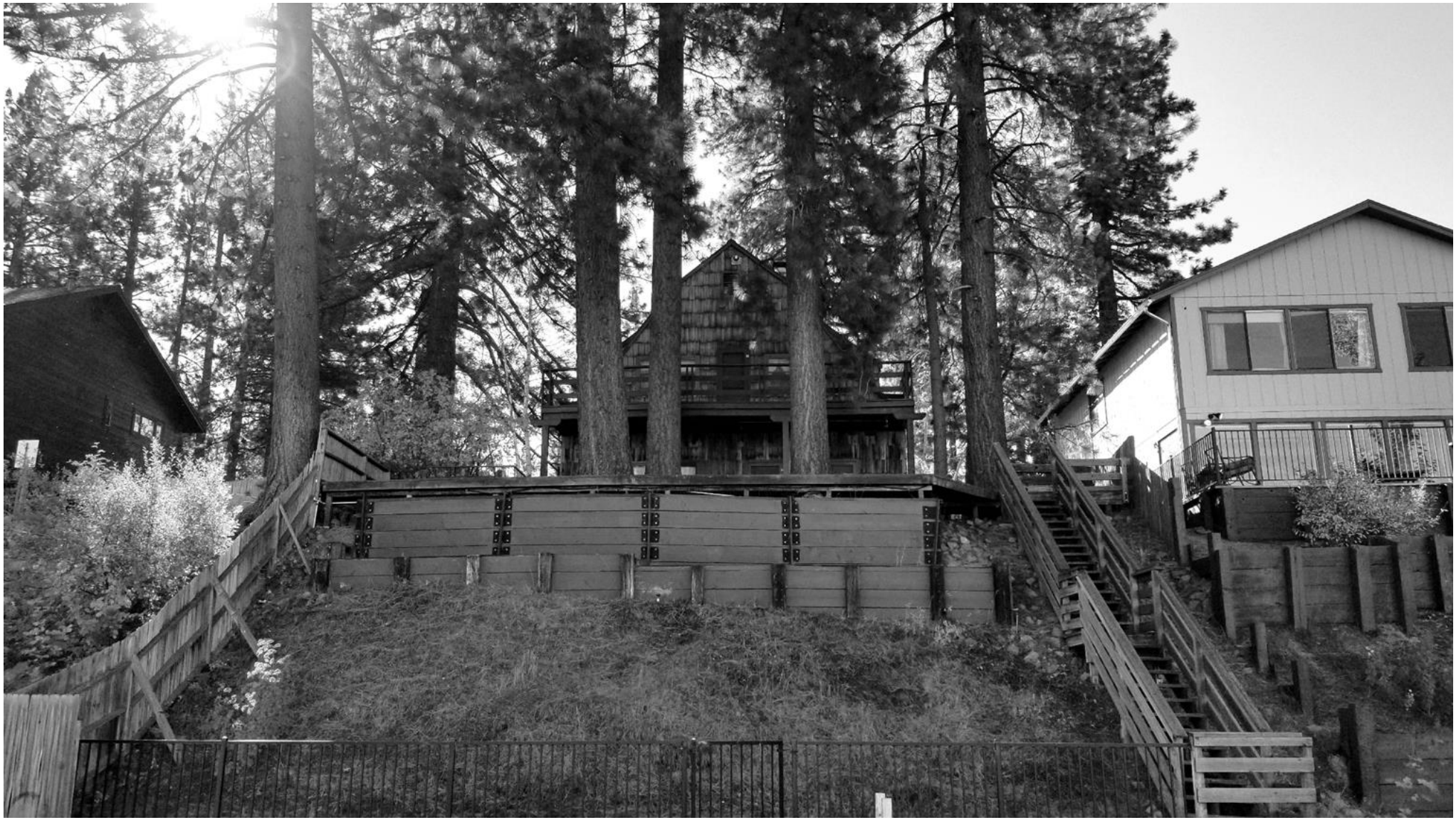

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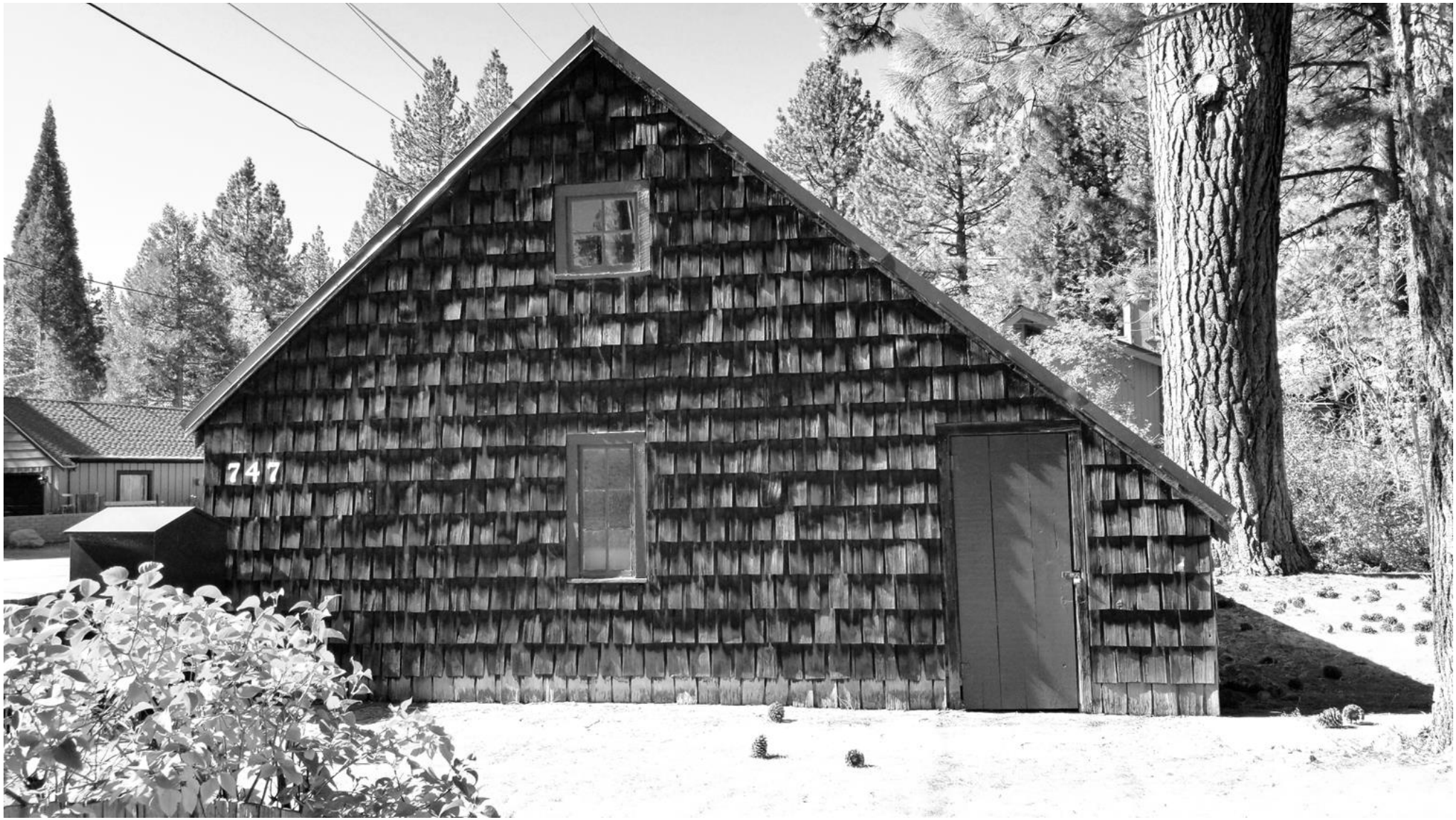

AGENDA ITEM NO. V. A.

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Attachment F
Initial Environmental Checklist

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Mail
PO Box 5310
Stateline, NV 89449-5310

Location
128 Market Street
Stateline, NV 89449

Contact
Phone: 775-588-4547
Fax: 775-588-4527
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INITIAL ENVIRONMENTAL CHECKLIST FOR DETERMINATION OF ENVIRONMENTAL IMPACT

Project Name:
747 Lakeview demolition/Reconstruction

APN/Project Location: 026-021-011, 747 Lakeview Ave.

County/City: City of South Lake Tahoe

Project Description:
Demolition of eligible historic resource. Reconstruction of new single-family residence.

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The following questionnaire will be completed by the applicant based on evidence submitted with the application. All "Yes" and "No, With Mitigation" answers will require further written comments. Use the blank boxes to add any additional information and reference the question number and letter. If more space is required for additional information, please attached separate sheets and reference the question number and letter.

For information on the status of TRPA environmental thresholds click on the links to the Threshold Dashboard.

I. Environmental Impacts

1. Land

Current and historic status of soil conservation standards can be found at the links below:

- Impervious Cover
- Stream Environment Zone

Will the proposal result in:	Yes	No	No, with mitigation	Data insufficient
a. Compaction or covering of the soil beyond the limits allowed in the land capability or Individual Parcel Evaluation System (IPES)?	○	◉	○	○
b. A change in the topography or ground surface relief features of site inconsistent with the natural surrounding conditions?	○	◉	○	○
c. Unstable soil conditions during or after completion of the proposal?	○	◉	○	○
d. Changes in the undisturbed soil or native geologic substructures or grading in excess of 5 feet?	○	◉	○	○
e. The continuation of or increase in wind or water erosion of soils, either on or off the site?	○	◉	○	○
f. Changes in deposition or erosion of beach sand, or changes in siltation, deposition or erosion, including natural littoral processes, which may modify the channel of a river or stream or the bed of a lake?	○	◉	○	○
g. Exposure of people or property to geologic hazards such as earthquakes, landslides, backshore erosion, avalanches, mud slides, ground failure, or similar hazards?	○	◉	○	○

Discussion

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2. Air Quality

Current and historic status of air quality standards can be found at the links below:

- Carbon Monoxide (CO)
- Nitrate Deposition
- Ozone (O3)
- Regional Visibility
- Respirable and Fine Particulate Matter
- Sub-Regional Visibility

Will the proposal result in:	Yes	No	No, with mitigation	Data insufficient
a. Substantial air pollutant emissions?	○	◉	○	○
b. Deterioration of ambient (existing) air quality?	○	◉	○	○
c. The creation of objectionable odors?	○	◉	○	○
d. Alteration of air movement, moisture or temperature, or any change in climate, either locally or regionally?	○	◉	○	○
e. Increased use of diesel fuel?	○	◉	○	○

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3. Water Quality

Current and historic status of water quality standards can be found at the links below:

- Aquatic Invasive Species
- Deep Water (Pelagic) Lake Tahoe
- Groundwater
- Nearshore (Littoral) Lake Tahoe
- Other Lakes
- Surface Runoff
- Tributaries
- Load Reductions

Will the proposal result in:	Yes	No	No, with mitigation	Data insufficient
a. Changes in currents, or the course or direction of water movements?	○	◉	○	○
b. Changes in absorption rates, drainage patterns, or the rate and amount of surface water runoff so that a 20 yr. 1 hr. storm runoff (approximately 1 inch per hour) cannot be contained on the site?	○	◉	○	○
c. Alterations to the course or flow of 100-yearflood waters?	○	◉	○	○
d. Change in the amount of surface water in any water body?	○	◉	○	○
e. Discharge into surface waters, or in any alteration of surface water quality, including but not limited to temperature, dissolved oxygen or turbidity?	○	◉	○	○
f. Alteration of the direction or rate of flow of ground water?	○	◉	○	○
g. Change in the quantity of groundwater, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations?	○	◉	○	○
h. Substantial reduction in the amount of water otherwise available for public water supplies?	○	◉	○	○
i. Exposure of people or property to water related hazards such as flooding and/or wave action from 100-year storm occurrence or seiches?	○	◉	○	○
j. The potential discharge of contaminants to the groundwater or any alteration of groundwater quality?	○	◉	○	○
k. Is the project located within 600 feet of a drinking water source?	○	◉	○	○

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4. Vegetation

Current and historic status of vegetation preservation standards can be found at the links below:

- Common Vegetation
- Late Seral/Old Growth Ecosystems
- Sensitive Plants
- Uncommon Plant Communities

Will the proposal result in:	Yes	No	No, with mitigation	Data insufficient
a. Removal of native vegetation in excess of the area utilized for the actual development permitted by the land capability/IPES system?	○	◉	○	○
b. Removal of riparian vegetation or other vegetation associated with critical wildlife habitat, either through direct removal or indirect lowering of the groundwater table?	○	◉	○	○
c. Introduction of new vegetation that will require excessive fertilizer or water, or will provide a barrier to the normal replenishment of existing species?	○	◉	○	○
d. Change in the diversity or distribution of species, or number of any species of plants (including trees, shrubs, grass, crops, micro flora, and aquatic plants)?	○	◉	○	○
e. Reduction of the numbers of any unique, rare, or endangered species of plants?	○	◉	○	○
f. Removal of stream bank and/or backshore vegetation, including woody vegetation such as willows?	○	◉	○	○
g. Removal of any native live, dead or dying trees 30 inches or greater in diameter at breast height (dbh) within TRPA's Conservation or Recreation land use classifications?	○	◉	○	○
h. A change in the natural functioning of an old growth ecosystem?	○	◉	○	○

Discussion

5. Wildlife

Current and historic status of special interest species standards can be found at the links below:

- Special Interest Species

Current and historic status of the fisheries standards can be found at the links below:

- Instream Flow
- Lake Habitat
- Stream Habitat

Will the proposal result in:	Yes	No	No, with mitigation	Data insufficient
a. Change in the diversity or distribution of species, or numbers of any species of animals (birds, land animals including reptiles, fish and shellfish, benthic organisms, insects, mammals, amphibians or microfauna)?	○	◉	○	○
b. Reduction of the number of any unique, rare or endangered species of animals?	○	◉	○	○
c. Introduction of new species of animals into an area, or result in a barrier to the migration or movement of animals?	○	◉	○	○
d. Deterioration of existing fish or wildlife habitat quantity or quality?	○	◉	○	○

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6. Noise

Current and historic status of the noise standards can be found at the links below:

- Cumulative Noise Events
- Single Noise Events

Will the proposal result in:	Yes	No	No, with mitigation	Data insufficient
a. Increases in existing Community Noise Equivalency Levels (CNEL) beyond those permitted in the applicable Area Plan, Plan Area Statement, Community Plan or Master Plan?	○	◉	○	○
b. Exposure of people to severe noise levels?	○	◉	○	○
c. Single event noise levels greater than those set forth in the TRPA Noise Environmental Threshold?	○	◉	○	○
d. The placement of residential or tourist accommodation uses in areas where the existing CNEL exceeds 60 dBA or is otherwise incompatible?	○	◉	○	○
e. The placement of uses that would generate an incompatible noise level in close proximity to existing residential or tourist accommodation uses?	○	◉	○	○
f. Exposure of existing structures to levels of ground vibration that could result in structural damage?	○	◉	○	○

Discussion

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7. Light and Glare

Will the proposal:

	Yes	No	No, with mitigation	Data insufficient
a. Include new or modified sources of exterior lighting?	◉	○	○	○
b. Create new illumination which is more substantial than other lighting, if any, within the surrounding area?	○	◉	○	○
c. Cause light from exterior sources to be cast off -site or onto public lands?	○	◉	○	○
d. Create new sources of glare through the siting of the improvements or through the use of reflective materials?	○	◉	○	○

Discussion

Exterior light details required as a condition of the permit. Must meet requirements of TRPA design standards.

8. Land Use

Will the proposal:

	Yes	No	No, with mitigation	Data insufficient
a. Include uses which are not listed as permissible uses in the applicable Area Plan, Plan Area Statement, adopted Community Plan, or Master Plan?	○	◉	○	○
b. Expand or intensify an existing non-conforming use?	○	◉	○	○

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9. Natural Resources

Will the proposal result in:

	Yes	No	No, with mitigation	Data insufficient
a. A substantial increase in the rate of use of any natural resources?	○	◉	○	○
b. Substantial depletion of any non-renewable natural resource?	○	◉	○	○

Discussion

10. Risk of Upset

Will the proposal:

	Yes	No	No, with mitigation	Data insufficient
a. Involve a risk of an explosion or the release of hazardous substances including, but not limited to, oil, pesticides, chemicals, or radiation in the event of an accident or upset conditions?	○	◉	○	○
b. Involve possible interference with an emergency evacuation plan?	○	◉	○	○

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11. Population

Will the proposal:

	Yes	No	No, with mitigation	Data insufficient
a. Alter the location, distribution, density, or growth rate of the human population planned for the Region?	○	◉	○	○
b. Include or result in the temporary or permanent displacement of residents?	○	◉	○	○

Discussion

12. Housing

Will the proposal:

	Yes	No	No, with mitigation	Data insufficient
a. Affect existing housing, or create a demand for additional housing?				
To determine if the proposal will affect existing housing or create a demand for additional housing, please answer the following questions:				
1. Will the proposal decrease the amount of housing in the Tahoe Region?	○	◉	○	○
2. Will the proposal decrease the amount of housing in the Tahoe Region historically or currently being rented at rates affordable by lower and very-low-income households?	○	◉	○	○

Discussion

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13. Transportation / Circulation

Will the proposal result in:

		Yes	No	No, with mitigation	Data insufficient
a.	Generation of 650 or more new average daily Vehicle Miles Travelled?	○	◉	○	○
b.	Changes to existing parking facilities, or demand for new parking?	○	◉	○	○
c.	Substantial impact upon existing transportation systems, including highway, transit, bicycle or pedestrian facilities?	○	◉	○	○
d.	Alterations to present patterns of circulation or movement of people and/or goods?	○	◉	○	○
e.	Alterations to waterborne, rail or air traffic?	○	◉	○	○
f.	Increase in traffic hazards to motor vehicles, bicyclists, or pedestrians?	○	◉	○	○

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14. Public Services

Will the proposal have an unplanned effect upon, or result in a need for new or altered governmental services in any of the following areas?:

	Yes	No	No, with mitigation	Data insufficient
a. Fire protection?	○	◉	○	○
b. Police protection?	○	◉	○	○
c. Schools?	○	◉	○	○
d. Parks or other recreational facilities?	○	◉	○	○
e. Maintenance of public facilities, including roads?	○	◉	○	○
f. Other governmental services?	○	◉	○	○

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15. Energy

Will the proposal result in:

	Yes	No	No, with mitigation	Data insufficient
a. Use of substantial amounts of fuel or energy?	○	◉	○	○
b. Substantial increase in demand upon existing sources of energy, or require the development of new sources of energy?	○	◉	○	○

Discussion:

16. Utilities

Except for planned improvements, will the proposal result in a need for new systems, or substantial alterations to the following utilities:

	Yes	No	No, with mitigation	Data insufficient
a. Power or natural gas?	○	◉	○	○
b. Communication systems?	○	◉	○	○
c. Utilize additional water which amount will exceed the maximum permitted capacity of the service provider?	○	◉	○	○
d. Utilize additional sewage treatment capacity which amount will exceed the maximum permitted capacity of the sewage treatment provider?	○	◉	○	○
e. Storm water drainage?	○	◉	○	○
f. Solid waste and disposal?	○	◉	○	○

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17. Human Health

Will the proposal result in:

	Yes	No	No, with mitigation	Data insufficient
a. Creation of any health hazard or potential health hazard (excluding mental health)?	○	◉	○	○
b. Exposure of people to potential health hazards?	○	◉	○	○

Discussion

18. Scenic Resources / Community Design

Current and historic status of the scenic resources standards can be found at the links below:

- Built Environment
- Other Areas
- Roadway and Shoreline Units

Will the proposal:

	Yes	No	No, with mitigation	Data insufficient
a. Be visible from any state or federal highway, Pioneer Trail or from Lake Tahoe?	◉	○	○	○
b. Be visible from any public recreation area or TRPA designated bicycle trail?	○	◉	○	○
c. Block or modify an existing view of Lake Tahoe or other scenic vista seen from a public road or other public area?	○	◉	○	○
d. Be inconsistent with the height and design standards required by the applicable ordinance, Community Plan, or Area Plan?	○	◉	○	○
e. Be inconsistent with the TRPA Scenic Quality Improvement Program (SQIP) or Design Review Guidelines?	○	◉	○	○

Discussion

A scenic assessment was completed and the project meets the requirements of the contrast rating scoring system.

TAHOE REGIONAL PLANNING AGENCY

Mail
PO Box 5310
Stateline, NV 89449-5310

Location
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Stateline, NV 89449

Contact
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Fax: 775-588-4527
www.trpa.gov

19. Recreation

Current and historic status of the recreation standards can be found at the links below:

- Fair Share Distribution of Recreation Capacity
- Quality of Recreation Experience and Access to Recreational Opportunities

Will the proposal:	Yes	No	No, with mitigation	Data insufficient
a. Create additional demand for recreation facilities?	○	◉	○	○
b. Create additional recreation capacity?	○	◉	○	○
c. Have the potential to create conflicts between recreation uses, either existing or proposed?	○	◉	○	○
d. Result in a decrease or loss of public access to any lake, waterway, or public lands?	○	◉	○	○

Discussion

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20. Archaeological / Historical

Will the proposal result in:

		Yes	No	No, with mitigation	Data insufficient
a.	An alteration of or adverse physical or aesthetic effect to a significant archaeological or historical site, structure, object or building?	◉	○	○	○
b.	Is the proposed project located on a property with any known cultural, historical, and/or archaeological resources, including resources on TRPA or other regulatory official maps or records?	◉	○	○	○
c.	Is the property associated with any historically significant events and/or sites or persons?	○	◉	○	○
d.	Does the proposal have the potential to cause a physical change which would affect unique ethnic cultural values?	○	◉	○	○
e.	Will the proposal restrict historic or pre-historic religious or sacred uses within the potential impact area?	○	◉	○	○

Discussion

mitigation for the loss of a historic structure is included in the permit.

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21. Findings of Significance

	Yes	No	No, with mitigation	Data insufficient
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California or Nevada history or prehistory?	○	◉	○	○
b. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one which occurs in a relatively brief, definitive period of time, while long-term impacts will endure well into the future.)	○	◉	○	○
c. Does the project have impacts which are individually limited, but cumulatively considerable? (A project may impact on two or more separate resources where the impact on each resource is relatively small, but where the effect of the total of those impacts on the environmental is significant?)	○	◉	○	○
d. Does the project have environmental impacts which will cause substantial adverse effects on human being, either directly or indirectly?	○	◉	○	○

Discussion

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DECLARATION:

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature:

Julie Roll	at	El Dorado County	7/31/2
Person preparing application		County	Date

Applicant Written Comments: (Attach additional sheets if necessary)

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Determination:

On the basis of this evaluation:

a.	The proposed project could not have a significant effect on the environment and a finding of no significant effect shall be prepared in accordance with TRPA's Rules of Procedure	☐ YES	☐ NO
b.	The proposed project could have a significant effect on the environment, but due to the listed mitigation measures which have been added to the project, could have no significant effect on the environment and a mitigated finding of no significant effect shall be prepared in accordance with TRPA's Rules and Procedures.	☐ YES	☐ NO
c.	The proposed project may have a significant effect on the environment and an environmental impact statement shall be prepared in accordance with this chapter and TRPA's Rules of Procedures.	☐ YES	☐ NO

Date _____

_____
Signature of Evaluator

_____
Title of Evaluator