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MEMORANDUM

Date: July 27, 2023

To: TRPA Hearings Officer

From: TRPA Staff

Subject: Oliver Shoreline Protective Structure Reconstruction, 3230 Edgewater Drive, Tahoe City, Placer County, California, Assessor's Parcel Number (APN) 093-072-039, TRPA File Number ERSP2023-0302

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Proposed Action:

Hearings Officer action on the proposed project and related findings based on this staff summary and the draft permit (Attachment B).

Staff Recommendation:

Staff recommends the Hearings Officer make the required findings and approve the project subject to the special conditions in the draft permit.

Project Description:

The applicant is proposing to remove an existing wood retaining wall and replace with a sloping and permeable rock retaining wall/shoreline revetment located at 3230 Edgewater Drive in Tahoe City, Placer County, California. The project involves removing the existing wall and rock revetment and rock gabions, and the existing metal stairs. Reconstructed in its place will be a stacked rock wall above the high water line (elevation 6,229.1), re-stacking several upland rock areas, and adding a meandering stone access path to the shoreline. The existing wall is failing and the steep slope is currently unstable. A Tahoe City Public Utility District sewer lateral and easement exists lakeward of the existing revetment and the sewer lateral extends up the east side of the property and is protected by rock gabions. No change in the alignment of the high water line (elevation 6,229.1) is proposed, nor will there be any fill placed lakeward of the high water line.

The existing wood wall will be replaced by a sloped (3:1) rockery wall which will vary in height between 3 and 8 feet in order to retain the very steep slope. There will be a small landscaping area between the wall and the revetment for plantings to provide screening. The existing slope at the back of the wall is very steep and will be cut back on the west end to flatten the slope to a 2:1 ratio. The proposed improvements are intended to make the slope more stable and less prone to erosion.

Construction access will occur both from the upland and from a barge. A temporary ramp will be placed from the barge to the bluff, with the bottom several feet of the ramp placed on boulders so that equipment and construction will not track soil into the lake. The larger rock material for the revetment will be transported to the site via barge. Excess soil that is removed due to the flattening of the slope and removal of the wood wall will be moved to the southeast corner of the backyard and will be transported to Edgewater Drive via mini-conveyor along the east side of the residence. A heavy non-woven fabric will be placed on the rock revetment and beach below while the excavation is taking place

to catch any spoils that may fall toward the lake. Once excavation is complete, larger rock material will be transported from the barge and smaller material will be transported from the upland.

Site Description:

The site is developed with a single-family dwelling, a vertical wood retaining wall with a rock revetment lakeward of it, and a metal stairway down to the shoreline. The property is located in the Dollar Point Residential Subdistrict of the Placer County Tahoe Basin Area Plan, where single family dwellings are an allowed use and shoreline protective structures are a special use. The existing site conditions are shown in the attached photos (See Attachment C). A Tahoe City Public Utility District (TCPUD) sewer lateral line runs parallel to the property lakeward of the property line and extends up the east side of the property. The lateral is protected by rock gabions according to a geotechnical report provided by Reno Tahoe Geo Associates, Inc. and dated February 7, 2023. There are two mooring buoys permitted and registered to the property. Single family dwellings border the property to the west and east.

Issues:

The proposed project involves a special use determination for the shoreline protective structure and therefore requires Hearing Officer review in accordance with Chapter 2, Subsection 2.2.2. of the TRPA Code. The project issues and others are discussed in the following staff analysis.

Staff Analysis:

- A. Environmental Documentation: The applicant completed an Initial Environmental Checklist (IEC) in order to assess the potential environmental impacts of the project. No significant environmental impacts were identified, and staff has concluded that the project will not have a significant adverse effect on the environment. A copy of the completed IEC will be made available on the parcel tracker on Lake Tahoe Info <https://parcels.laketahoeinfo.org/Parcel/Detail/093-072-039>
- B. Land Use/Plan Area Statement: The project site is in the Dollar Point Residential Subdistrict of the Placer County Tahoe Basin Area Plan. The Land Use Classification is Residential. The proposed shoreline protective structure is accessory to the primary residential use and the revetment is designed to reduce the effects of erosion. Agency staff reviewed the Area Plan and determined the project is consistent with the applicable planning statement, planning considerations and special policies.
- C. Shorezone Tolerance District/Construction Methodology: The site is mapped as Shorezone Tolerance District 4, which exhibits volcanic rock shorelines with moderate potential for erosion. The potential increases where colluvium of volcanic debris is present and stony, sandy loams lie on 15 to 30 percent slopes; and alluvial shorezones where the shoreline is characterized by steep, crumbling cliffs with continuing erosion problems.

The following development standard is applicable to Shorezone Tolerance District 4:

- A. Permitted development or continued use may be conditioned upon installation and maintenance of vegetation to stabilized backshore areas and protect existing cliffs from accelerated erosion.

- B. Projects shall not be permitted in the backshore unless TRPA finds such project is unlikely to require the cliff area to be mechanically stabilized or that the project will not accelerate cliff crumbling, beach loss, or erosion.
- C. Access to shoreline shall be restricted to stabilized access ways which minimize the impact to the backshore.
- D. Access to buoys shall be designed to cause the least possible environmental harm to the foreshore and backshore.
- E. Access to piers, floating platforms, and boat ramps shall be designed to cause the least possible alteration to the backshore.

The purpose of the project is to provide long term protection of the backshore from accelerated erosion. Access to the shoreland will be by water using a barge or amphibious vehicle as well as through the upland property. Any areas temporarily disturbed by construction or construction access will be restored and revegetated upon completion of the revetment project.

- D. Fish Habitat:  
The nearshore area lakeward of the property is mapped as spawning habitat. There is no work proposed lakeward of the high water line.
- E. Scenic Quality: The proposed project is located within and visible from Shoreline Unit #16 (Lake Forest) which is in non-attainment with TRPA scenic thresholds. The proposed rock wall will result in 290 square feet of visible mass, a decrease in 90 square feet of visible mass that exists with the existing wood wall. Landscaping will be installed lakeward of the new features to screen and soften the view of the rock wall from the lake.

Required Actions:

Staff recommends the Hearings Officer:

- I. Approve the findings contained in this staff summary and a finding of no significant environmental effect.
- II. Approve the project, based on the staff summary, subject to the conditions contained in the attached Draft Permit.

Attachments:

- A. Required Findings
- B. Draft Permit
- C. Project Area Photographs
- D. Project Plans
- E. Initial Environmental Checklist

Attachment A  
Required Findings

Attachment A  
Required Findings

The following is a list of the required findings as set forth in Chapters 4, 21, 80, 81, 84 and 85 of the TRPA Code. Following each finding, Agency staff has indicated if there is sufficient evidence contained in the record to make the applicable findings or has briefly summarized the evidence on which the finding can be made.

1. Chapter 4 – Required Findings:

- (a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

There is no evidence in the file or record showing that the proposed project will have an adverse effect on the Land Use, Transportation, Conservation, Recreation, Scenic Quality, Public Service and Facilities, or Implementation sub-elements of the Regional Plan.

Permitted development or continued use may be conditioned upon installation and maintenance of vegetation to stabilize backshore areas and protect existing cliffs from accelerated erosion. Projects shall not be permitted in the backshore and upland unless TRPA finds such project is unlikely to require the cliff area to be mechanically stabilized or that the project will not accelerate cliff crumbling, beach loss, or erosion. Access to shoreline shall be restricted from the upland to stabilized access ways which minimize the impact to the backshore. The purpose of the project is to protect the existing shoreline from further erosion.

- (b) The project will not cause the environmental threshold carrying capacities to be exceeded.

TRPA staff has completed the “Project Review Conformance Checklist and Article V (g) Findings” in accordance with Section 4.4.2 of the TRPA Code of Ordinances. All responses contained on said checklist indicate compliance with the environmental threshold carrying capacities. Also, the applicant has completed an Initial Environmental Checklist (IEC) which was reviewed by TRPA staff. No significant environmental impacts were identified, and staff has concluded that the project will not have a significant effect on the environment. A copy of the completed checklist and IEC will be made available online at <https://parcels.laketahoeinfo.org/Parcel/Detail/093-072-039>

- (c) Wherever federal, state, or local air and water quality standards apply for the Region, the strictest standards shall be attained, maintained, or exceeded pursuant to Article V (d) of the TPRA Compact.

The project, as conditioned, will comply with all applicable air and water quality standards for the region. The project as designed will enhance water quality values through improved shoreline stability and reduced erosion.

2. Chapters 21 and 81 – Special Use Findings.

- (a) The project, and the related use, is of such a nature, scale, density, intensity and type to be appropriate for the project area, and the surrounding area.

The proposed project is an appropriate use for the project area. The proposed project involves removing the existing and failing vertical wood retaining wall, grading the slope so that it slopes at 3:1 and 2:1 ratios, placement of a new sloping vertical wall, and removing the existing metal stair and replaing/relocating with a rock access to the shoreline. The new revetment will be constructed to better retain the slope, and will continue to dissipate and deflect wave energy improving the shoreline conditions. Based on the analysis contained in the administrative record and the IEC, the proposed project is an appropriate use for the project area.

- (b) The project, and the related use, will not injure or disturb the health, safety, environmental quality, enjoyment of property, or general welfare of persons or property in the neighborhood, or in the region.

The project as designed will address the deterioration of the slope and inhibit further erosion which will benefit on and off-site environmental conditions. The proposed project includes several components to ensure the structure will not cause significant erosion or modification of the foreshore on the property or adjacent properties. The neighboring property has also just received TRPA approval to replace a failing revetment and the proposed project will compliment the stabilization work occurring on the neighboring property. The new sloping rock wall and the reduction of slope angles will improve both the dissipation of wave energy, decrease erosion potential and filtering of eroded materials, and provide greater opportunity for vegetative screening on the gentler slopes.

- (c) The project, and the related use, will not change the character of the neighborhood, detrimentally affect or alter the purpose of any applicable plan area statement, community, redevelopment, specific, or master plan.

The project is essentially an improvement to the failing slope stabilization and revetment that currently exists. The project is also consistent with and will compliment the neighboring revetment project that was approved by TRPA (TRPA file number ERSP2021-1814) and is in keeping with the general character of the shoreline. The proposed project will help stabilize the backshore slope. The project is not expected to affect or change the character of the neighborhood and does not affect or alter the purpose of the applicable plan area statement which lists shoreline protective structures as a permissible special use. The project as designed and conditioned is compatible with, and will not adversely affect, the residential character of the surrounding neighborhood.

4. Chapter 80 – Shorezone Findings:

- (a) Significant Harm: The project will not adversely impact littoral processes, fish spawning habitat, backshore stability, or on-shore wildlife habitat, including waterfowl nesting areas.

The proposed shoreline revetment is designed to protect the shoreline and the lakeward TCPUD sewer lateral from the continued effects of erosion and therefore will not have negative effects on wildlife habitat. There are no known waterfowl nesting areas in the area. There is spawning habitat in the foreshore and nearshore adjacent to the project area. Little to no impact will occur in the spawning habitat as the area of impact will occur primarily landward of the high water line. The project will include the use of temporary BMPs as necessary to protect water quality.

- (b) Accessory Facilities: There are sufficient accessory facilities to accommodate the project.

The proposed shoreline erosion protection provided by the rock wall and revetment is an accessory use to the upland residential use.

- (c) Compatibility: The project is compatible with existing shorezone and lakezone uses or structures on, or in the immediate vicinity of, the littoral parcel; or that modifications of such existing uses or structures will be undertaken to assure compatibility.

Shoreline protective structures are permissible and special uses in the Dollar Point Residential Subdistrict of the Placer County Tahoe Basin Area Plan. The rock wall and revetment as designed and conditioned, will be compatible with existing shorezone and lakezone uses in the immediate vicinity. The design of the project will ensure access along the shoreline is maintained.

- (d) Use: The use proposed in the foreshore or nearshore is water dependent.

The rock wall and revetment will armor the backshore of the project area from continued effects of soil erosion and wave erosion. The design will also decrease the slope angle of the upland slope which will contribute to stabilizing the site from further deterioration and erosion. The design is water dependent. The project design is intended to effectively reduce wave energy and protect the shoreline from erosion.

- (e) Hazardous Materials: Measures will be taken to prevent spills or discharges of hazardous materials.

Hazardous materials will not be used during construction. As a condition of final permit approval, the permittee shall provide an emergency spill prevention plan to be implemented for any emergency associated with leaking equipment.

- (f) Construction: Construction and access techniques will be used to minimize disturbance to the ground and vegetation.

Construction access will occur both from the upland and from a barge. A temporary ramp will be placed from the barge to the bluff, with the bottom several feet of the ramp placed on boulders so that equipment and construction will not track soil into the

lake. The larger rock material for the revetment will be transported to the site via barge. Excess soil that is removed due to the flattening of the slope and removal of the wood wall will be moved to the southeast corner of the backyard and will be transported to Edgewater Drive via mini-conveyor along the east side of the residence. A heavy non-woven fabric will be placed on the rock revetment and beach below while the excavation is taking place to catch any spoils that may fall toward the lake. Once excavation is complete, larger rock material will be transported from the barge and smaller material will be transported from the upland. Temporary material staging and storage is not permitted along the shoreline or in the backshore.

- (g) Navigation and Safety: The project will not adversely impact navigation or create a threat to public safety as determined by those agencies with jurisdiction over a lake's navigable waters.

The location of the proposed slope stabilization project is within the backshore of the property, above the highwater line and will not affect navigation or create a threat to public safety within Lake Tahoe.

- (h) Other Agency Comments: TRPA has solicited comments from those public agencies having jurisdiction over the nearshore and foreshore and all such comments received were considered by TRPA, prior to action being taken on the project.

TRPA will solicit comments from public agencies with jurisdiction in the lake. TRPA staff will summarize the input received at the meeting at the August 3rd, 2023 Hearing's Officer meeting.

5. Chapter 84 - Shoreline Protective Structure Findings:

- (a) Structures in the backshore or environmental threshold values will be enhanced by the construction and maintenance of the protective structures.

The rock wall and revetment will address the potential for future slope erosion caused by the destabilization of the shoreline and the backshore. The project will limit lakeshore erosion, dissipate wave energy, and decrease sediment entering Lake Tahoe. The revetment will provide benefits while maintaining and improving the slope angle, the existing soil and rock materials and upholding the character of the shoreline.

- (b) The protection of structures in the backshore or the enhancement of environmental threshold values more than offset the adverse environmental effects of the construction and maintenance of the shoreline protective structures.

The rock wall and revetment will stabilize the shoreline. The goals of the project are to increase shoreline stability and to minimize erosion and sediment transport into the lake.

- (c) Each protective structure has been designed to be sloping and permeable; provided, however, that this finding is not necessary if TRPA concurrently makes the findings required under subparagraph 84.7.1.B.



The rock wall is designed to be sloping and permeable. The revetment is currently permeable, but will be enhanced with smaller sized cobbles to prevent further erosion and also dampen and absorb wave energy. The purpose of the project is to improve shoreline stability to help prevent erosion.

- (d) Each protective structure has been designed so that backshore erosion on adjacent properties will not be accelerated as a result of the erection of the protective structure.

As designed, the project will not cause any significant long-term impacts to the environment as documented in the geotechnical engineer's report (Reno Tahoe Geo Associates, Inc, Feb 7th, 2023) prepared for the project.

6. Chapter 85 - Findings for Erosion Control and Similar Projects:

- (a) The project, program, or facility is necessary for environmental protection.

The applicant proposes to reconstruct a shoreline revetment to stabilize the shoreline that has experienced some failure due to steep slope angles. The goals of the project are to increase safety, stability, and shoreline stability. The design of the rock wall and revetment is intended to reduce wave energy in order to minimize erosion and further deterioration of the backshore slope.

- (b) There is no reasonable alternative, which avoids or reduces the extent of encroachment in the backshore.

The proposed project will address erosion within the backshore and thus encroachment into the backshore cannot be avoided. The project design and construction methodology prescribe the minimum encroachment necessary to inhibit further degradation of the backshore. Without this work, erosion and slope instability will continue.

Attachment B  
Draft Permit



**Attachment B  
CONDITIONAL PERMIT**

PROJECT DESCRIPTION: Shoreline Protective Structure Reconstruction APN: 093-072-039  
PERMITTEE: Barbara Ann Oliver - Trustee FILE #: ERSP2023-0302  
COUNTY/LOCATION: 3230 Edgewater Drive, Tahoe City, Placer County, California

Having made the findings required by Agency ordinances and rules, the TRPA Hearings Officer approved the project on **August 3, 2023**, subject to the standard conditions of approval attached hereto (Attachments Q and S) and the special conditions found in this permit.

This permit shall expire on **August 3, 2026**, without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action, which delayed or rendered impossible the diligent pursuit of the permit.

**NO DEMOLITION, CONSTRUCTION OR GRADING SHALL COMMENCE UNTIL:**

- (1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
- (2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
- (3) THE PERMITTEE OBTAINS APPROPRIATE COUNTY PERMIT. TRPA'S ACKNOWLEDGEMENT MAY BE NECESSARY TO OBTAIN A COUNTY PERMIT. THE COUNTY PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
- (4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

\_\_\_\_\_  
TRPA Executive Director/Designee

8/3/23  
\_\_\_\_\_  
Date

PERMITTEES' ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of permittee(s) \_\_\_\_\_ Date \_\_\_\_\_

(PERMIT CONTINUED ON NEXT PAGE)

**APN 093-072-039**  
**FILE NO. ERSP2023-0302**

Excess Coverage Mitigation Fee (1): Amount \$ \_\_\_\_\_ Posted \_\_\_\_\_ Type \_\_\_\_\_ Receipt No. \_\_\_\_\_

Security Posted (2): Amount \$10,000.00 Posted \_\_\_\_\_ Type \_\_\_\_\_ Receipt No. \_\_\_\_\_

Security Administrative Fee (3): Amount \$ \_\_\_\_\_ Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_

Notes

- (1) Amount to be determined. See Special Condition 3.G, below.
- (2) See Special Condition 3.H, below
- (3) See TRPA Filing Fee Schedule.

Required plans determined to be in conformance with approval: Date: \_\_\_\_\_

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date:

\_\_\_\_\_  
TRPA Executive Director/Designee

\_\_\_\_\_  
Date

***SPECIAL CONDITIONS***

1. This permit authorizes the removal of an existing wood wall to be replaced by a sloped (3:1) rockery wall which will vary in height between 3 and 8 feet in order to retain the very steep slope. There will be a small landscaping area between the wall and the revetment for plantings to provide screening. The existing slope at the back of the wall is very steep and will be cut back on the west end to flatten the slope to a 2:1 ratio. Construction access and staging will be from the upland property and by lake by barge or amphibious vehicle. There are existing metal stairs that serve as access from the upland to the shoreline. These stairs will be removed and a meandering rock access to the shoreline will be constructed in its place, resulting in 17 square feet of relocated coverage in Class 3 and 83 square feet of relocated coverage in Class 1b. The relocation of the coverage in Class 1b will require mitigation at a 1.5 to 1 ratio (125 square feet). A Tahoe City Public Utility District sewer lateral and easement exists lakeward of the existing revetment and the sewer lateral extends up the east side of the property and is protected by rock gabions. No change in the alignment of the high water line (elevation 6,229.1) is proposed, nor will there be any fill placed lakeward of the high water line. No other improvements are proposed.
2. The Standard Conditions of Approval listed in Attachments Q and S shall apply to this permit.
3. Prior to permit acknowledgement, the following conditions of approval must be satisfied:
  - A. The following changes shall be made to the plans:

1. Modify the coverage table on Sheet C2.0 to be consistent with TRPA File number 20060560STD. Include mitigation for the relocation of 83 square feet of Class 1b coverage associated with the relocation and reconstruction of the access stairway from the upland to the shoreline.
2. Modify Sheet C1.0 to include the following note:

“All areas disturbed by temporary construction access and truck and equipment staging activity as well as removal of existing coverage shall be re-vegetated in accordance with the TRPA Handbook of Best Management Practices and Living with Fire, Lake Tahoe Basin, Second Edition.”

3. Modify Sheet C1.0 to include the following note:

“All land vehicles shall remain on existing paved or TRPA-approved stabilized surfaces (i.e. areas stabilized with rubber mats or steel plates)”.

- B. The permittee shall submit a final projected construction completion schedule.
- C. The permittee shall submit a final construction sequence and methodology plan for TRPA review and approval.
- D. The permittee shall provide post-construction photos from the lake looking back toward the project area. The permittee will need to demonstrate, with a scenic analysis, consistency with the scenic analysis specific to the property and related to TRPA file number ERSP2022-0034 for construction of the new pier.
- E. The permittee shall provide a written methodology for dust control measures in relationship to truck traffic exiting and entering the work site. This methodology shall be employed during removal of the existing wall, excavation of the site, and construction of the new wall and staircase.
- F. The permittee shall provide an emergency spill prevention plan to be implemented for emergencies associated with leaking construction equipment. The Plan shall require absorbent sheets/pads to be available within the project area. A contact list of all emergency response agencies shall always be available at the project site during construction.
- G. The subject property, APN 093-072-039, has 3,877 square feet of unmitigated excess land coverage. Note that this amount is subject to change pending the acknowledgement of TRPA file number ERSP2023-0034 and shall be updated if said permit is updated. The Permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within the Hydrologic Transfer Area 8 (Tahoe City), or by submitting an excess coverage mitigation fee.

To calculate the amount of excess coverage to be removed (in square feet), use the following formula:

Estimated project construction cost multiplied by 0.015, divided by 8.

If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

Square footage of required coverage reduction (as determined by formula above) multiplied by the excess coverage mitigation fee of \$8.50 per square foot for projects located within the Hydrologic Transfer Area 8 (Tahoe City).

Please provide a construction cost estimate by your licensed contractor, architect, or engineer. In no case shall the mitigation fee be less than \$200.00.

- H. The security required under Standard Condition I.B. of Attachment Q shall be \$10,000.00. The security shall not be released until TRPA determines the project was constructed as approved and the post-project scenic analysis is consistent with TRPA file number ERSP2023-0034 for the new pier and with Special Condition 3.D of this permit.
- I. The permittee shall submit electronic copies of final construction drawings.
4. All landscaping and native vegetation shall be maintained in perpetuity in a condition consistent with this approval. The use of fertilizer backshore is prohibited.
  5. The project shall be constructed in accordance with the recommendations of the approved construction methodology plan.
  6. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board (including individual members), its Planning Commission (including individual members), its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, administrative appeal, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

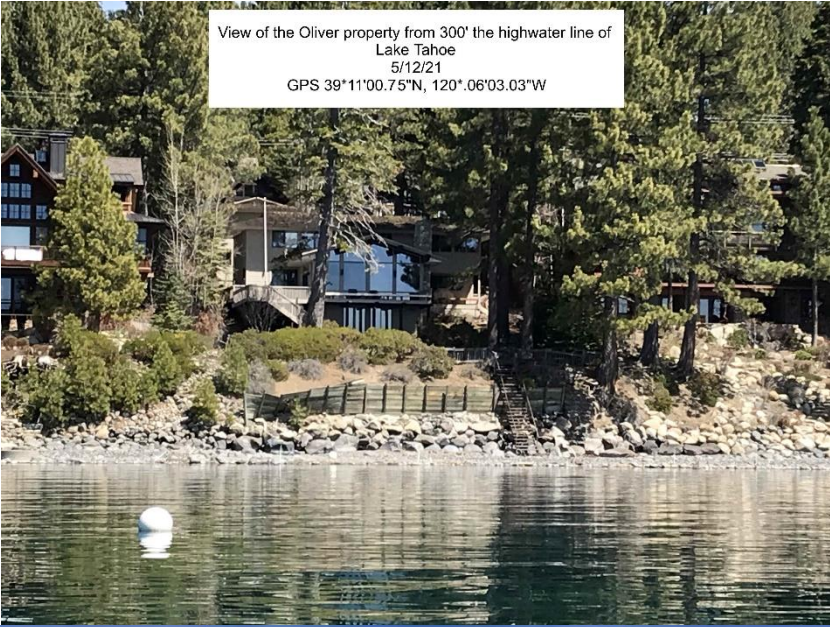
Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise, or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

7. It is the permittee's responsibility to receive authorization and/or obtain any necessary permits from other responsible agencies for the proposed project.
8. Any and all temporary soil stockpiles shall be appropriately covered with tarps and contained by temporary erosion control fences and/or coir logs with gravel bags.
9. Best practical control technology shall be employed to prevent earthen materials from being re-suspended or transported to adjacent lake waters because of construction activities.
10. Disturbance of lakebed materials the removal of rock materials from Lake Tahoe is prohibited.
11. All employee construction vehicles shall be parked on existing paved surfaces.
12. All rock material (gravel, cobble, and/or boulders) imported to the site for use in the shoreline construction area shall be thoroughly washed and shall be free of any silt and clay material.
13. The discharge of petroleum products, construction waste and litter (including sawdust), or earthen materials to the surface waters of the Lake Tahoe Basin is prohibited. All surplus construction waste materials shall be removed from the project and deposited only at approved points of disposal.
14. Grading and excavation is prohibited at any time of the year during periods of precipitation and for the resulting period of time when the site is covered with snow or is saturated, muddy or unstable.
15. Any normal construction activities creating noise in excess to the TRPA noise standards shall be considered exempt from said standards provided all such work is conducted between the hours of 8:00 A.M. and 6:30 P.M.
16. For the authorized construction area landward of the high-water line, the site shall be winterized in accordance with the provisions of Attachment Q by October 15<sup>th</sup> unless a grading season exception is granted.
17. The shoreline protective structure shall be maintained in a condition consistent with the approved project plans in perpetuity.
18. All Best Management Practices shall be maintained in perpetuity to ensure effectiveness which may require BMPs to be periodically reinstalled or replaced. Prior to release of the project security all existing water quality BMPs shall be maintained and/or reinstalled to ensure effectiveness.
19. All excavated materials shall be hauled away from the site to a legally acceptable location.
20. Any change to the project requires approval (except for TRPA exempt activities) of a TRPA plan revision permit prior to the changes being made to any element of the project (i.e. structural modifications, coverage, scenic, grading, BMPs, etc.). Failure to obtain prior approval for modifications may result in monetary penalties and removal of the unapproved elements.

**END OF PERMIT**

Attachment C  
Project Area Photographs

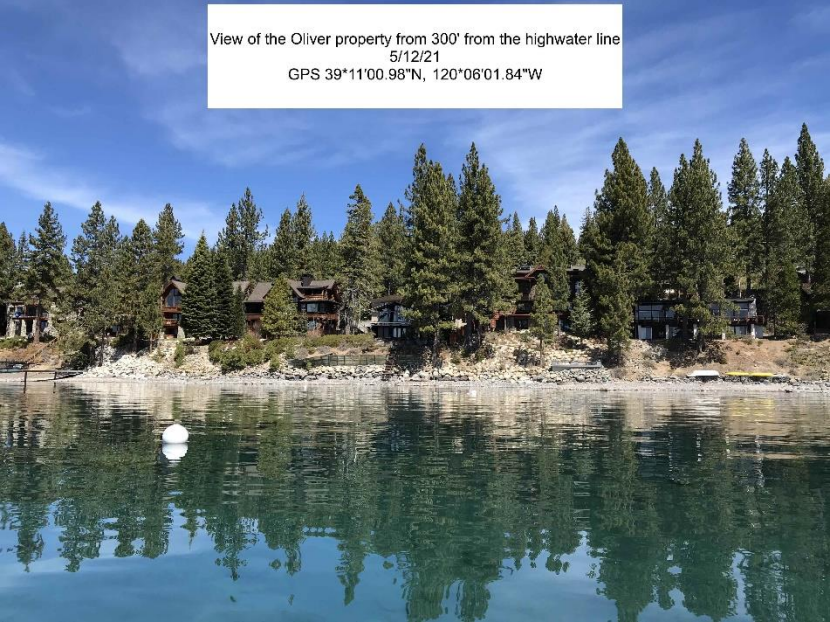




View of the Oliver property from 300' the highwater line of Lake Tahoe  
5/12/21  
GPS 39°11'00.75"N, 120°06'03.03"W



View of the Oliver property from 300' the highwater line of Lake Tahoe  
5/12/21  
GPS 39°11'00.75"N, 120°06'03.03"W



View of the Oliver property from 300' from the highwater line  
5/12/21  
GPS 39°11'00.98"N, 120°06'01.84"W

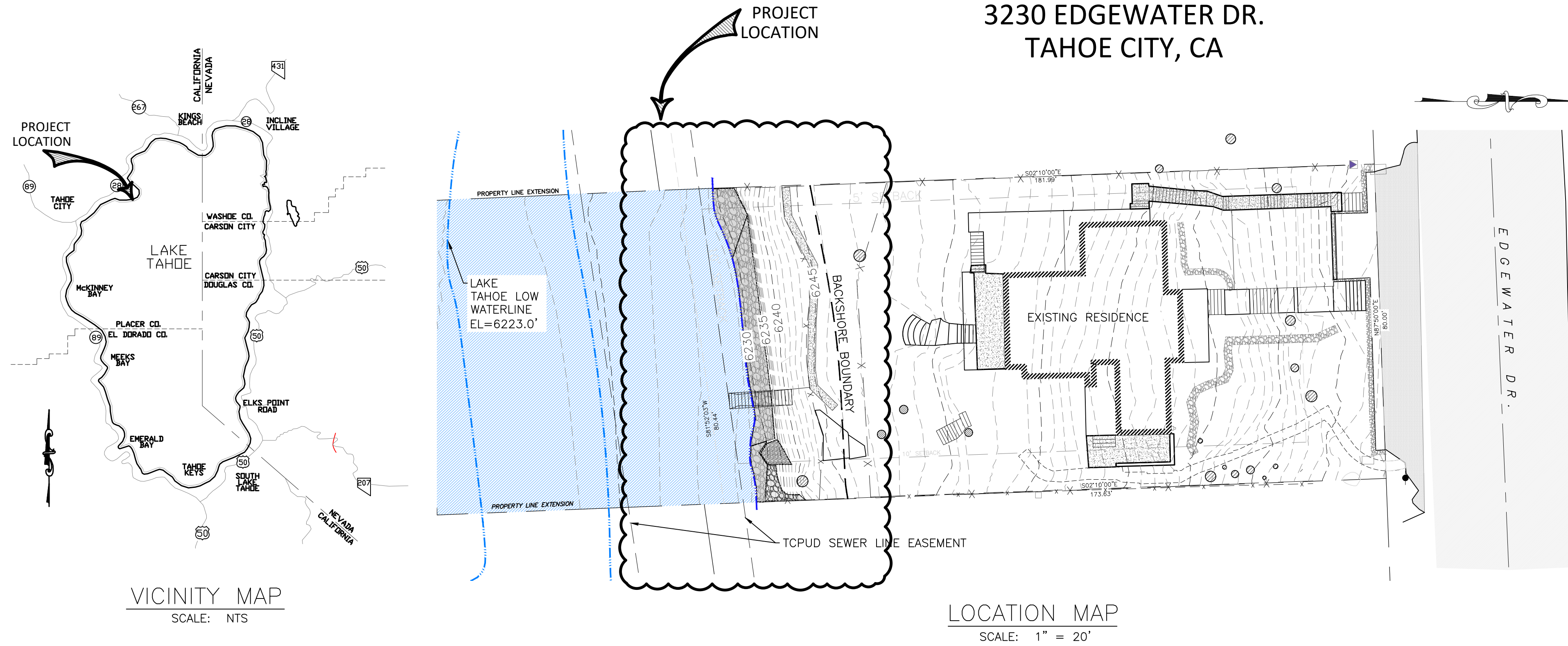


View of the exposed tree roots to be protected and the existing rock gabions

Attachment D  
Project Plans

# SHORELINE BLUFF REPAIR

PLACER COUNTY APN # 093-072-039  
3230 EDGEWATER DR.  
TAHOE CITY, CA



## PROJECT CONTACTS:

OWNER: TYLER OLIVER,  
3230 EDGEWATER DRIVE  
TAHOE CITY, PLACER COUNTY, CALIFORNIA, 96145

PROJECT ADDRESS: 3230 EDGEWATER DRIVE  
TAHOE CITY, PLACER COUNTY, CALIFORNIA, 96145

PROJECT APN: 093-072-039

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## PROJECT INFORMATION:

THIS PROJECT INVOLVES THE REMOVAL AND REPLACEMENT OF A FAILING 6-FOOT-HIGH WOODEN RETAINING WALL ABOVE THE EXISTING 1H:1V SLOPE SHORELINE REVETMENT, THE STABILIZATION OF AN ACTIVELY ERODING SLOPE BEHIND THE REVETMENT, REMOVAL AND THE RECONSTRUCTION OF ACCESS FROM THE RESIDENCE TO THE SHORELINE.

THE SLOPE BEHIND THE WALL IS ACTIVELY ERODING AND THE WALL IS FAILING ALONG THE ENTIRE LENGTH OF THE WALL. THIS PROJECT PROPOSES TO REMOVE THE EXISTING WOODEN WALL AND CUT BACK TO SLOPE AT THE WEST END BY APPROXIMATELY 20 FEET TO FLATTEN THE SLOPE NEARLY 2H:1V AND PROVIDE A ROCKERY WALL OF ADEQUATE HEIGHT AND BURY DEPTH IN THE MIDDLE OF THE PROPERTY, AS WELL AS INCORPORATE LANDSCAPING POCKETS FOR SCREENING PLANTINGS. EROSION REVEGETATING THROUGH THE INSTALLATION OF PLANTINGS BY OTHERS.

THE EXISTING ACCESS TO THE SHORELINE FOLLOWS LINEAR STEEP STAIRS, PERPENDICULAR TO THE SHORELINE, FROM THE RESIDENCE CLOSER TO THE EAST SIDE OF THE PROPERTY TO THE BEACH. THIS PROJECT PROPOSES TO REMOVE EXISTING STAIRS TO IMPROVE THE AESTHETICS AND SAFETY OF THAT ACCESS THROUGH INTRODUCING A WINDING NATURAL ROCK STAIR PATH INSTALLATIONS CLOSER TO THE WEST END OF THE PROPERTY.

THE EXISTING 1H:1V SLOPE BOULDER REVETMENT REMAIN UNCHANGED WITH SOME REARRANGEMENT AT THE NORTH END TO ACCOMMODATE EQUIPMENT ACCESS TO THE BLUFF. MINOR REPAIRS ABOVE HIGH LAKE LEVEL TO BE PROVIDED TO IMPROVE THE EFFECTIVENESS AND LONGEVITY OF THE EXISTING REVETMENT.

THE COMPLETED SHORELINE SLOPE STABILIZATION AND ACCESS RECONSTRUCTION WILL PROVIDE A STABLE SHORELINE, AID IN CONTROLLING SEDIMENT TRANSPORT TO THE LAKE, AND PROVIDE A SAFE PATH AND SLOPE WITH VEGETATIVE PROTECTION, THEREBY REDUCING SEDIMENT DISCHARGE INTO LAKE TAHOE.

ALL WORK OTHER THAN EQUIPMENT ACCESS WILL BE ABOVE LAKE TAHOE HIGH WATER LEVEL.

## ABBREVIATIONS:

(NOTE: NOT ALL ABBREVIATIONS MAY BE USED IN THIS PLAN SET)

±	APPROXIMATE	FG	FINISHED GRADE	PVC	POLYVINYL CHLORIDE PIPE
&	AND	FH	FIRE HYDRANT	RTGA	RENO TAHOE GEO ASSOCIATES
AC	ASPHALTIC CONCRETE	FL	FLOW LINE	R/W	RIGHT OF WAY
A	ASPEN	FT	FEET/FOOT	S	SLOPE
BW	BOTTOM OF WALL	G	GAS	SD	STORM DRAIN
C	CEDAR	HWM	HIGH WATER MARK	SDMH	STORM DRAIN MANHOLE
CL	CENTERLINE	H	HORIZONTAL	SE	SLAB ELEVATION
CMP	CORRUGATED METAL PIPE	IE	INVERT ELEVATION	SHT	SHEET
CO	CLEANOUT	INFO	INFORMATION	SN	SNAG
CONC	CONCRETE	L	LENGTH	SP	SUGAR PINE
CONST	CONSTRUCT	LF	LINEAL FEET	SQ	SEQUOIA
CP	CONCRETE PIPE	LP	LOW POINT	SS	SANITARY SEWER
CW	COTTON WOOD	LWL	LOW WATER LEVEL	SSMH	SANITARY SEWER MANHOLE
CY	CUBIC YARD	MH	MANHOLE	ST	STUMP
∅	DIAMETER	MHW	MEAN HIGH WATER LEVEL	TW	TOP OF WALL
DBH	DIAMETER AT BREAST HEIGHT	MLW	MEAN LOW WATER LEVEL	TYP	TYPICAL
DI	DROP INLET	NTS	NOT TO SCALE	V	VERTICAL
E	ELECTRICAL	OHE	OVERHEAD ELECTRIC	W	WIDTH
EE	EAVE ELEVATION	OHU	OVERHEAD UTILITY	W	WILLOW
EG	EXISTING GRADE	P	PINE	WLW	WILLOW
EL	ELEVATION	(P)	PROPOSED	WRW	WOOD RETAINING WALL
(E)	EXISTING	PCC	PORTLAND CEMENT CONCRETE	WSE	WATER SURFACE ELEVATION
EX	EXISTING	PL	PROPERTY LINE	W/	WITH
F	FIR	PUE	PUBLIC UTILITY EASEMENT		

## LEGEND:

(NOTE: NOT ALL LINE-TYPES OR HATCHES MAY BE USED IN THIS PLAN SET)

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING CENTERLINE OF ROAD
---	(P) TRPA HIGH WATER MARK (EL = 6229.1')
---	(E) TRPA HIGH WATER MARK (EL = 6229.1')
---	(E) WATER SURFACE ELEVATION
---	EXISTING DITCH
---	EXISTING SANITARY SEWER LINE
---	EXISTING 3' WOOD FENCE
---	PROPOSED TURBIDITY CURTAIN/SILT FENCE WITH FILTER ROLLS
---	PROPOSED CONSTRUCTION FENCE/TREE PROTECTION FENCE
---	PROPOSED DAYLIGHT LINE (TOP OR TOE OF GRADED SLOPE)
---	PROPOSED GEOTEXTILE (NON-WOVEN)
---	PROPOSED GEOTEXTILE (EROSION CONTROL BLANKET)
---	EXISTING PAVEMENT
---	EXISTING WALL
---	EXISTING CONCRETE
---	PROPOSED RIPRAP/BOULDERS
---	PROPOSED ROCKERY WALL

○	TREE LOCATION
xx'P	TREE DBH IN INCHES, TREE SPECIES
⊗	TREE REMOVAL
○	TREE PROTECTION
---	STONE PATH - ACCESS FROM RESIDENCE TO SHORELINE

## EARTHWORK QUANTITIES:

VOLUME DESCRIPTION:	APPROX. CUT (CY)	APPROX. FILL (CY)
ABOVE ELEVATION 6229.1'	130	20
BELOW ELEVATION 6229.1'	0	0
TOTAL VOLUME	130	20

## APPROVAL:

TAHOE REGIONAL PLANNING AGENCY      DATE \_\_\_\_\_



REV.	DATE	BY	APPD
<b>Reno Tahoe Geo Associates, Inc.</b> CONSULTING CIVIL ENGINEERS P.O. Box 18449      TEL (775)853-9100 Reno, Nevada 89511      FAX (775)853-9199			
<b>TITLE SHEET</b> SHORELINE BLUFF REPAIR APN: 093-072-039 3230 EDGEWATER DRIVE TAHOE CITY, CA			
PLACER COUNTY      CALIFORNIA			
DATE: 1/25/2023 JOB NUMBER: 21097.001 DESIGNED BY: JWP DRAWN BY: SS CHECKED BY: JWP			
SHEET <b>T1.0</b>			
AGENDA ITEM NO. V. A.			

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**GENERAL NOTES:**

- CONTRACTOR SHALL HAVE SIGNED PLANS AND APPROVED PERMITS IN THEIR POSSESSION PRIOR TO COMMENCEMENT OF WORK.
- LOCATION OF EXISTING UNDERGROUND UTILITIES WAS NOT A PART OF THIS DESIGN. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION, INCLUDING SEWER AND ANY WATERLINE INTAKES FROM THE LAKE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND/OR UTILITY DISTRICTS AS TO THE LOCATION OF ALL UNDERGROUND FACILITIES. LOCATION AND DEPTH OF EXISTING UTILITIES WHERE SHOWN ON PLANS ARE BASED ON BEST AVAILABLE INFORMATION. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THIS INFORMATION OR THAT ALL UTILITIES ARE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, PROTECT, AND MAINTAIN ALL EXISTING UTILITIES. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS OF U.S.A. 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING U.S.A. 1-800-642-2444 EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING GROUND SURFACE.
- THE CONTRACTOR SHALL ATTENTIVELY EXAMINE THE SITE IN SUCH A MANNER THAT HE CAN CONFIRM EXISTING SURFACE CONDITIONS WITH THOSE PRESENTED IN PROJECT DOCUMENTS. CONTRACTOR TO ASSESS THE QUANTITY OF EXPOSED MATERIALS AND SUBSURFACE SOIL OR ROCK DEPOSITS HAVE BEEN SATISFACTORILY REPRESENTED IN THE PROJECT DRAWINGS. ANY DISCREPANCIES THAT MAY BE OF PRIOR KNOWLEDGE TO THE CONTRACTOR THAT IS REVEALED THROUGH HIS INVESTIGATION SHALL BE MADE AVAILABLE TO THE OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PROJECT DOCUMENTS PRIOR TO CONSTRUCTION.
- THE WORK IN THIS CONTRACT INCLUDES ALL ON-SITE WORK DESCRIBED ON THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED.
- LOCATION OF LAND CAPABILITY DISTRICTS ORIGINATES FROM TRPA DETERMINATION DATED 06/23/2006 ON THE BOUNDARY AND TOPOGRAPHIC SURVEY PLANS PREPARED BY WEBB LAND SURVEYING, INC. DATED 7/15/2019.
- CONTRACTOR TO BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND ANY OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- NO GRADING, FILLING, CLEARING OF VEGETATION, OPERATION OF EQUIPMENT OR DISTURBANCE OF THE SOIL SHALL TAKE PLACE IN AREAS WHERE ANY HISTORIC OR PREHISTORIC RUINS OR MONUMENTS OR OBJECTS OF ANTIQUITY ARE PRESENT OR COULD BE DAMAGED. IF ANY HISTORIC OR PREHISTORIC RUINS OR MONUMENTS OR OBJECTS OF ANTIQUITY ARE DISCOVERED, ALL GRADING, FILLING, CLEARING OF VEGETATION, OPERATION OF EQUIPMENT OR DISTURBANCE OF THE SOIL SHALL IMMEDIATELY CEASE AND SHALL NOT RECOMMENCE UNTIL FURTHER NOTICE.
- THE WORK IN THIS CONTRACT INCLUDES ALL ON-SITE WORK DESCRIBED ON THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED.
- THE CONTRACTOR SHALL SUBMIT PHOTOGRAPHS OR ACTUAL SAMPLES OF ALL MATERIALS TO BE USED ON THE SITE TO THE PROJECT ENGINEER FOR APPROVAL PRIOR TO USE OF SUCH MATERIALS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE OF HIS INTENTION TO COMMENCE WORK AND 24 HOURS FOR ALL SURVEYING AND INSPECTION DURING CONSTRUCTION TO THE:

OWNER: TYLER OLIVER  
TEL (323) 314-1502

LEAD AGENCY: TAHOE REGIONAL PLANNING AGENCY  
TEL (775) 588-4547

ENGINEER: RENO TAHOE GEO ASSOCIATES, INC  
TEL (775) 853-9100

CONTRACTOR SHALL KEEP THE SAME PARTIES INFORMED REGARDING THE PROGRESS OF WORK, PARTICULARLY THE STOPPING/ RE-STARTING OF WORK DUE TO UNFORESEEABLE CIRCUMSTANCES.

- THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER, CONFORMING TO ALL PERTINENT SAFETY REGULATIONS, TO INSURE A TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES EMERGENCY ACCESS TO THE PROJECT SITE, TO THE SATISFACTION OF THE FIRE DEPARTMENT.
- CONSTRUCTION ACCESS WILL BE PERMITTED BEGINNING MAY 1 AND CONTINUE UNTIL OCTOBER 15.
- TEMPORARY PARKING FOR THE PROJECT RELATED VEHICLES SHALL BE EXISTING PAVED SURFACES, EXISTING COMPACTED ROAD SHOULDERS, OR IN THE AREA DESIGNATED ON THE APPROVED PLAN SET.
- CONTRACTOR TO PROVIDE PLAN FOR REVIEW BY TCPUD FOR PROTECTION OF EXISTING SEWER LINE FROM IMPACTS OR BOTTOM DISTURBANCE FROM BARGE ACCESS OR EQUIPMENT.
- ADEQUATE ADVANCE NOTIFICATION MUST BE PROVIDED TO TCPUD, SO THAT SEWER CAN BE VIDEOED PRIOR TO AND AFTER CONSTRUCTION.
- POTHOLE AND DETERMINE DEPTH OF SEWER LATERAL TO PROPERTY. SUBMIT REVISED LAYOUT IF IS WITHIN A FOOT OF GROUND SURFACE. AIR TEST REPLACEMENT LATERAL PER TCPUD STANDARDS.
- CONTRACTOR TO PAY FOR TCPUD PERMIT IF SEWER LATERAL TO BE REPLACED.

**CONSTRUCTION NOTES:**

- ALL TEMPORARY BMP'S MUST BE IN PLACE PRIOR TO START OF DEMOLITION AND/OR CONSTRUCTION, AND PRIOR TO A TRPA PRE-CONSTRUCTION MEETING.
- CONTRACTOR TO VERIFY ONSITE ALL ASPECTS OF PROPOSED DESIGN PRIOR TO BEGINNING OF WORK. IF CONFLICT, CONCERN OR THE NEED FOR ALTERATION ARISE, IMMEDIATELY CONTACT RENO TAHOE GEO ASSOCIATES, INC. (RTGA) FOR RE-DESIGN.
- PRIOR TO UNDERTAKING ANY CORRECTIVE ACTION BY THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, SHOULD ANY CORRECTIVE WORK BE DONE PRIOR TO NOTIFICATION, THE ENGINEER ASSUMES NO LIABILITY FOR THE COSTS INCURRED FOR THIS WORK
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, (E) CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE), ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL, AT ALL TIMES DURING CONSTRUCTION, PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE, INCLUDING, BUT NOT LIMITED TO, NEIGHBORING DOCKS, EXISTING BUOYS AND DOCKED BOATS, EXISTING VEGETATION AND TREE ROOTS, PAVEMENT, AND ALL UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR OF ANY IMPROVEMENTS (EXISTING AND PROPOSED) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.
- CONSTRUCTION SHALL BE PERFORMED FROM THE SHORE OR BARGE. THE CONTRACTOR SHALL SUBMIT A DETAILED WRITTEN DESCRIPTION OF HIS PROPOSED WORK METHODS WITH SHOP DRAWINGS, AS NECESSARY, TO THE OWNER FOR APPROVAL PRIOR TO COMMENCING WORK.
- ALL BOULDERS AND ROCK MATERIALS SHALL BE CLEANED OF SILT OR SEDIMENT PRIOR TO DELIVERY TO SITE.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-VEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, CURRENT EDITION.
- WHERE THE REMOVAL OF ANY VEGETATION IS IN QUESTION, THE CONTRACTOR SHALL PROTECT THE AREA UNTIL A DECISION BY THE OWNER CAN BE MADE. IF ANY TREES ARE SCARRED, THEY SHALL BE IMMEDIATELY REPAIRED WITH AN APPROVED TREE SEALANT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATING AND SHORING PROCEDURES AND CONFORM TO THE LATEST O.S.H.A. OR OTHER RELEVANT SAFETY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL CONSTRUCTION MATERIALS SPILLED ON PAVED STREETS, ONSITE AND OFFSITE. STREETS SHALL BE WASHED AS NECESSARY.
- NO ROCK OUTCROPS OR BOULDERS SHALL BE MOVED OR DISTURBED DURING THE CONSTRUCTION PROCESS.
- SURPLUS CONSTRUCTION MATERIALS AND CONSTRUCTION WASTE MATERIALS SHALL BE REMOVED FROM THE PROJECT AND DEPOSITED ONLY AT APPROVED LOCATIONS, AT THE CONTRACTOR'S EXPENSE.

**ROCKERY WALL NOTES:**

- ROCKS SHALL BE PLACED IN SUCH A MANNER SO AS TO AVOID CONTINUOUS JOINT PLANES IN EITHER VERTICAL OR HORIZONTAL DIRECTIONS.
- HORIZONTAL BOULDER CONTACT SURFACES SHALL SLOPE TOWARD THE SLOPE BEING SUPPORTED.
- EACH ROCK SHALL BEAR ON TWO OR MORE ROCKS BELOW IT, WITH AT LEAST THREE POINT, COMPETENT AND STABLE CONTACTS (TWO IN FRONT AND ONE IN BACK). THE OUTERMOST POINT OF CONTACT BETWEEN AN UPPER AND LOWER ROCK SHALL BE WITHIN 6-INCHES OF THE AVERAGE ROCKERY FACE.
- THE ROCKS USED SHALL BE OF NON-FRACTURED COMPETENT BEDROCK, SUCH AS BASALT AND GRANITE, AND ANGULAR TO SUB-ROUNDED IN SHAPE. ROUNDED BOULDERS MAY BE RESHAPED BY SPLITTING. BOULDERS WITH VISIBLE CRACKS SHALL NOT BE USED. ALL BOULDERS SHALL HAVE A MINIMUM SPECIFIC GRAVITY OF 2.5.
- ALL ROCKS, INCLUDING BASE ROCKS, SHALL BE PLACED WITH THE LONGEST ROCK DIMENSION PERPENDICULAR TO THE FACE OF THE ROCKERY WALL. THE SECOND LARGEST DIMENSION SHALL BE PARALLEL TO THE ROCKERY FACE.
- VOIDS BETWEEN ROCKS SHALL BE MINIMIZED. ROCKS WITH SHAPES THAT CREATE VOIDS WITH A DIMENSION GREATER THAN 12-INCHES SHALL BE PLACED ELSEWHERE TO OBTAIN A BETTER FIT.
- VOIDS GREATER THAN 6-INCHES SHALL BE CHINKED (FILLED) WITH SMALLER ROCKS. NON-STRUCTURAL CHINKING ROCKS SHALL NOT BE LOOSE OR ABLE TO BE MOVED BY HAND AFTER CONSTRUCTION IS COMPLETE AND SHALL NOT PROVIDE BEARING SUPPORT FOR OVERLYING ROCKS.
- THE ROCK SIZES CAN VARY WITHIN THE RANGES INDICATED SO LONG AS THE OTHER CONSTRUCTION NOTES ARE ADHERED TO. BASE ROCK WIDTHS MAY VARY WITHIN 6-INCHES OF SPECIFIED SIZES. TWO OR MORE CONSECUTIVE BASE ROCKS SHALL NOT BE PLACED WITH A WIDTH LESS THAN SPECIFIED.
- CAPPING ROCKS SHALL WEIGH AT LEAST 200 POUNDS AND SHALL NOT BE MOVEABLE BY HAND. CAP ROCKS NOT MEETING THESE REQUIREMENTS SHALL BE GROUTED OR GLUED IN PLACE.
- ROCKS SHALL NOT BE LOOSE OR ABLE TO BE MOVED BY A PRY BAR AFTER ROCKERY WALL COMPLETION.
- THE SLOPES ABOVE AND BEHIND THE ROCKERY WALLS MAY VARY BUT SHALL BE EQUAL TO OR BE FLATTER THAN INDICATED ON THE DETAILS.
- DRAIN MATERIAL SHALL CONSIST OF 2-INCH TO 6-INCH CLEAN, ANGULAR, WELL-GRADED CRUSHED STONE, QUARRY SPALLS, OR OTHER MATERIAL APPROVED BY THE SOILS ENGINEER. CRUSHED ROCK SHALL BE CAPPED WITH AT LEAST 6-INCHES TO 12-INCHES (SEE DETAILS) OF SOIL OVER GEOTEXTILE AT THE GROUND SURFACE TO PREVENT INFILTRATION OF SURFACE WATER BEHIND THE WALL.
- THE BATTER ON THE FACE OF THE WALL SHALL BE 1:3 (HORIZONTAL:VERTICAL) OR FLATTER.
- FILL SHALL BE MOISTURE CONDITIONED AND COMPACTED TO 90% RELATIVE COMPACTION ACCORDING TO ASTM TEST METHOD D-1557. DRAIN ROCK SHALL BE PLACED IN LIFTS OF 12 INCHES OR LESS, SPREAD AND COMPACTED TO MINIMIZE VOIDS.
- DRAIN ROCK SHALL BE PLACED IN LIFTS OF 12 INCHES OR LESS, SPREAD AND DENSIFIED TO NON-YIELDING.
- AT LEAST 25 PERCENT OF THE STONES SHALL EXTEND TO THE ENTIRE WIDTH OF THE WALL WITH THE REAR OF THE ROCKS ALIGNED IN A VERTICAL OR NEAR VERTICAL PLANE.
- DETAILS ARE SCHEMATIC AND REPRESENT TYPICAL ROCK SIZES AT VARIOUS INTERVALS.
- CONTRACTORS SHALL SUBMIT AN ARCHITECTURAL RENDERING OR PHOTOGRAPHS OF PREVIOUSLY BUILT ROCKERY WALLS TO OBTAIN OWNERS APPROVAL OF GENERAL APPEARANCE PRIOR TO START OF ROCKERY WALL CONSTRUCTION.
- TOE OF ROCKERY WALL SHALL HAVE EMBEDMENT INDICATED ON DIAGRAM AT TOE OF WALL. ON SLOPES, EMBEDMENT SHALL NOT REDUCE BELOW 0 (ZERO) FEET WITHIN 4 FEET HORIZONTAL OF WALL TOE. EMBEDMENT MAY BE WAIVED WHERE WALL RESTS ON AN EXISTING 2 FEET OF ROOF MATERIAL.

**TEMPORARY BMP NOTES:**

- THE CONTRACTOR SHALL MONITOR AND MAINTAIN THE BMP CONSTRUCTION/INSTALLATION/OPERATION TO ENSURE THAT THEY ARE CLEAN, IN GOOD REPAIR, AND CONTINUE TO PROPERLY FUNCTION. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS, AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS.
- WORK SHALL BE ACCOMPLISHED IN SUCH A MANNER TO MINIMIZE DISTURBANCE OF ON-SITE SOILS. THE CONTRACTOR SHALL PROPERLY INSTALL AND MAINTAIN SILTATION CONTROL DEVICES; IF IN THE OPINION OF THE OWNER OR REGULATORY AGENCY, CUT MATERIAL CAN BE STOCKPILED ONSITE AT DESIGNATED CONSTRUCTION STAGING AREAS AND PROTECTED FROM WIND AND WATER EROSION THROUGH THE INSTALLATION OF FIBER ROLLS SURROUNDING THE STOCKPILE, COUPLED WITH COVERING THE STOCKPILED MATERIAL WITH A NONWOVEN GEOTEXTILE. MATERIAL SHALL NOT BE STOCKPILED IN THE BACKSHORE.
- NO MATERIAL OR EQUIPMENT SHALL ENTER OR BE PLACED IN THE AREAS PROTECTED BY FENCING OR OUTSIDE THE APPROVED CONSTRUCTION AREA. ALL PROJECT RELATED VEHICLES SHALL PARK ON (E) PAVED SURFACES, (E) COMPACTED ROAD SHOULDERS, OR IN THE AREA DESIGNATED BY THE PLANS AND/OR OWNER. EXISTING VEGETATION AND GROUND OUTSIDE OF THE DESIGNATED CONSTRUCTION AREA, CONSTRUCTION ACCESS ROAD, AND CONSTRUCTION STAGING AREAS SHALL NOT BE DISTURBED. CONSTRUCTION FENCING SHALL BE INSTALLED PER PLAN IN ORDER TO PROTECT AREAS OUTSIDE OF THESE DESIGNATED AREAS.
- LOOSE SOIL MOUNDS OR SURFACES SHALL BE PROTECTED FROM WIND OR WATER EROSION BY BEING APPROPRIATELY COVERED WHEN CONSTRUCTION IS NOT IN ACTIVE PROGRESS.
- EXCAVATED MATERIAL SHALL BE STORED UPGRADE FROM THE EXCAVATED AREA WHENEVER POSSIBLE. NO MATERIAL OR EQUIPMENT SHALL BE STORED WITHIN THE THE BACKSHORE.
- ONLY EQUIPMENT OF A SIZE AND TYPE THAT WILL DO THE LEAST AMOUNT OF DAMAGE, UNDER PREVAILING SITE CONDITIONS, AND CONSIDERING THE NATURE OF THE WORK TO BE PERFORMED, WILL BE USED.
- NO WASHING OF VEHICLES OR HEAVY EQUIPMENT, SHALL BE PERMITTED ANYWHERE ON THE SUBJECT PROPERTY.

**TRPA SPECIAL CONDITIONS:**

- WORK SHALL BE ACCOMPLISHED IN SUCH A MANNER TO MINIMIZE DISTURBANCE OF ONSITE SOILS OR STIRRING UP SEDIMENT IN LAKE TAHOE. THE CONTRACTOR SHALL PROPERLY INSTALL AND MAINTAIN SILTATION CONTROL DEVICES. IF IN THE OPINION OF THE OWNER OR REGULATORY AGENCY, THERE IS A POSSIBILITY OF SILTATION OF LAKE TAHOE WATERS DUE TO CONSTRUCTION ACTIVITIES.
- FERTILIZER USE ON THE PROPERTY SHALL BE MANAGED TO INCLUDE THE APPROPRIATE TYPE OF FERTILIZER, RATE, AND FREQUENCY OF THE APPLICATION TO AVOID RELEASE OF EXCESS NUTRIENTS AND MINIMIZE USE OF FERTILIZER.
- NO TREES SHALL BE REMOVED OR TRIMMED FOR VIEW ENHANCEMENT PURPOSES WITHOUT PRIOR WRITTEN APPROVAL.
- THE ADEQUACY OF ALL BMP'S AS SHOWN ON THE CONSTRUCTION PLANS SHALL BE CONFIRMED AT THE TIME OF THE TRPA PRE-GRADING INSPECTION. ANY REQUIRED MODIFICATIONS, AS DETERMINED BY TRPA, SHALL BE INCORPORATED INTO THE PROJECT PERMIT AT THAT TIME.
- ALL EXISTING DISTURBED AREAS, AND AREAS DISTURBED BY CONSTRUCTION ACTIVITY, SHALL BE REVEGETATED WITH VEGETATION SPECIES IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES.
- NO SPRAY PAINTING WILL BE CONDUCTED AS PART OF THIS PROJECT.
- THE USE OF THE TRIBUTYL TIN FOR THIS PROJECT IS PROHIBITED.
- THE DISCHARGE OF PETROLEUM PRODUCTS, CONSTRUCTION WASTE AND LITTER, OR EARTHEN MATERIALS (EXCEPT FOR BOULDER, COBBLE, AND GRAVEL MATERIAL REQUIRE FOR REPAIR OF THE REVETMENTS) TO THE SURFACE WATERS OF LAKE TAHOE IS PROHIBITED.
- ALL SURPLUS CONSTRUCTION MATERIALS AND CONSTRUCTION WASTE MATERIALS SHALL BE REMOVED FROM THE PROJECT AND DEPOSITED ONLY AT APPROVED LOCATIONS.
- ALL CONSTRUCTION AND GRADING ACTIVITIES WILL ADHERE TO THE STANDARDS FOUND IN CHAPTER 33 OF THE TRPA CODE OF ORDINANCES.
- THE CONTRACTOR SHALL NOT STORE CONSTRUCTION MATERIALS ON THE BEACH OR IN THE BACKSHORE, EXCEPT FOR BOULDER AND COBBLE MATERIAL TO BE USED IN THE REPAIR OF THE REVETMENTS.
- CONTRACTOR SHALL PROTECT BOLE AND ROOTS OF EXISTING TREES. THE BOLES SHALL BE PROTECTED WITH WOOD PLANKING THAT IS STRAPPED OR TIED IN PLACE.
- NO CONTAINERS OF FUEL, PAINT, OR OTHER HAZARDOUS MATERIALS MAY BE STORED ON THE PIER OR SHORELINE.

REV.	DATE	BY	APPD

**Reno Tahoe Geo Associates, Inc.**  
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**NOTES & SPECIFICATIONS**

SHORELINE BLUFF REPAIR  
APN: 093-072-039  
3230 EDGEWATER DRIVE  
TAHOE CITY, CA

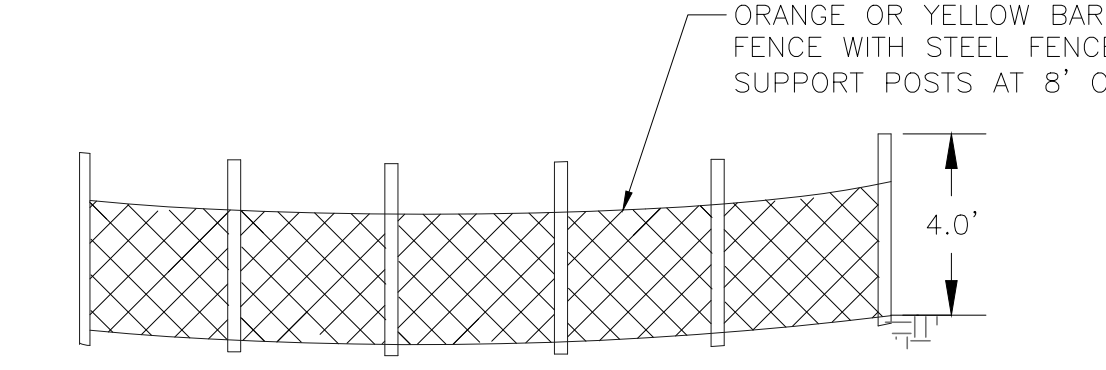
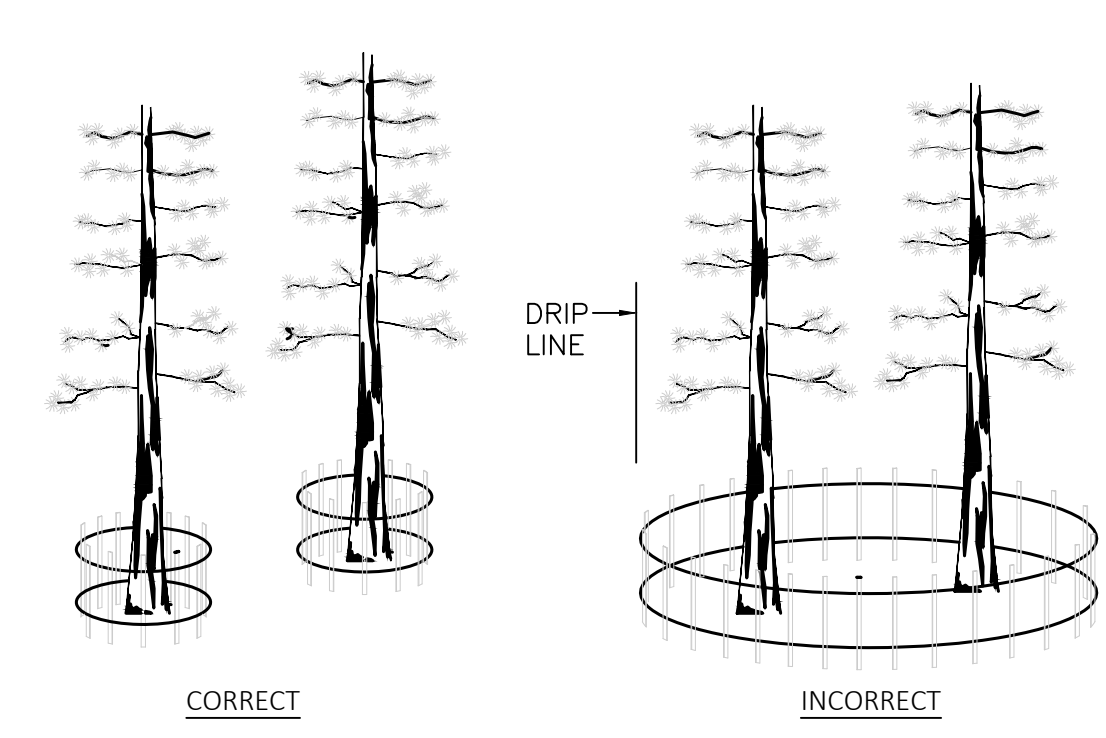
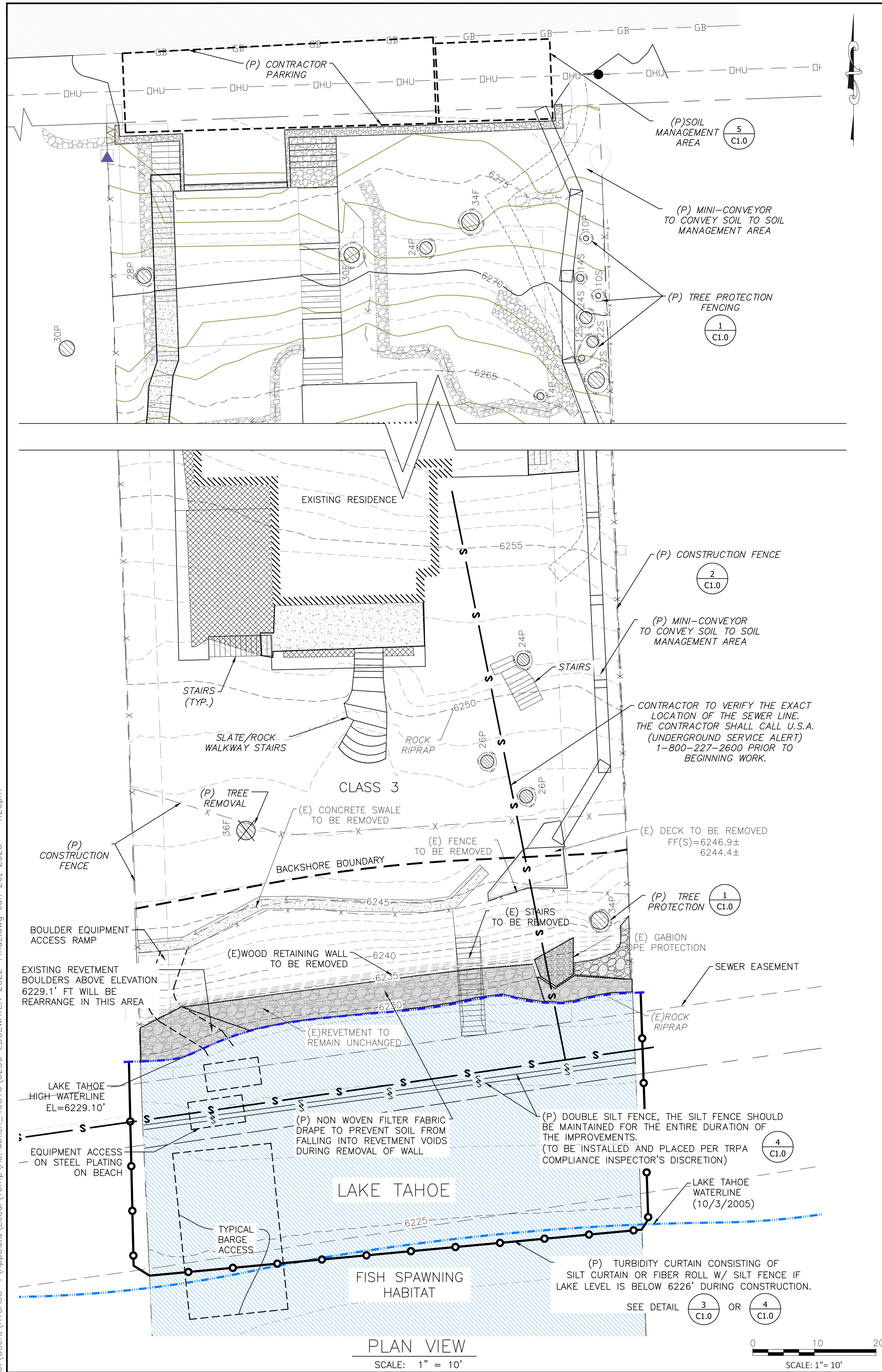
CALIFORNIA  
PLACER COUNTY

DATE: 1/25/2023  
JOB NUMBER: 21097.001  
DESIGNED BY: JWP  
DRAWN BY: SS  
CHECKED BY: JWP

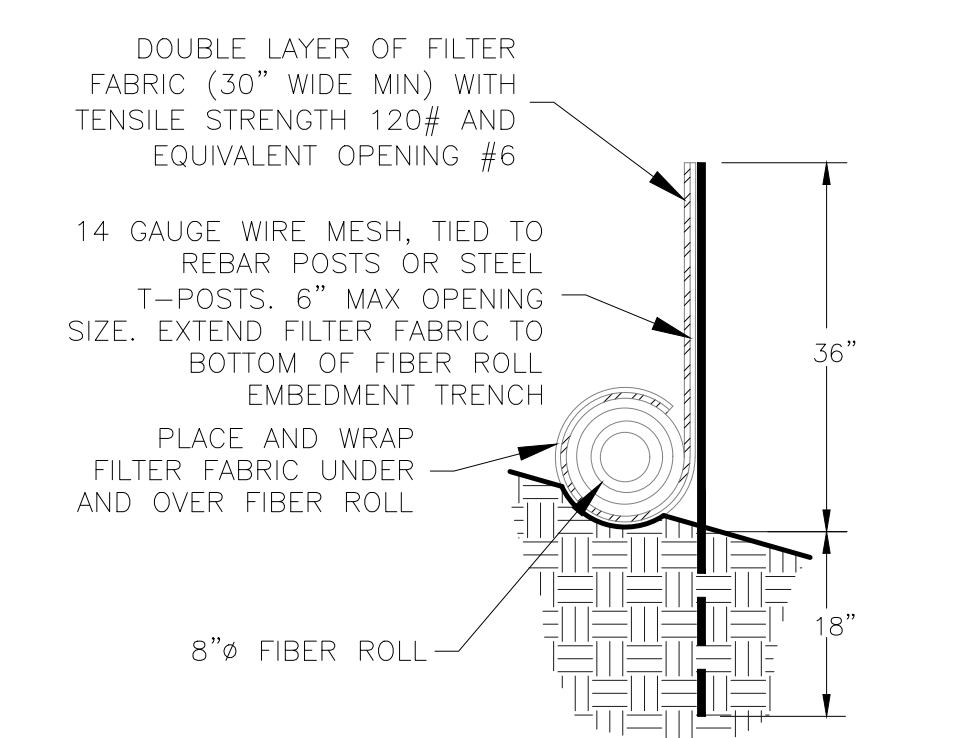
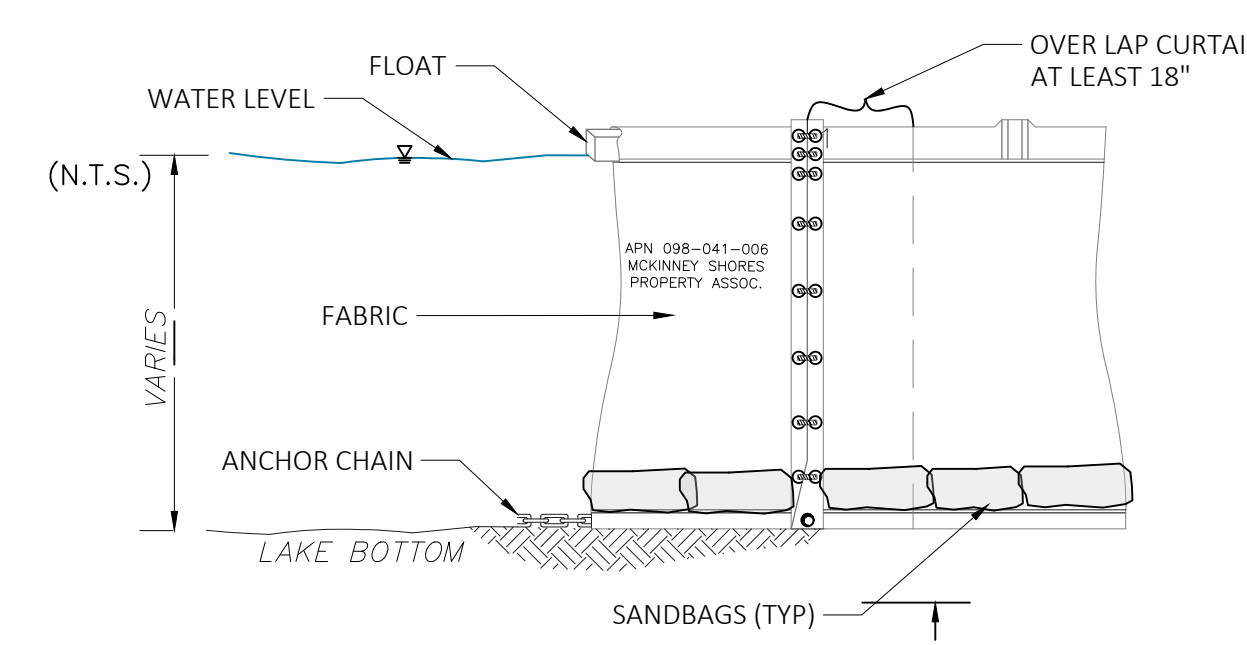
SHEET  
**T1.1**

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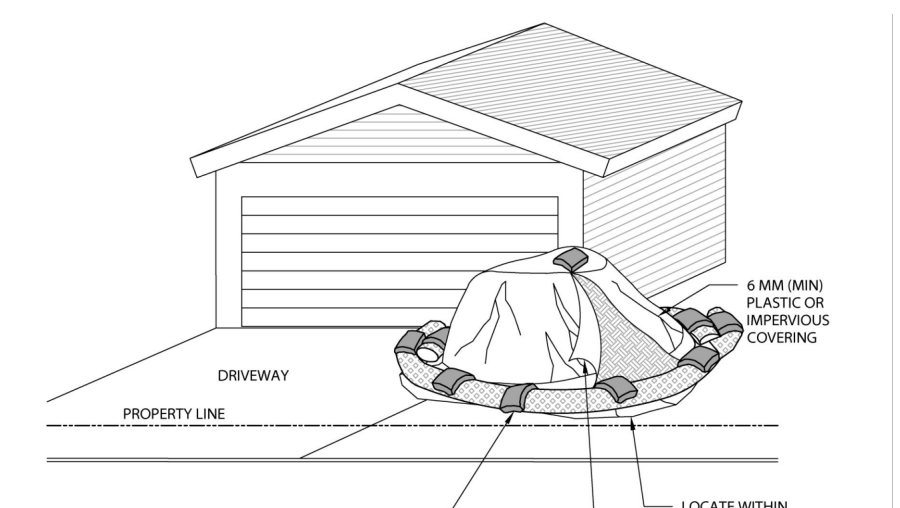
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**NOTES:**  
1. ORANGE CONSTRUCTION FENCE TO BE INSTALLED PER PLAN (SEE SHEET C1.0) TO PROTECT AREAS OUTSIDE OF THE PROJECT AREA.  
2. CONSTRUCTION FENCING SHALL NOT BE PLACED ALONG THE HIGHLY EROSION BANKS AND ACROSS THE CREEK BED WITHIN THE RIPARIAN ZONE AS DEFINED ON SHEET C1.0 IN ORDER TO PREVENT FURTHER DEGRADATION OF THE BANKS AND DISTURBANCE WITHIN THE CREEK BED. CONTRACTOR TO USE ENDPOINTS OF FENCING ON EITHER SIDE OF THE CHANNEL AS REFERENCE TO THE CONSTRUCTION LIMITS.



**NOTE:** TURBIDITY CURTAIN SPECIFICATIONS TO BE DETERMINED BY ENGINEER AND/OR CONTRACTOR. INSTALLATION OF TURBIDITY CURTAIN SHALL BE APPROVED BY TRPA COMPLIANCE INSPECTOR PRIOR TO CONSTRUCTION



**NOTES:**  
1. LOCATE STOCK AND/OR SPOIL PILES AWAY FROM DRAINAGE COURSES, DRAIN INLETS OR CONCENTRATED FLOWS OF STORMWATER.  
2. ALL STOCK AND/OR SPOIL PILE PERIMETERS SHALL BE PROTECTED WITH TEMPORARY LINEAR SEDIMENT BARRIERS.  
3. COVER ALL STOCK AND/OR SPOIL PILES WITH 6 MM PLASTIC, CANVAS TARP OR IMPERVIOUS COVER TO PREVENT WIND AND RAIN EROSION. EVENLY SPACE WEIGHTS (GRAVEL BAGS) ON COVER TO KEEP IN PLACE DURING WIND.  
4. CONDUCT REGULAR INSPECTIONS OF STOCK AND/OR SPOIL PILES DURING AND AFTER RAIN EVENTS.  
5. VERY LARGE STOCK AND/OR SPOIL PILES MAY REQUIRE SILT FENCE IN LIEU OF FIBER ROLLS.  
6. REMOVE SPOIL PILES FROM CONSTRUCTION SITE AS SOON AS POSSIBLE.  
7. STOCK/SPOIL PILES MUST BE STORED WITHIN THE APPROVED STAGING AREA.  
8. A ROCK/SOIL BIN MAY BE USED WHICH WILL BE SURROUNDED BY A FIBER ROLL AND COVERED WHEN NOT IN USE.

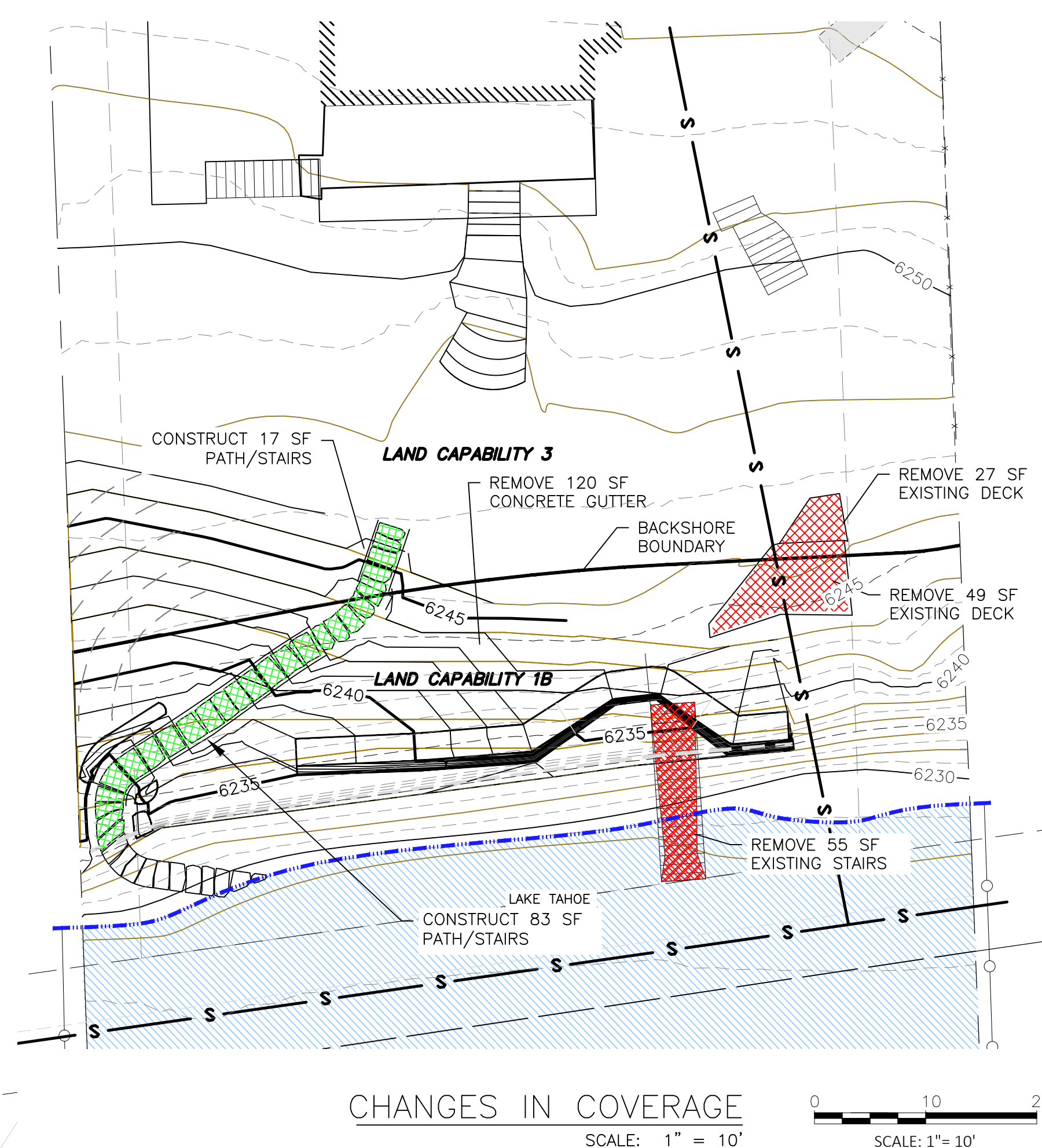
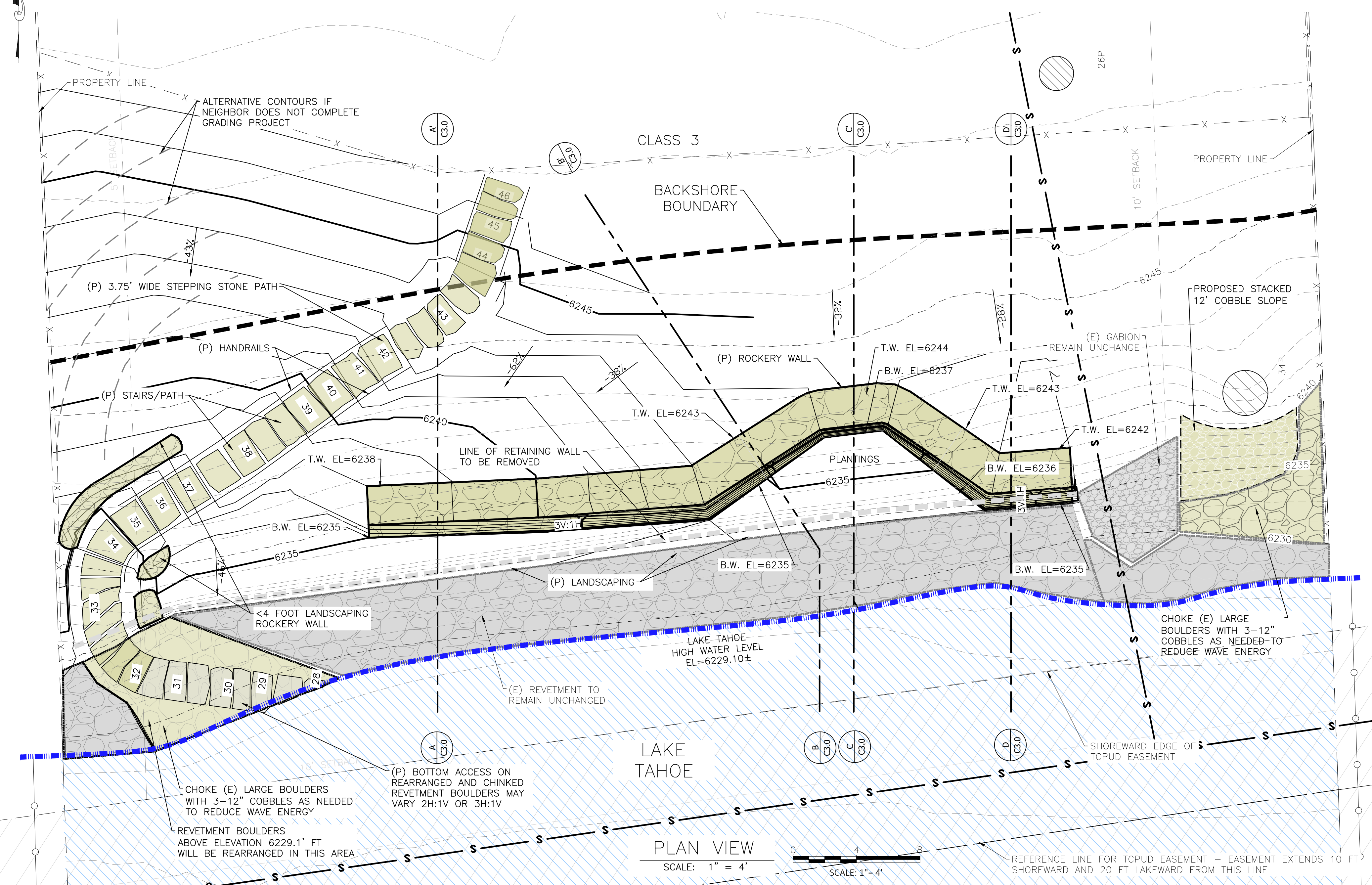


**NOTES:**  
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH (3"-5" DEEP), UTILIZING 1"x1" STAKES. DUG ALONG CONTOUR. RUNOFF MUST NOT BE ALLOWED TO PASS UNDER OR AROUND ROLL. SINGLE STAKES CAN BE EITHER DRIVEN THROUGH THE FIBER ROLL OR PAIRS OF STAKES CAN BE UTILIZED IN TANDEM ON OPPOSITE SIDES TO SECURE THE ROLL, BUT THEN MUST BE TIED AT THE TOP.  
2. FIBER ROLLS WILL FREQUENTLY NEED TO BE ROUTED AROUND EXISTING SITE BOULDERS REQUIRING FIELD MODIFICATION. WHEN BOULDERS ARE ENCOUNTERED, MODIFIED FIBER ROLL ALIGNMENT SHOULD CONTINUE ON THE UPHILL SIDE OF THE BOULDERS.  
3. START AT THE BOTTOM OF THE SLOP AND WORK UP.  
4. ENSURE NO GAPS EXIST BETWEEN THE ROLL AND THE SOIL.  
5. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY 1-2" OF STAKE EXPOSED ABOVE ROLL.  
6. INSTALL ROLLS SO THAT ENDS OVERLAP.

**NOTES:**  
1. CONTRACTOR TO INSTALL TREE PROTECTION AS NEEDED ALONG DRIPLINE. SEE DETAILS 1 & 2, THIS SHEET.  
2. CONTRACTOR TO INSTALL FILTER ROLLS AS NEEDED DURING SLOPE DISTURBANCE ALONG BASE OF BARE SOIL/SLOPE. SEE DETAIL 6, THIS SHEET.  
3. ALL MATERIAL MUST BE TRANSPORTED INTO AND OUT OF THE SITE VIA BARGE OR VIA DESIGNATED TEMPORARY CONSTRUCTION ACCESS ROAD PER THIS SHEET. PLEASE REFER TO NOTES AND SPECIFICATIONS SHEET T1.1 FOR CONSTRUCTION ACTIVITY/TEMPORARY BMP REQUIREMENTS.  
4. TO ADDRESS CONSTRUCTION ACCESS FROM THE STREET, TRAFFIC CONTROL PLANS SHALL BE PROVIDED BY THE CONTRACTOR.  
5. VEHICULAR ACCESS/CONTRACTOR PARKING WITH CALTRANS APPROVED PERMIT BY CONTRACTOR.  
6. TEMPORARY CONSTRUCTION ACCESS ROAD TO BE RESTORED/REVEGETATED UPON PROJECT COMPLETION.  
7. WHERE BOULDER AND COBBLE MATERIAL REMOVED MEETS SPECIFICATIONS OF MATERIAL TO BE INSTALLED, UTILIZATION OF REMOVED MATERIAL MAY BE USED AS A SOURCE.

APPD					
BY					
REV					
DATE					
<p><b>Reno Tahoe Geo Associates, Inc.</b> CONSULTING CIVIL ENGINEERS</p> <p>P.O. Box 18449 Reno, Nevada 89511</p> <p>TEL (775)853-9100 FAX (775)853-9199</p>					
<p><b>TEMPORARY BMP &amp; DEMO PLAN</b></p> <p>SHORELINE BLUFF REPAIR APN: 093-072-039 3230 EDGEWATER DRIVE TAHOE CITY, CA</p> <p>PLACER COUNTY CALIFORNIA</p>					
<p>DATE: 1/25/2023 JOB NUMBER: 21097.001 DESIGNED BY: JWP DRAWN BY: SS CHECKED BY: JWP</p>					
<p>SHEET</p> <h1>C1.0</h1>					
<p>AGENDA ITEM NO. V. A.</p>					

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PARCEL AREA: 13,023 SF

**ALLOWABLE COVERAGE:**

CLASS BE1B (BACKSHORE):	1,882 SF @ 1% =	19 SF
CLASS 3:	11,141 SF @ 5% =	557 SF
<b>TOTAL ALLOWABLE:</b>		<b>576 SF</b>

**EXISTING/VERIFIED COVERAGE 10/30/06\***

TRPA FILE#20060560:	CLASS 3	CLASS Be1B	TOTAL
RESIDENCE/GARAGE (2,175 SF) :	2,165 SF*	0	2,165 SF*
ASPHALT/CONCRETE DRIVEWAY:	313 SF	0	313 SF
DECK/STAIRS/EAVES (848 SF):	917 SF*	0	917 SF*
DECK/STAIRS (123 SF):	27 SF*	104 SF*	131 SF*
CEMENTED STONE ROCK WALKS/PADS (170 SF) :	169 SF*	0	169 SF*
CONCRETE WALKS/PADS:	550 SF	0	550 SF
WOOD WALKWAY/STAIRS:	274 SF	0	274 SF
<b>TOTAL (4,453 SF):</b>	<b>4,415 SF</b>	<b>104 SF</b>	<b>4,519 SF</b>

**PROPOSED COVERAGE:**

	CLASS 3	CLASS Be1B	TOTAL
RESIDENCE/GARAGE:	2,165 SF*	0	2,165 SF*
ASPHALT/CONCRETE DRIVEWAY:	313 SF	0	313 SF
DECK/STAIRS/EAVES:	917 SF*	0	917 SF*
DECK/STAIRS:	0	0	0
CEMENTED STONE ROCK WALKS/PADS:	169 SF*	0	169 SF*
CONCRETE WALKS/PADS:	550 SF	0	550 SF
WOOD WALKWAY/STAIRS:	274 SF	0	274 SF
NEW PATH :	17	83	100 SF
<b>TOTAL:</b>	<b>4,405 SF</b>	<b>83 SF</b>	<b>4,488 SF</b>

\* AS MODIFIED IN RTGA LETTER DATED DECEMBER 30, 2022



PHOTO OF WEST PROPERTY LINE AREA



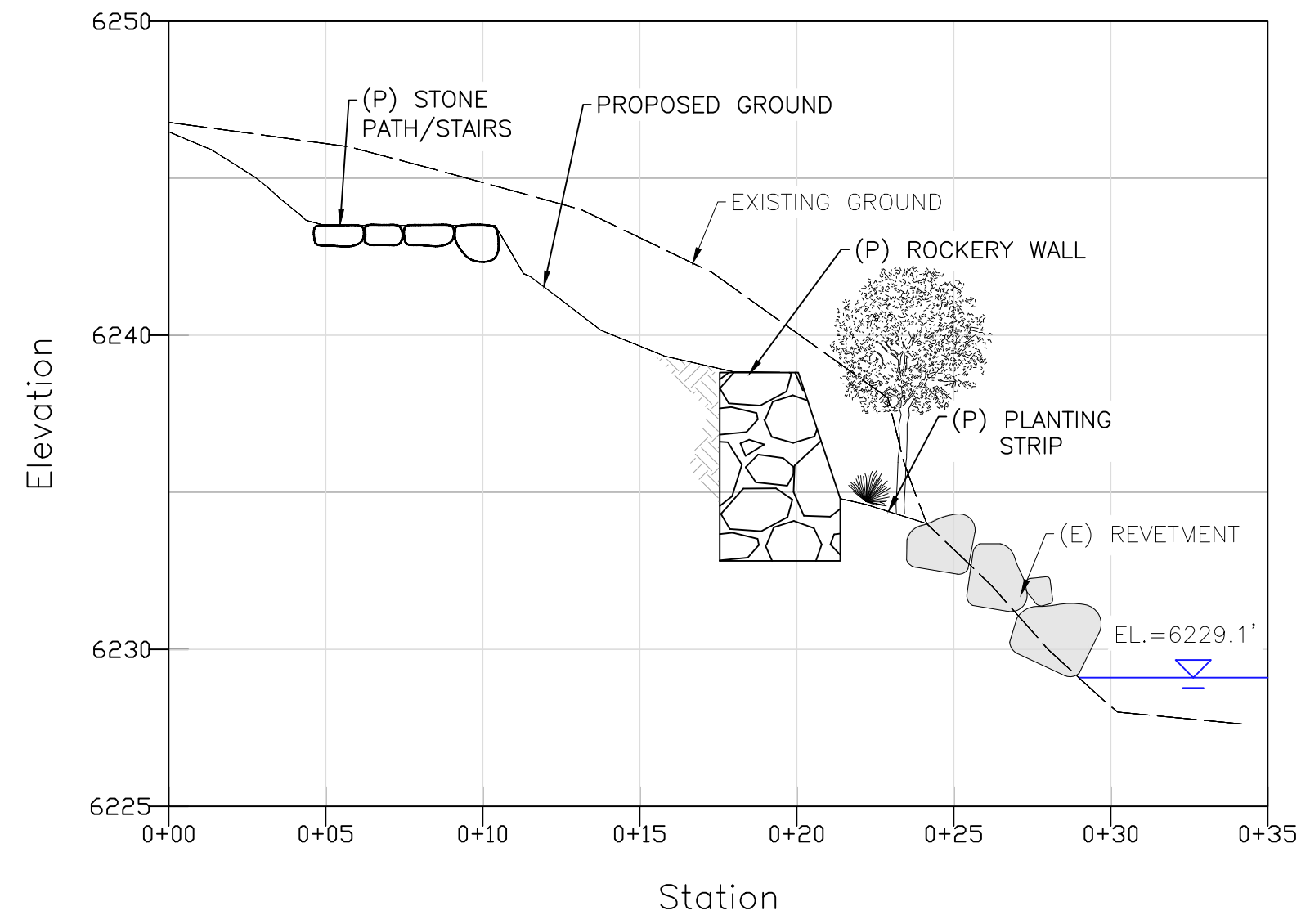
PHOTO OF GABION & BOULDER REVETMENT AT EAST PROPERTY AREA

**LEGEND:**  
 LAND COVERAGE REMOVAL  
 LAND COVERAGE ADDITION

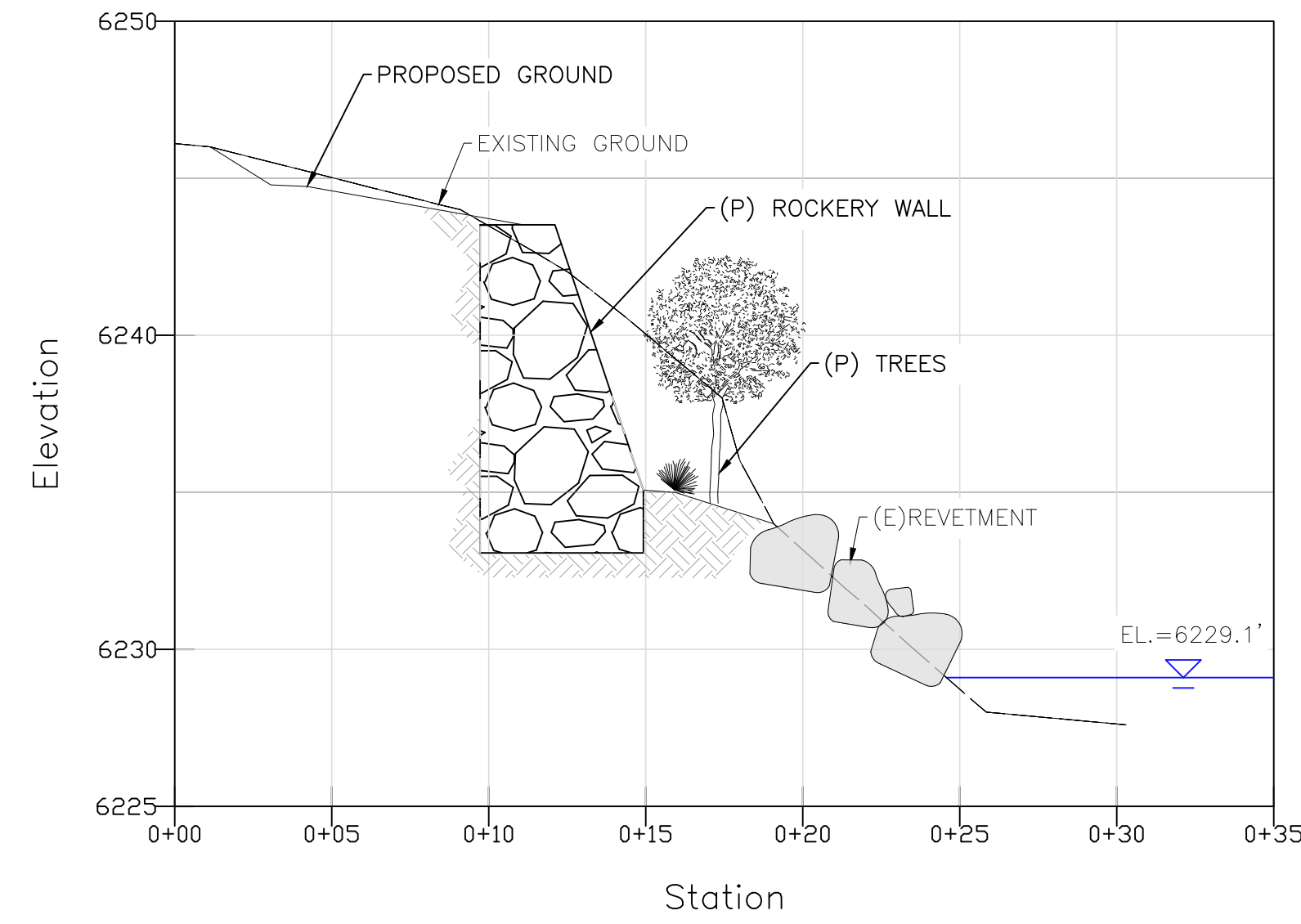
PROPOSED STACKED COBBLE SLOPE

COBBLE INFILL IF EXISTING BOULDER REVETMENT

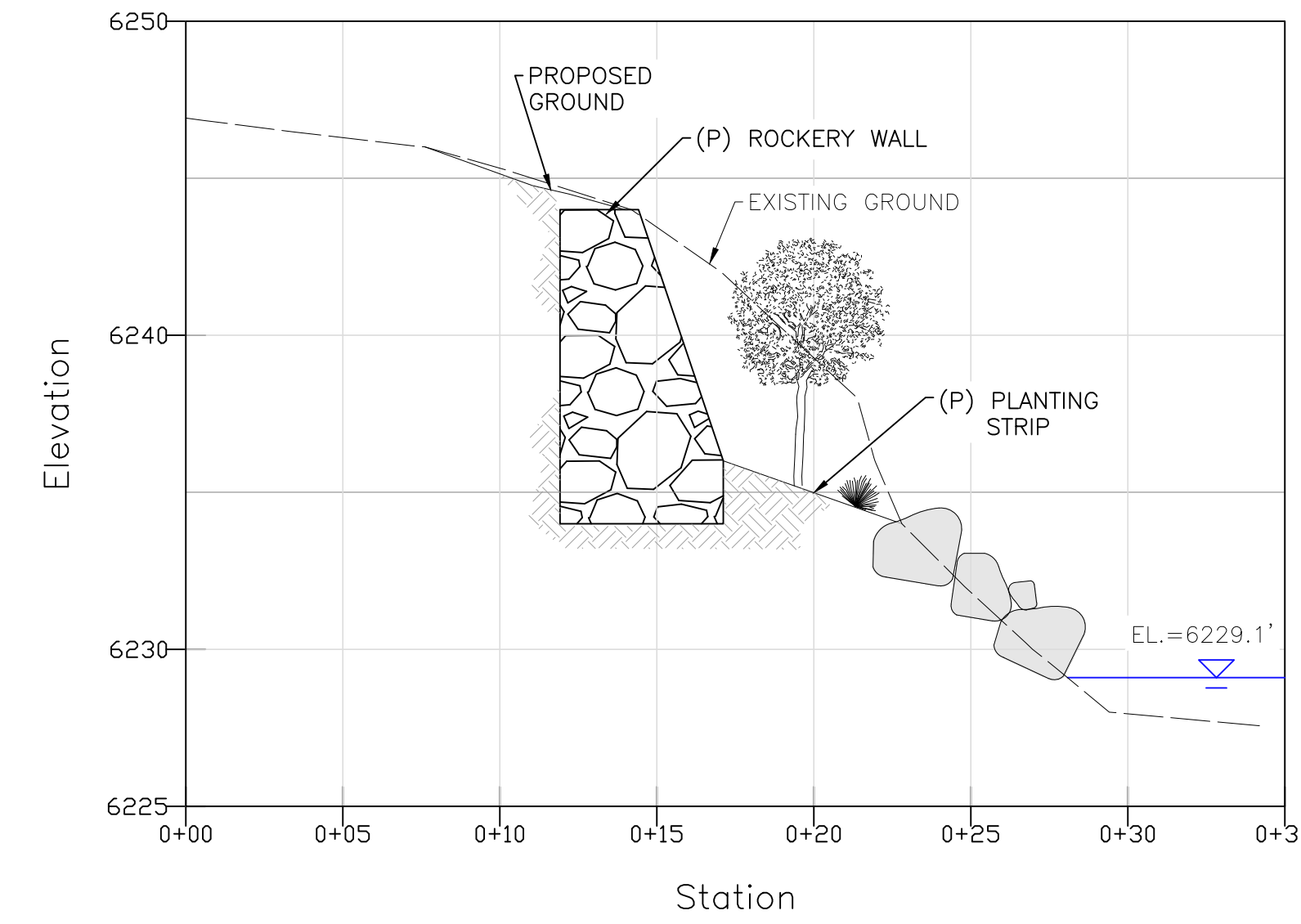
REV.	DATE	BY	APP'D	
<b>Reno Tahoe Geo Associates, Inc.</b> CONSULTING CIVIL ENGINEERS P.O. Box 18449 Reno, Nevada 89511 TEL (775)853-9100 FAX (775)853-9199				
<b>IMPROVEMENT PLAN &amp; LAND COVERAGE</b> SHORELINE BLUFF REPAIR APN: 093-072-039 3230 EDGEWATER DRIVE TAHOE CITY, CA				
CALIFORNIA PLACER COUNTY				
DATE: 1/25/2023				
JOB NUMBER: 21097.001				
DESIGNED BY: JWP				
DRAWN BY: SS				
CHECKED BY: JWP				
SHEET				
<b>C2.0</b>				
AGENDA ITEM NO. V. A.				



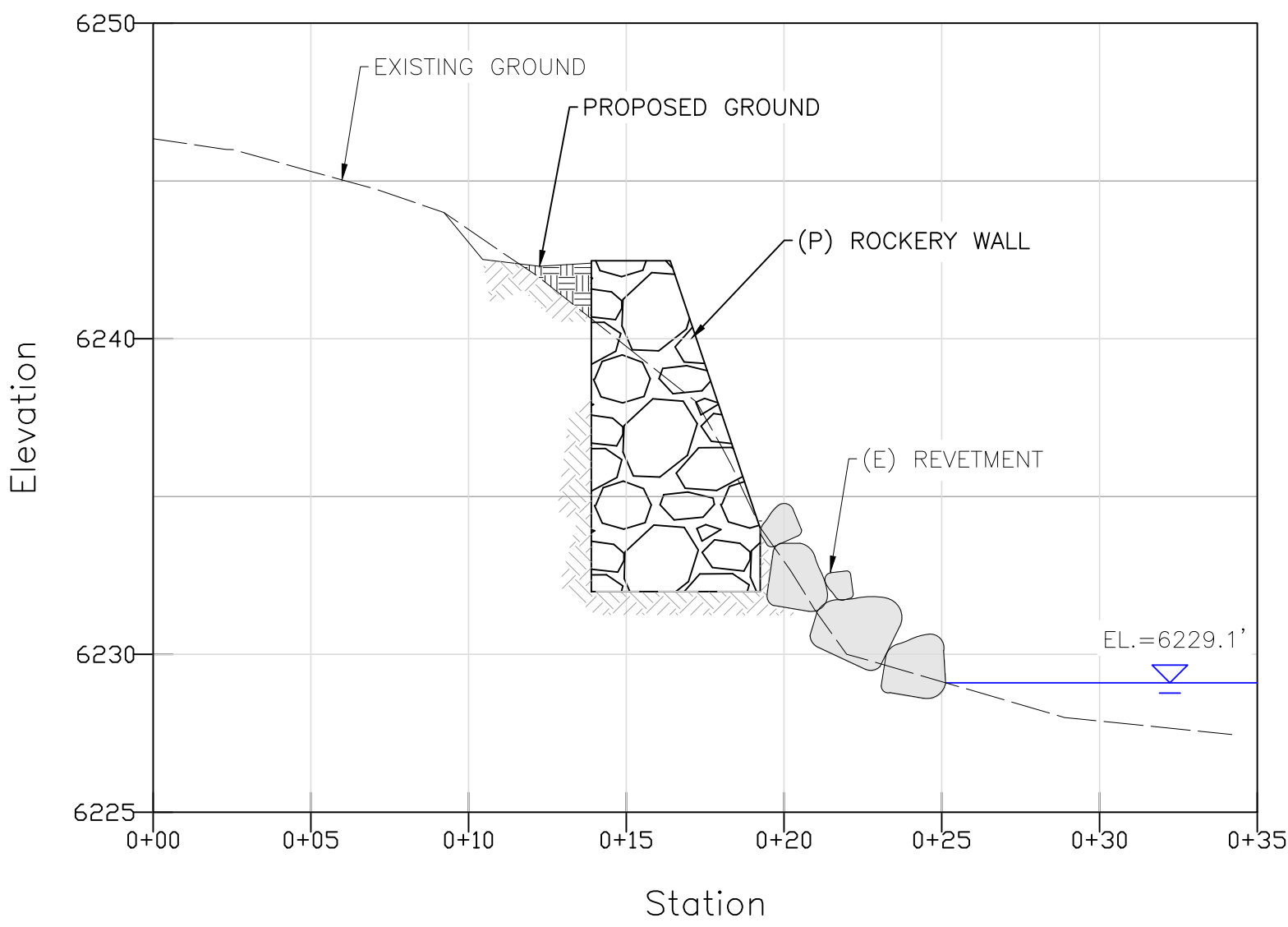
SECTION A-A' 1  
1"=5' C3.0



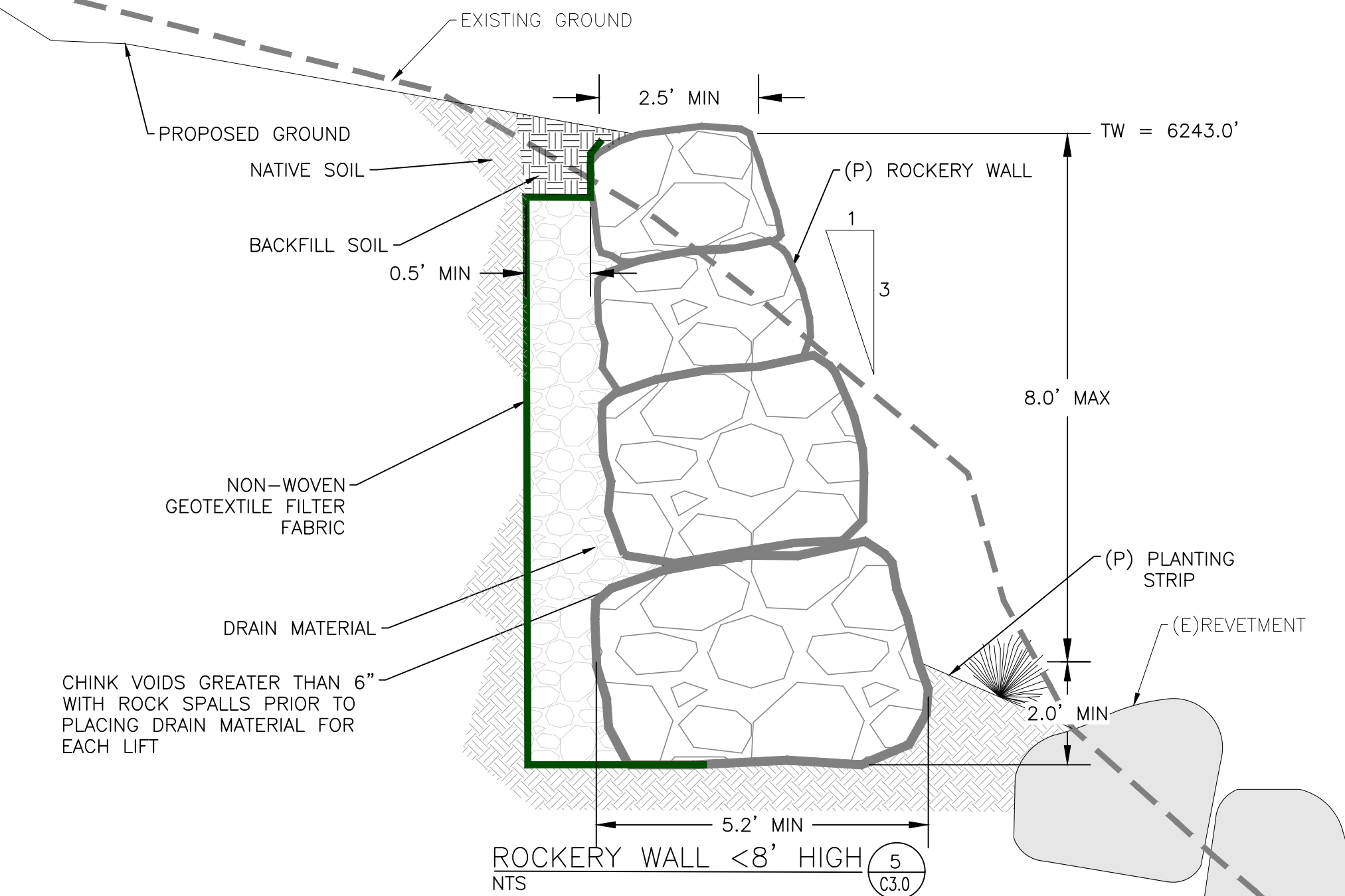
SECTION B-B' 2  
1"=5' C3.0



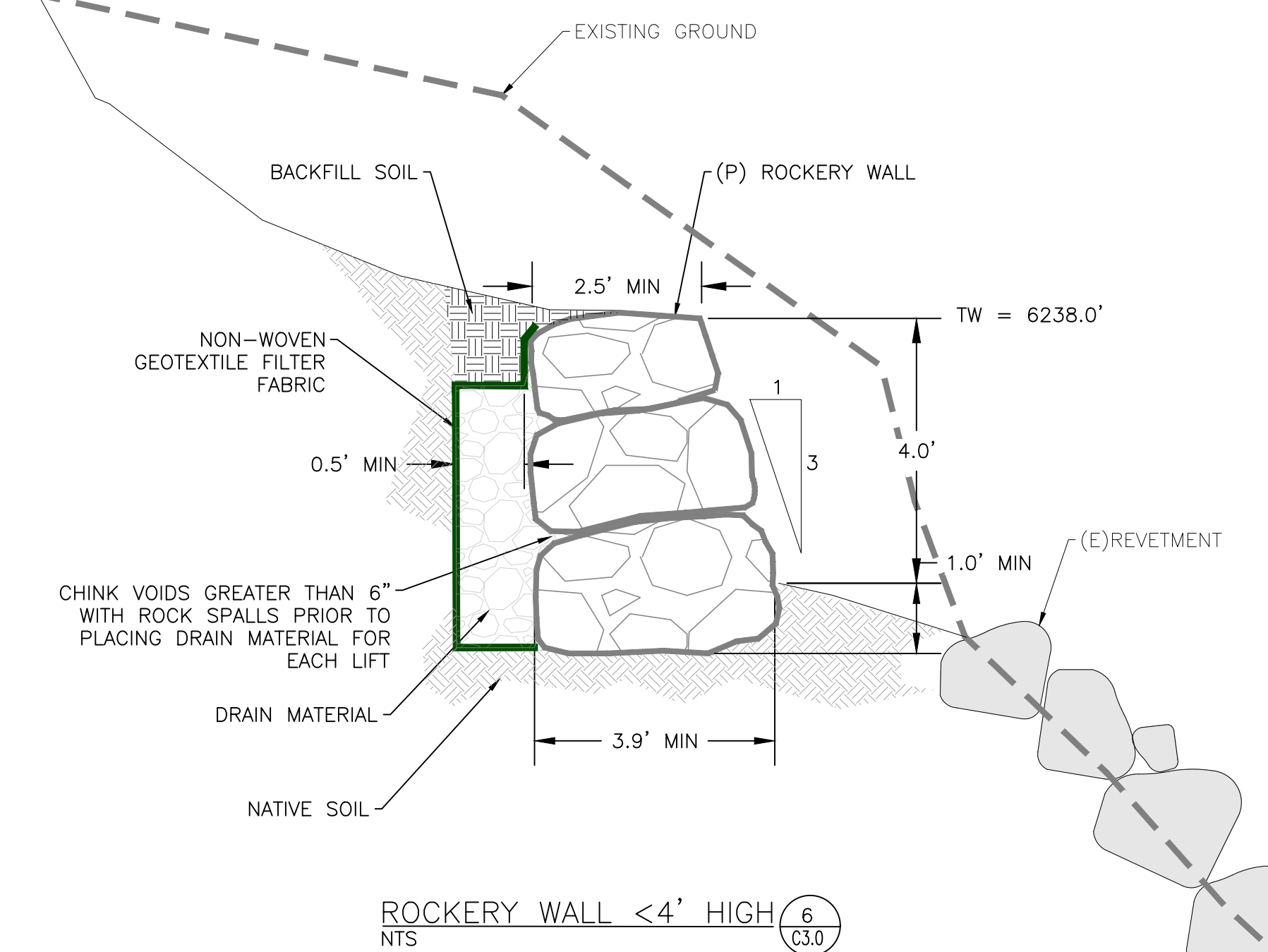
SECTION C-C' 3  
1"=5' C3.0



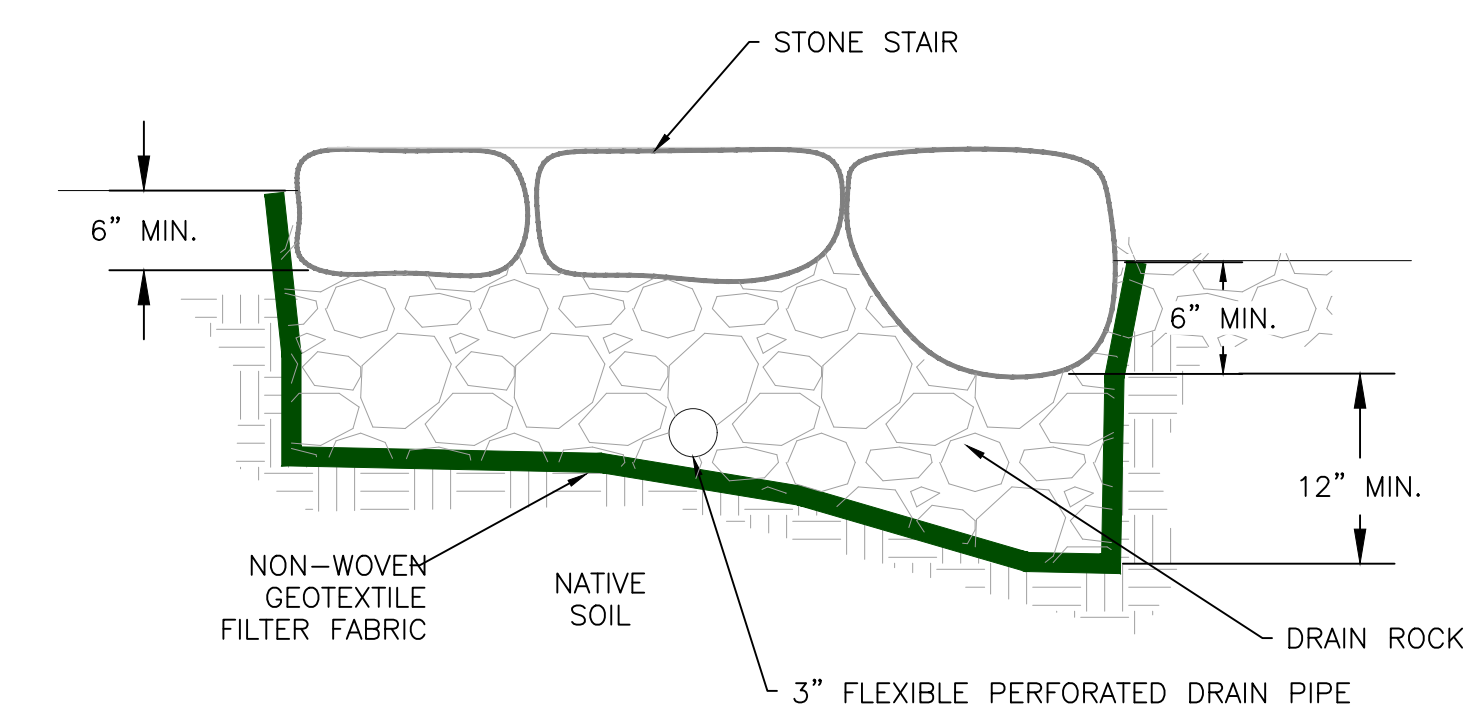
SECTION D-D' 4  
1"=5' C3.0



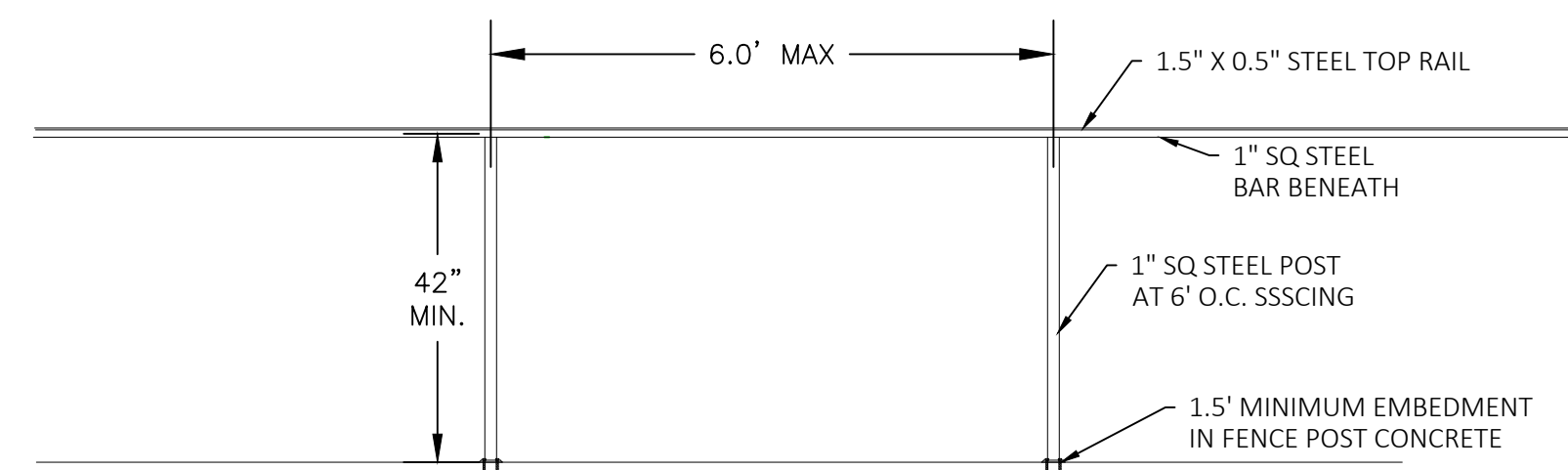
ROCKERY WALL <8' HIGH 5  
NTS C3.0



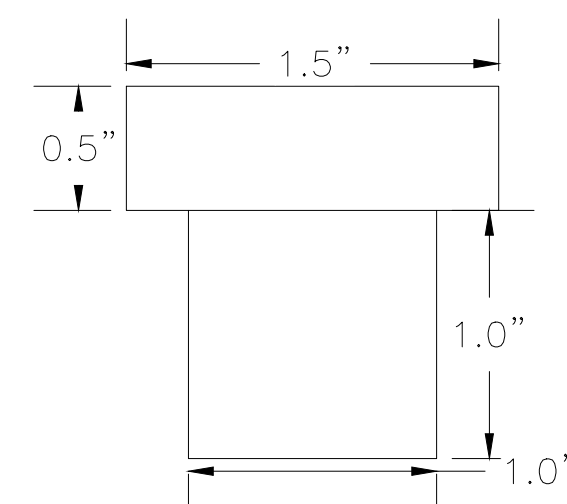
ROCKERY WALL <4' HIGH 6  
NTS C3.0



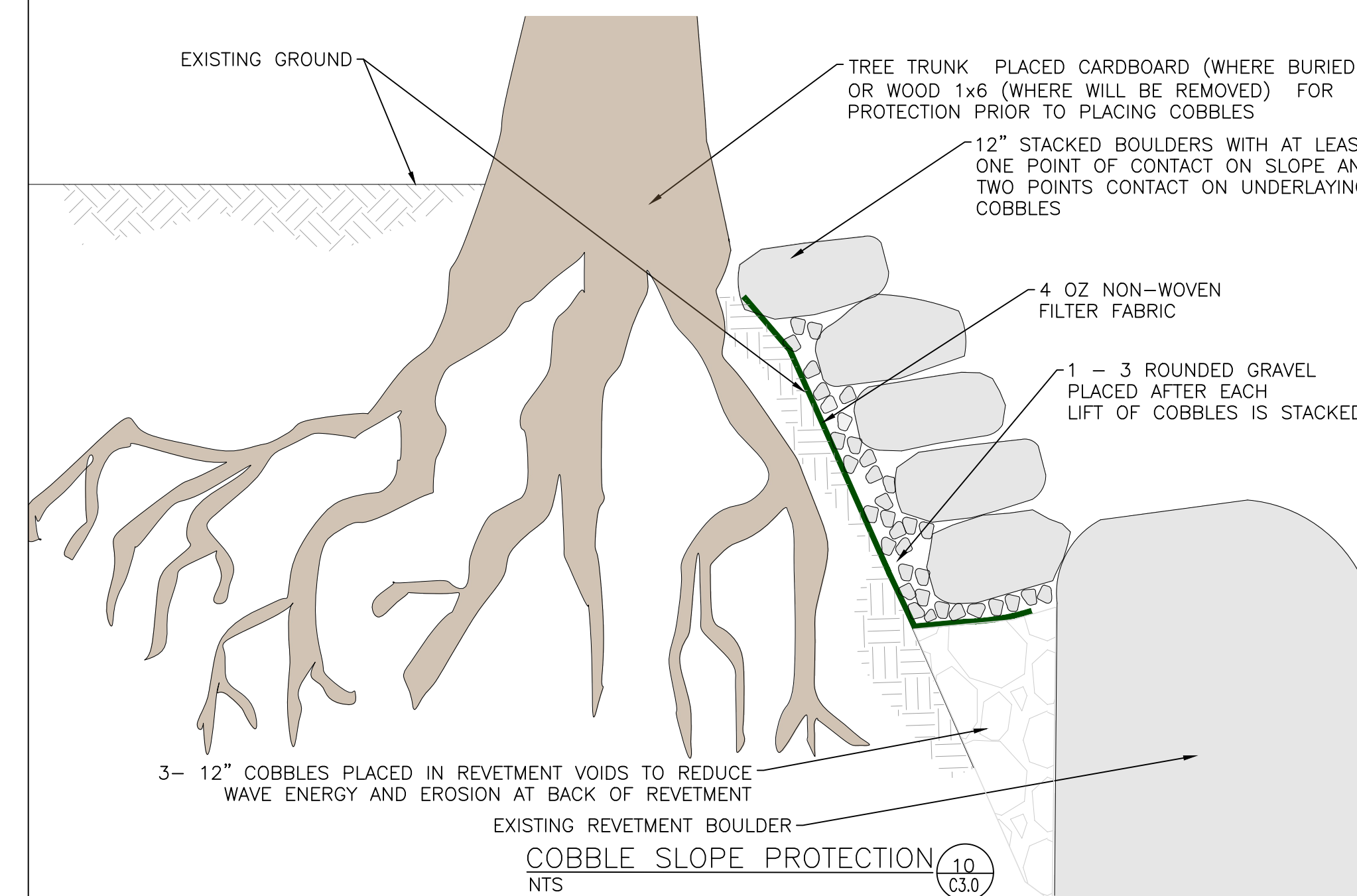
TYPICAL STONE STEP SECTION DETAIL 7  
NTS C3.0



TYPICAL HANDRAIL DETAIL 8  
NTS C3.0



RAIL DETAIL 9  
NTS C3.0



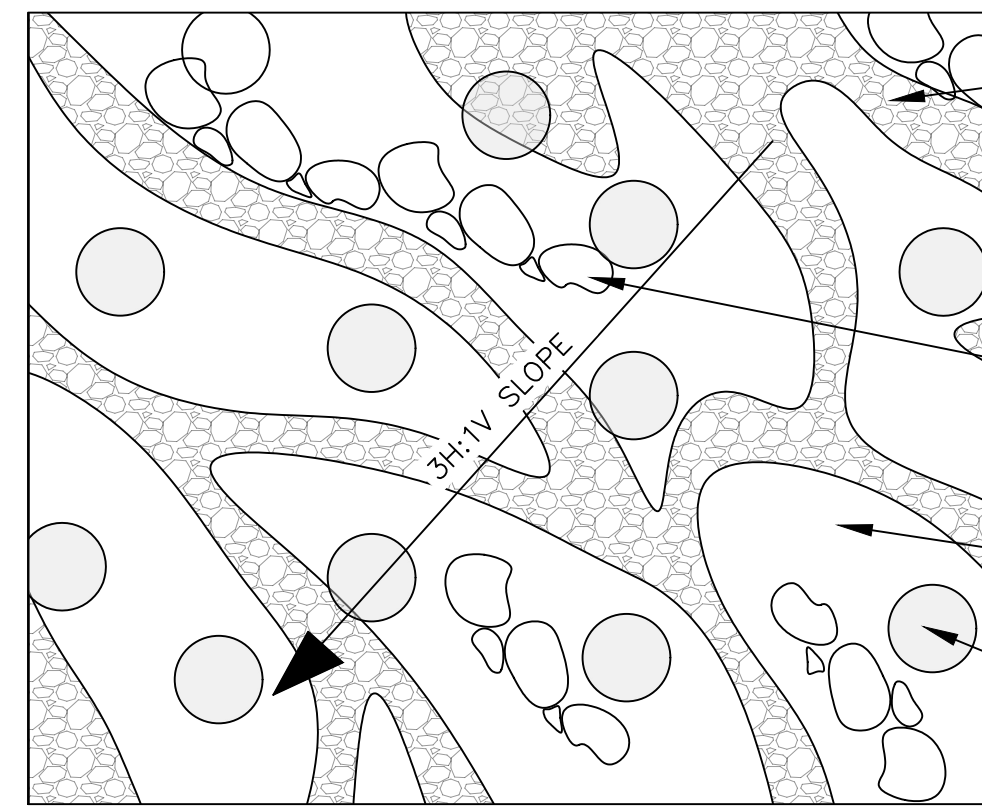
COBBLE SLOPE PROTECTION 10  
NTS C3.0

REV.	DATE	BY	APP'D

**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS  
P.O. Box 18449  
Reno, Nevada 89511  
TEL (775)853-9100  
FAX (775)853-9199

**SECTIONS & ROCKERY DETAILS**  
SHORELINE BLUFF REPAIR  
APN: 093-072-039  
3230 EDGEWATER DRIVE  
TAHOE CITY, CA  
PLACER COUNTY  
CALIFORNIA

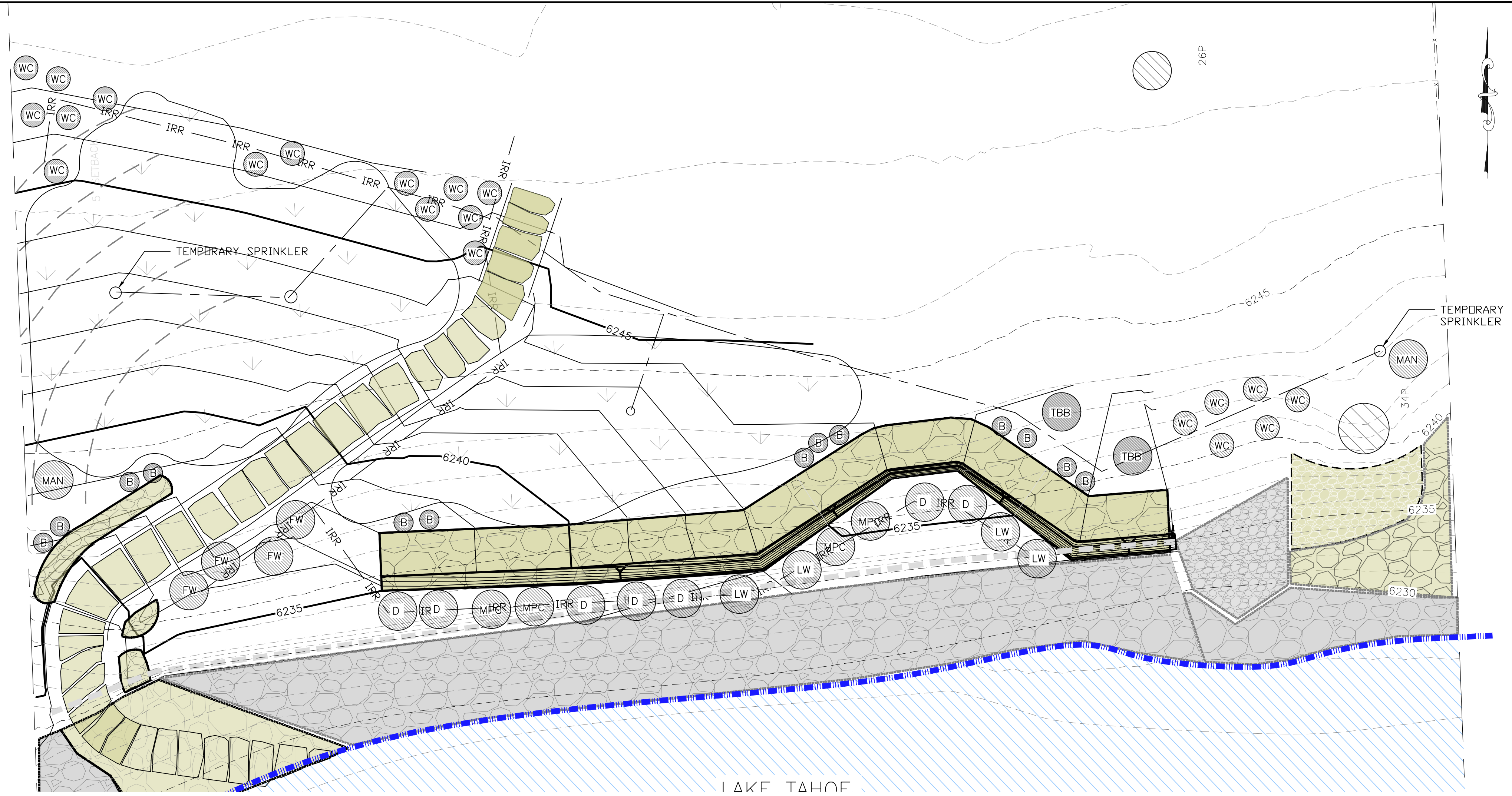
DATE: 1/25/2023  
JOB NUMBER: 21097.001  
DESIGNED BY: JWP  
DRAWN BY: SS  
CHECKED BY: JWP  
SHEET  
**C3.0**



**DRY MEADOW EROSION REDUCTION**  
SCALE: 1" = 4'

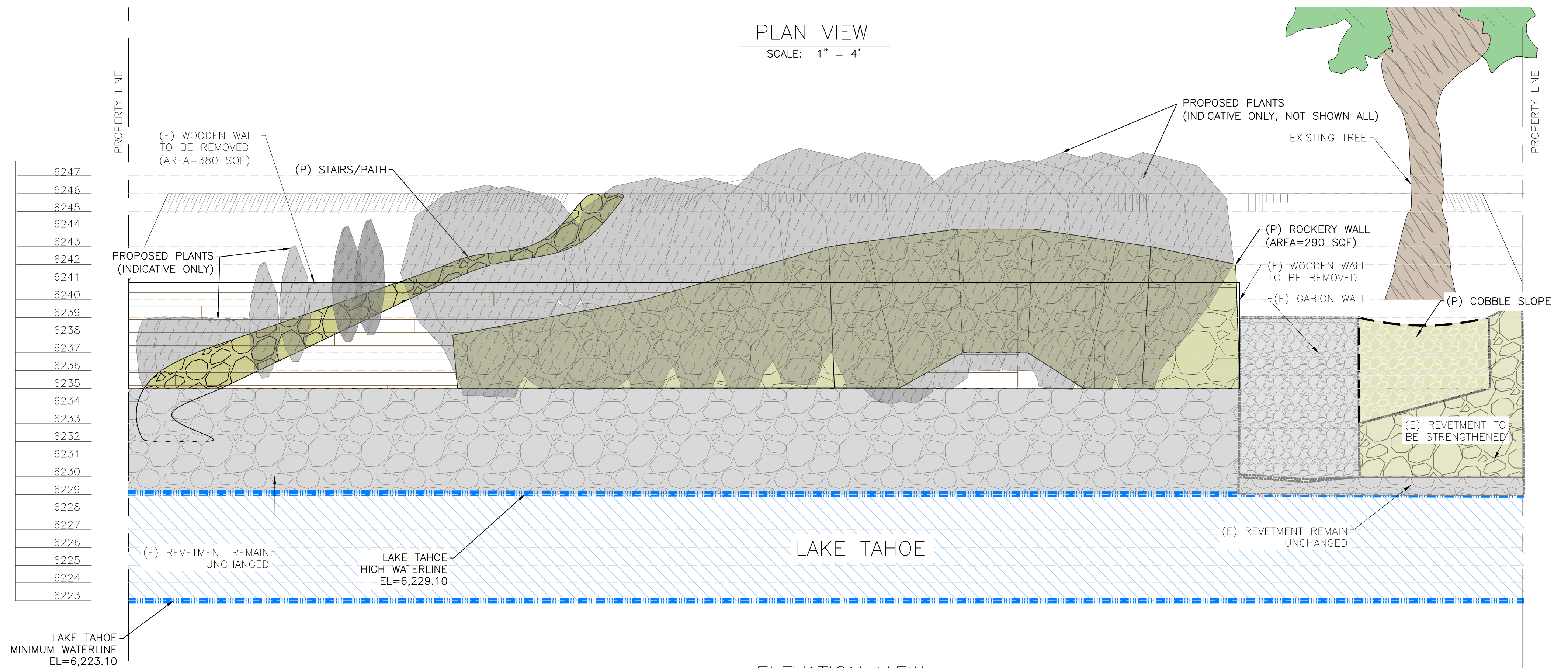
**LEGEND:**

- FIREWEED (4 PERENNIALS EACH)
- TOBACCO BRUSH (QTY. 2)
- MANZANITA (QTY. 2)
- LONG TERM IRRIGATION LINE/ (DRIP)
- TEMPORARY IRRIGATION LINE
- LEMMON WILLOWS (QTY. 4)
- RED TWIG DOGWOOD (QTY. 7)
- MOUNTAIN PINK CURRANT (QTY. 4)
- WAX CURRANT (QTY. 19)
- BEARBERRY (QTY. 13)
- MOUNTAIN ROSE
- INCENSE CEDAR ROOT BALL AND FOLIAGE (QTY. 1)
- DRY MEADOW 1 WOOLLY MULE EAR/10 FT<sup>2</sup> SIERRA LUPINE, CRIMSON COLUMBINE AND ASSORTED



SCALE: 1" = 4'

**PLAN VIEW**  
SCALE: 1" = 4'



**ELEVATION VIEW**  
SCALE: 1" = 4'

REV.	DATE	BY	APP'D

**Reno Tahoe Geo Associates, Inc.**  
CONSULTING CIVIL ENGINEERS  
P.O. Box 18449  
Reno, Nevada 89511  
TEL (775)853-9100  
FAX (775)853-9199

**LANDSCAPING PLAN & ELEVATION VIEW**  
SHORELINE BLUFF REPAIR  
APN: 093-072-039  
3230 EDGEWATER DRIVE  
TAHOE CITY, CA  
PLACER COUNTY  
CALIFORNIA

DATE: 1/25/2023  
JOB NUMBER: 21097.001  
DESIGNED BY: JWP  
DRAWN BY: SS  
CHECKED BY: JWP

SHEET  
**C4.0**

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Attachment E  
Initial Environmental Checklist



**Mail**

PO Box 5310  
Stateline, NV 89449-5310

**Location**

128 Market Street  
Stateline, NV 89449

**Contact**

Phone: 775-588-4547  
Fax: 775-588-4527  
www.trpa.gov

---

**INITIAL ENVIRONMENTAL CHECKLIST  
FOR DETERMINATION OF ENVIRONMENTAL IMPACT**

---

**Project Name:**

**APN/Project Location:**

**County/City:**

**Project Description:**

Repair of shoreline wall that is failing. Remove existing wood wall and replace it with rockery walls. Replace stairs for safer access that is less steep. Please refer to project description for details.



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**Location**  
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 Stateline, NV 89449

**Contact**  
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 Fax: 775-588-4527  
 www.trpa.gov

The following questionnaire will be completed by the applicant based on evidence submitted with the application. All "Yes" and "No, With Mitigation" answers will require further written comments. Use the blank boxes to add any additional information and reference the question number and letter. If more space is required for additional information, please attached separate sheets and reference the question number and letter.

For information on the status of TRPA environmental thresholds click on the links to the Threshold Dashboard.

## I. Environmental Impacts

### 1. Land

Current and historic status of soil conservation standards can be found at the links below:

- [Impervious Cover](#)
- [Stream Environment Zone](#)

Will the proposal result in:

- |  | Yes                   | No                               | No, with mitigation              | Data insufficient     |
|--|-----------------------|----------------------------------|----------------------------------|-----------------------|
| a. Compaction or covering of the soil beyond the limits allowed in the land capability or Individual Parcel Evaluation System (IPES)?  | <input type="radio"/> | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> |
| b. A change in the topography or ground surface relief features of site inconsistent with the natural surrounding conditions?  | <input type="radio"/> | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> |
| c. Unstable soil conditions during or after completion of the proposal?  | <input type="radio"/> | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> |
| d. Changes in the undisturbed soil or native geologic substructures or grading in excess of 5 feet?  | <input type="radio"/> | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> |
| e. The continuation of or increase in wind or water erosion of soils, either on or off the site?   | <input type="radio"/> | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> |
| f. Changes in deposition or erosion of beach sand, or changes in siltation, deposition or erosion, including natural littoral processes, which may modify the channel of a river or stream or the bed of a lake? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| g. Exposure of people or property to geologic hazards such as earthquakes, landslides, backshore erosion, avalanches, mud slides, ground failure, or similar hazards?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |

#### Discussion

See attached response to IEC.



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 Stateline, NV 89449-5310

**Location**  
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## 2. Air Quality

Current and historic status of air quality standards can be found at the links below:

- [Carbon Monoxide \(CO\)](#)
- [Nitrate Deposition](#)
- [Ozone \(O3\)](#)
- [Regional Visibility](#)
- [Respirable and Fine Particulate Matter](#)
- [Sub-Regional Visibility](#)

Will the proposal result in:

	Yes	No	No, with mitigation	Data insufficient
a. Substantial air pollutant emissions?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b. Deterioration of ambient (existing) air quality?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
c. The creation of objectionable odors?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
d. Alteration of air movement, moisture or temperature, or any change in climate, either locally or regionally?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
e. Increased use of diesel fuel?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

### Discussion



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### 3. Water Quality

Current and historic status of water quality standards can be found at the links below:

- [Aquatic Invasive Species](#)
- [Deep Water \(Pelagic\) Lake Tahoe](#)
- [Groundwater](#)
- [Nearshore \(Littoral\) Lake Tahoe](#)
- [Other Lakes](#)
- [Surface Runoff](#)
- [Tributaries](#)
- [Load Reductions](#)

**Will the proposal result in:**

	Yes	No	No, with mitigation	Data insufficient
a. Changes in currents, or the course or direction of water movements?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b. Changes in absorption rates, drainage patterns, or the rate and amount of surface water runoff so that a 20 yr. 1 hr. storm runoff (approximately 1 inch per hour) cannot be contained on the site?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
c. Alterations to the course or flow of 100-yearflood waters?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
d. Change in the amount of surface water in any water body?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
e. Discharge into surface waters, or in any alteration of surface water quality, including but not limited to temperature, dissolved oxygen or turbidity?	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>
f. Alteration of the direction or rate of flow of ground water?	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>
g. Change in the quantity of groundwater, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
h. Substantial reduction in the amount of water otherwise available for public water supplies?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
i. Exposure of people or property to water related hazards such as flooding and/or wave action from 100-year storm occurrence or seiches?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
j. The potential discharge of contaminants to the groundwater or any alteration of groundwater quality?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
k. Is the project located within 600 feet of a drinking water source?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

**Discussion**

Please refer to enclosed response to IEC.



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 www.trpa.gov

## 4. Vegetation

Current and historic status of vegetation preservation standards can be found at the links below:

- [Common Vegetation](#)
- [Late Seral/Old Growth Ecosystems](#)
- [Sensitive Plants](#)
- [Uncommon Plant Communities](#)

**Will the proposal result in:**

	Yes	No	No, with mitigation	Data insufficient
a. Removal of native vegetation in excess of the area utilized for the actual development permitted by the land capability/IPES system?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b. Removal of riparian vegetation or other vegetation associated with critical wildlife habitat, either through direct removal or indirect lowering of the groundwater table?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
c. Introduction of new vegetation that will require excessive fertilizer or water, or will provide a barrier to the normal replenishment of existing species?	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>
d. Change in the diversity or distribution of species, or number of any species of plants (including trees, shrubs, grass, crops, micro flora, and aquatic plants)?	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>
e. Reduction of the numbers of any unique, rare, or endangered species of plants?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
f. Removal of stream bank and/or backshore vegetation, including woody vegetation such as willows?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
g. Removal of any native live, dead or dying trees 30 inches or greater in diameter at breast height (dbh) within TRPA's Conservation or Recreation land use classifications?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
h. A change in the natural functioning of an old growth ecosystem?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

**Discussion**

Please refer to enclosed response to IEC.



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## 5. Wildlife

Current and historic status of special interest species standards can be found at the links below:

- [Special Interest Species](#)

Current and historic status of the fisheries standards can be found at the links below:

- [Instream Flow](#)
- [Lake Habitat](#)
- [Stream Habitat](#)

Will the proposal result in:

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Change in the diversity or distribution of species, or numbers of any species of animals (birds, land animals including reptiles, fish and shellfish, benthic organisms, insects, mammals, amphibians or microfauna)? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Reduction of the number of any unique, rare or endangered species of animals?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Introduction of new species of animals into an area, or result in a barrier to the migration or movement of animals?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Deterioration of existing fish or wildlife habitat quantity or quality?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion



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## 6. Noise

Current and historic status of the noise standards can be found at the links below:

- [Cumulative Noise Events](#)
- [Single Noise Events](#)

Will the proposal result in:

- a. Increases in existing Community Noise Equivalency Levels (CNEL) beyond those permitted in the applicable Area Plan, Plan Area Statement, Community Plan or Master Plan?
- b. Exposure of people to severe noise levels?
- c. Single event noise levels greater than those set forth in the TRPA Noise Environmental Threshold?
- d. The placement of residential or tourist accommodation uses in areas where the existing CNEL exceeds 60 dBA or is otherwise incompatible?
- e. The placement of uses that would generate an incompatible noise level in close proximity to existing residential or tourist accommodation uses?
- f. Exposure of existing structures to levels of ground vibration that could result in structural damage?

	Yes	No	No, with mitigation	Data insufficient
a.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
c.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
d.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
e.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
f.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

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## 7. Light and Glare

Will the proposal:

- |   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Include new or modified sources of exterior lighting?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Create new illumination which is more substantial than other lighting, if any, within the surrounding area?    | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Cause light from exterior sources to be cast off -site or onto public lands?                                   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Create new sources of glare through the siting of the improvements or through the use of reflective materials? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion

## 8. Land Use

Will the proposal:

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Include uses which are not listed as permissible uses in the applicable Area Plan, Plan Area Statement, adopted Community Plan, or Master Plan? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Expand or intensify an existing non-conforming use?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

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## 9. Natural Resources

Will the proposal result in:

- a. A substantial increase in the rate of use of any natural resources?
- b. Substantial depletion of any non-renewable natural resource?

Yes	No	No, with mitigation	Data insufficient
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

Discussion

## 10. Risk of Upset

Will the proposal:

- a. Involve a risk of an explosion or the release of hazardous substances including, but not limited to, oil, pesticides, chemicals, or radiation in the event of an accident or upset conditions?
- b. Involve possible interference with an emergency evacuation plan?

Yes	No	No, with mitigation	Data insufficient
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

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## 11. Population

Will the proposal:

- a. Alter the location, distribution, density, or growth rate of the human population planned for the Region?
- b. Include or result in the temporary or permanent displacement of residents?

	Yes	No	No, with mitigation	Data insufficient
a.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

### Discussion

## 12. Housing

Will the proposal:

- a. Affect existing housing, or create a demand for additional housing?  
*To determine if the proposal will affect existing housing or create a demand for additional housing, please answer the following questions:*

- 1. Will the proposal decrease the amount of housing in the Tahoe Region?
- 2. Will the proposal decrease the amount of housing in the Tahoe Region historically or currently being rented at rates affordable by lower and very-low-income households?

	Yes	No	No, with mitigation	Data insufficient
1.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
2.	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

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### 13. Transportation / Circulation

Will the proposal result in:

	Yes	No	No, with mitigation	Data insufficient
a. Generation of 650 or more new average daily Vehicle Miles Travelled?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b. Changes to existing parking facilities, or demand for new parking?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
c. Substantial impact upon existing transportation systems, including highway, transit, bicycle or pedestrian facilities?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
d. Alterations to present patterns of circulation or movement of people and/or goods?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
e. Alterations to waterborne, rail or air traffic?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
f. Increase in traffic hazards to motor vehicles, bicyclists, or pedestrians?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

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**14. Public Services**

Will the proposal have an unplanned effect upon, or result in a need for new or altered governmental services in any of the following areas?:

	Yes	No	No, with mitigation	Data insufficient
a. Fire protection?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b. Police protection?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
c. Schools?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
d. Parks or other recreational facilities?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
e. Maintenance of public facilities, including roads?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
f. Other governmental services?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

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### 15. Energy

Will the proposal result in:

- |   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Use of substantial amounts of fuel or energy?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Substantial increase in demand upon existing sources of energy, or require the development of new sources of energy? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

Discussion:

### 16. Utilities

Except for planned improvements, will the proposal result in a need for new systems, or substantial alterations to the following utilities:

- |   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Power or natural gas?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Communication systems?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Utilize additional water which amount will exceed the maximum permitted capacity of the service provider?                              | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Utilize additional sewage treatment capacity which amount will exceed the maximum permitted capacity of the sewage treatment provider? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. Storm water drainage?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| f. Solid waste and disposal?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

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### 17. Human Health

Will the proposal result in:

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Creation of any health hazard or potential health hazard (excluding mental health)? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Exposure of people to potential health hazards?                                     | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

**Discussion**

### 18. Scenic Resources / Community Design

Current and historic status of the scenic resources standards can be found at the links below:

- [Built Environment](#)
- [Other Areas](#)
- [Roadway and Shoreline Units](#)

Will the proposal:

- |   | Yes                   | No                               | No, with mitigation              | Data insufficient     |
|---|-----------------------|----------------------------------|----------------------------------|-----------------------|
| a. Be visible from any state or federal highway, Pioneer Trail or from Lake Tahoe?  | <input type="radio"/> | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> |
| b. Be visible from any public recreation area or TRPA designated bicycle trail?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| c. Block or modify an existing view of Lake Tahoe or other scenic vista seen from a public road or other public area?       | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| d. Be inconsistent with the height and design standards required by the applicable ordinance, Community Plan, or Area Plan? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| e. Be inconsistent with the TRPA Scenic Quality Improvement Program (SQIP) or Design Review Guidelines?                     | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |

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## 19. Recreation

Current and historic status of the recreation standards can be found at the links below:

- [Fair Share Distribution of Recreation Capacity](#)
- [Quality of Recreation Experience and Access to Recreational Opportunities](#)

Will the proposal:

	Yes	No	No, with mitigation	Data insufficient
a. Create additional demand for recreation facilities?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b. Create additional recreation capacity?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
c. Have the potential to create conflicts between recreation uses, either existing or proposed?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
d. Result in a decrease or loss of public access to any lake, waterway, or public lands?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

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## 20. Archaeological / Historical

Will the proposal result in:

	Yes	No	No, with mitigation	Data insufficient
a. An alteration of or adverse physical or aesthetic effect to a significant archaeological or historical site, structure, object or building?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
b. Is the proposed project located on a property with any known cultural, historical, and/or archaeological resources, including resources on TRPA or other regulatory official maps or records?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
c. Is the property associated with any historically significant events and/or sites or persons?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
d. Does the proposal have the potential to cause a physical change which would affect unique ethnic cultural values?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
e. Will the proposal restrict historic or pre-historic religious or sacred uses within the potential impact area?	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>

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## 21. Findings of Significance

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California or Nevada history or prehistory? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one which occurs in a relatively brief, definitive period of time, while long-term impacts will endure well into the future.)  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Does the project have impacts which are individually limited, but cumulatively considerable? (A project may impact on two or more separate resources where the impact on each resource is relatively small, but where the effect of the total of those impacts on the environmental is significant?)  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Does the project have environmental impacts which will cause substantial adverse effects on human being, either directly or indirectly?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion



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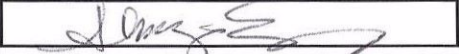
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**DECLARATION:**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature:

	at	Placer County		3/1/23
---	----	---------------	--	--------

Person preparing application

County

Date

**Applicant Written Comments:** (Attach additional sheets if necessary)

See attached written response.



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**Determination:**

**On the basis of this evaluation:**

- a. The proposed project could not have a significant effect on the environment and a finding of no significant effect shall be prepared in accordance with TRPA's Rules of Procedure  YES  NO
- b. The proposed project could have a significant effect on the environment, but due to the listed mitigation measures which have been added to the project, could have no significant effect on the environment and a mitigated finding of no significant effect shall be prepared in accordance with TRPA's Rules and Procedures.  YES  NO
- c. The proposed project may have a significant effect on the environment and an environmental impact statement shall be prepared in accordance with this chapter and TRPA's Rules of Procedures.  YES  NO

\_\_\_\_\_  
Signature of Evaluator

Title of Evaluator

Date