

STAFF REPORT

Date: April 4, 2024

To: TRPA Hearings Officer

From: TRPA Staff

Subject: Eric Wright and Jessie McKay, Single Family Dwelling Addition/Modification
490 Tuscarora Rd., Crystal Bay, Washoe County, Nevada
Assessor's Parcel Number 123-121-11, TRPA File Number ERSP2023-1731

Proposed Action:

Hearings Officer action on the proposed project and related findings based on this staff summary and the draft permit (Attachment A).

Staff Recommendation:

Staff recommends the Hearings Officer make the required findings and approve the project subject to the special conditions in the draft permit.

Project Description:

The proposed project includes an addition/modification to an existing single-family dwelling, including an entry addition, expansion of living area in the lower level, replacement of all windows, reorientation of the existing attached garage, relocation of the driveway with permeable pavers, a new patio and retaining wall, and the installation of Best Management Practices (BMPs). The project site consists of an existing developed residential lot and is consistent with the surrounding uses. This project complies with land coverage and water quality requirements of the TRPA Code of Ordinances.

Avalanche: The property was originally located in Plan Area Statement 034 – Crystal Bay, which called for the further study of avalanche danger to resolve the avalanche problem and to ensure that new and existing development is consistent with the findings of the study. In 1993, an Avalanche Hazard Study was prepared for the area. The Study is available at: <https://parcels.laketahoeinfo.org/AccelaCAPRecord/Detail/ERSP2023-1731>. TRPA special use findings for areas identified as being located in an avalanche area have been made and as a condition of approval the applicant will be required to record a deed restriction holding TRPA harmless in the event of an avalanche. (Refer to Attachments A and B)

Scenic Quality:

The subject parcel is visible from Lake Tahoe. As a result, the windows facing the lake will be required to have a reflectivity that does not exceed 11 percent (TRPA Code, Section 66.1.6). Non-reflective earthtone colors and materials will be required to be used on the exterior of the proposed building.

Land Coverage:

The parcel is verified as Bailey Land Capability Class 1a, with a base allowable coverage of 178 square feet. In 1989, 3,812 square feet of land coverage was verified and approved as legally existing (TRPA File 19870698). The proposed project will result in a total of 3,120 sq. ft. onsite, and will remove and bank 692 sq. ft. of existing coverage for future use or transfer. The excess land coverage on the site is 3,599 sq. ft. (3,812 sq. ft. of verified land coverage – 178 sq. ft. base allowable land coverage – 35 sq. ft. previously mitigated in TRPA File 19870698). The applicant will be required to mitigate a portion of the remaining excess coverage as a condition of project approval.

Height:

With a cross slope of 43 percent and a majority roof pitch of 4:12, the maximum allowed height of the structure is 34' – 9 inches. The proposed height of the structure is 34 feet – 9 inches.

Project Review: TRPA staff reviewed the proposed project and found it meets all applicable standards in the TRPA Code, subject to the special conditions in the draft permit (Attachment B), and is consistent with Regional Plan Goals and Policies.

Environmental Documentation:

TRPA staff completed “Project Review Conformance Checklist and Article V(g) Findings” in accordance with Chapter 4, Subsection 4.4 of the TRPA Code of Ordinances. All responses contained on said checklists indicate compliance with the environmental threshold carrying capacities. A copy of the completed checklist is provided as Attachment D.

Public Comment: Property owners within 300 feet of the subject site were provided notice of the Hearings Officer meeting.

Regional Plan Compliance: Goal NH-1: Risks from natural hazards (e.g., flood, fire, avalanche, earthquake, seiche) will be minimized. Land uses within the Tahoe Region should be planned with recognition of natural hazards so as to help prevent damage to property and to protect public health. Natural hazard areas or situations can be identified and precautionary measures taken to minimize impacts.

Project Application: The file materials associated with this project are available at:

<https://parcels.laketahoeinfo.org/AccelaCAPRecord/Detail/ERSP2023-1731>

Required Actions:

Staff recommends that the Hearings Officer take the following actions, based on the staff report:

- 1) Approve the findings (Attachment A) contained in this staff summary; and
- 2) Approve the project, based on the staff summary, and record evidence, subject to the conditions contained in the attached Draft TRPA Permit (Attachment B).

Contact Information:

For questions regarding this project please contact Theresa Avance, TRPA Permitting and Compliance, by telephone at (775) 589-5224 or via email to tavance@trpa.gov. To submit a written public comment, email publiccomment@trpa.gov with the appropriate agenda item in the subject line. Written comments received by 4 p.m. the day before a scheduled public meeting will be distributed

and posted to the TRPA website before the meeting begins. TRPA does not guarantee written comments received after 4 p.m. the day before a meeting will be distributed and posted in time for the meeting.

Attachments:

- A . Required Findings
- B . Draft Permit
- C. Project Plans
- D. Project Review Conformance Checklist and Article V(g) Findings

Attachment A
Required Findings

Attachment A: Required Findings

Required Findings:

The following is a list of the required findings as set forth in Chapters 4, 21, and 37 of the TRPA Code of Ordinances. Following each finding, agency staff has summarized the evidence on which the finding can be made.

1. Chapter 4 – Required Findings:

- (a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

Based on the findings provided on the Article V(g) Findings Checklist, there is sufficient evidence in the project file to make this finding. The project, as proposed and as conditioned in the draft permit, is consistent with TRPA regulations.

- (b) The project will not cause the environmental threshold carrying capacities to be exceeded.

TRPA staff has completed the “Project Review Conformance Checklist and Article V(g) Findings” in accordance with Chapter 4, Subsection 4.3 of the TRPA Code of Ordinances. All responses contained on said checklist indicate compliance with the environmental threshold carrying capacities. A copy of the completed checklist will be made available at the Hearings Officer meeting and at TRPA.

- (c) Wherever federal, state, or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TRPA Compact, the project meets or exceeds such standards.

All potential effects are temporary and shall be mitigated through temporary and permanent Best Management Practices (BMPs). The applicant will meet or exceed all federal, state, or local water quality standards. Upon completion of construction, the project will have no impact upon air or water quality standards.

2. Chapter 21 – Special Use Findings:

- (a) The project, to which the use pertains, is of such a nature, scale, density, intensity and type to be an appropriate use for the parcel on which, and surrounding area in which, it will be located.

The proposed project includes modifications to an existing single-family dwelling. Single Family Dwellings are permissible as a special use in the Crystal Bay Residential Regulatory Zone, within the Washoe County Tahoe Area Plan. The property is surrounded on all sides by single family dwellings. The proposed coverage is within the existing verified amount. The project conforms to density standards of one unit per parcel and includes the installation of permanent water quality Best Management Practices.

- (b) The project to which the use pertains, will not be injurious or disturbing to the health, safety, enjoyment of property, or general welfare of persons or property in the neighborhood, or general welfare of the region, and the applicant has taken reasonable steps to protect against any such injury and to protect the land, water, and air resources of both the applicant's property and that of surrounding property owners.

A 1993 avalanche hazard study by Snowbridge Associates indicates that the project area is within an identified avalanche area. Consistent with TRPA's past actions, the applicant shall be required to record a TRPA deed restriction to hold TRPA harmless for properties in potential avalanche areas as a condition of approval in the TRPA permit.

The applicant will install temporary and permanent Best Management Practices to protect the land, water, and air resources of the subject property and that of the surrounding property owners.

- (c) The project, to which the use pertains, will not change the character of the neighborhood or detrimentally affect or alter the purpose of the applicable planning area statement, community plan and specific or master plan, as the case may be.

The proposed project involves a modification to an existing single-family dwelling. The project is consistent with the land uses, special policies, and considerations in Washoe County Tahoe Area Plan – Crystal Bay Residential Regulatory Zone. The existing neighborhood is surrounded by other residential dwellings of similar size and height. For these reasons, the project will not change the character of the neighborhood in which it is located.

3. Chapter 30 – Relocation of TRPA-Verified Existing Land Coverage

- (a) The relocation is to an equal or superior portion of the parcel or project area, as determined by references to the following factors:
1. Whether the area of relocation already has been disturbed
 2. The slope of and natural vegetation on the area of relocation
 3. The fragility of the soil on the area of relocation
 4. Whether the area of relocation appropriately fits the scheme of use of the property.

5. The relocation does not further encroach into a stream environment zone, backshore, or the setbacks established in the Code for the protection of stream environment zones or backshore
6. The project otherwise complies with the land coverage mitigation program set forth in section 30.6

The relocation is into a heavily used area between the existing A/C paving and the residence, and alongside the residence. The area on the side of the residence where the retaining wall, stairs and patio will be placed is steep and eroding from the original construction fill in 1977. The proposed coverage improvements will result in the needed mechanical slope stabilization of this area. The driveway relocation area is stable and adjacent to existing pavement and building, and well suited to the proposed use. The area of relocation improves the use of the property and results in significant revegetation between the street and residence, fitting the scheme of use of the property and neighboring single family homes. The parcel is entirely Class 1a; no SEZ exists on or near the property. Appropriate excess coverage mitigation will be applied as a condition of project approval.

- (b) The area from which the land coverage was removed for relocation is restored in accordance with Subsection 30.5.3.

The areas where coverage is removed will be restored and revegetated as required by the TRPA Code.

- (c) The relocation is not to Land Capability Districts 1a, 1b, 1c, 2, or 3 from any higher numbered land capability district.

The entire parcel is Land Capability District 1a. All land coverage will be relocated within Class 1a.

4. Chapter 37 – Additional Height Findings:

- (a) When viewed from major arterials, scenic turnouts, public recreation areas, or the waters of Lake Tahoe, from a distance of 300 feet, the additional height will not cause a building to extend above the forest canopy, when present, or a ridgeline.

The proposed height (34'-9" above natural grade) is within the maximum height allowed for a building on this parcel. The proposed height will not cause the structure to extend above the forest canopy or ridgeline when viewed from a distance of 300 feet from any designated scenic viewpoint.

- (b) When outside a community plan, the additional height is consistent with the surrounding uses.

The proposed height of 34' – 9" is consistent with the height of the surrounding structures, which range between 30 feet and 42 feet.

- (c) The maximum building height at any corner of two exterior walls of the building is not greater than 90 percent of the maximum building height. The maximum height at the corner of two exterior walls is the difference between the point of lowest natural ground elevation along an exterior wall of the building and point at which the corner of the same exterior wall meets the roof.

The maximum height of the structure corner is 25'-5", which is 73 percent of the maximum building height of 34'-9".

Attachment B
Draft Permit

ATTACHMENT B

Draft Permit

APN 123-121-11
FILE NO. ERSP2023-1731

Additional Filing Fee (1): Amount \$ 971.45 Paid _____ Receipt No. _____

Excess Coverage Mitigation Fee (2): Amount \$ _____ Paid _____ Receipt No. _____

Security Posted (3): Amount \$ 3,000 Type _____ Paid _____ Receipt No. _____

Security Administrative Fee (4): Amount \$ _____ Paid _____ Receipt No. _____

Notes:

- (1) See Special Condition 3.G., below.
- (2) Amount to be determined. See Special Condition 3.H., below.
- (3) See Special Condition 3.I., below.
- (4) To be determined. See current TRPA fee schedule at the time of permit acknowledgement.

Required plans determined to be in conformance with approval: Date: _____

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date:

TRPA Executive Director/Designee

Date

SPECIAL CONDITIONS

1. This permit specifically authorizes an addition/modification to an existing single-family dwelling located at 490 Tuscarora Rd. in Crystal Bay, Nevada. The modifications include an entry addition, expansion of living area in the lower level under the existing second floor, replacement of all windows, reorientation of the existing attached garage, relocation of the driveway with permeable pavers, a new patio and retaining wall, and the installation of Best Management Practices (BMPs). Existing land coverage will be reduced from 3,812 s.f. to 3,120 sf., and the removed 692 s.f. will be banked onsite. The proposed height will be 34'-9", within the maximum allowed height for the structure. The property is visible at a distance from scenic shoreline unit #23, Crystal Bay, which is currently not in attainment with scenic thresholds. The structure will retain the dark gray color, and all windows and glass railings will be replaced with glass that does not exceed 11 percent reflectivity. The proposed project will have a net scenic benefit and will not cause a decrease in the numerical rating assigned to the shoreline unit. This area is recognized as having avalanche danger. As part of this approval, the permittee shall be required to record a hold-harmless deed restriction against the property assuming any and all risk associated with the construction, maintenance, ownership and use of the property and single-family dwelling (see Special Condition 3.F., below).

Upon completion of the project and passing a TRPA final inspection, the parcel will be issued a BMP Certificate.

2. The Standard Conditions of Approval listed in Attachment R shall apply to this permit.

3. Prior to permit acknowledgement, the following conditions of approval must be satisfied.

A. The site plan shall be revised to include:

- (1) The detail of the Coverage Table on Sheet SP-2 is confusing. Please update the coverage table with the information as it is presented in the sample land coverage table below.

	19870698 Existing	19870698 Approved	2024 Existing	2024 Proposed
Residence/Garage	1666	2203	2080	2144
A/C Paving	1700	1151	1147	0
Paver Driveway	0	0	0	94
Wood Decks/Stair	162	162	254	173
Stone/Concrete	350	362	162	709
Total	3812*	3812*	3643	3120
Banked	0	0	0	692

*The land coverage table in TRPA File 870698 does not tally correctly, but the total amount of 3,812 s.f. as shown on the stamped plans is the amount recognized as verified and approved by TRPA.

- (2) Include identification of the excess coverage amount and previously mitigated excess coverage on Sheet SP-2:

Excess Coverage: 3,634 sq. ft.
 Previously Mitigated: -35 sq. ft (19870698)
 Remaining Excess: 3,599 sq. ft.

- (3) Location of existing and proposed utilities for the property (electric, gas, water, sewer).
- (4) Location and size of existing trees between the garage and roadway. Identify trees to be removed.
- (5) A note indicating: "All areas disturbed by construction shall be revegetated in accordance with the TRPA Handbook of Best Management Practices and Living with Fire, Lake Tahoe Basin, Second Edition."
- (6) A note indicating: "Dust control measures shall be in place during construction. Broadcast mulch shall not be permitted as a dust control measure within 35 feet of structures."

B. The elevations shall be revised to include the following approved colors and materials information. Prior to release of the security, evidence of installation of low reflectivity glass (not to exceed 11% reflectivity) for all windows and deck railings must be provided to the TRPA Compliance Inspector.

Composition Shingle Roof: Dark Earthtone Color

All Wood Materials: (Siding, decks, fascia, post/beams)	Munsell 10YR 4/1 Dark Gray
Window Trim:	Munsell 10R 3/4 Dusky Red
Stone Siding and Retaining Walls:	Munsell 2.5YR 5/1, 4/1, and 4/3 Dark Reddish Gray and Reddish Brown
All Glass: (Windows and Deck Railings)	Reflectivity not to exceed 11%

- C. The permittee shall submit a landscape/revegetation plan for the project area, including the existing disturbed area downslope of the residence. All vegetation shall be consistent with the requirements of Sections 36.7 and 61.4 of the TRPA Code of Ordinances, including the specification for sizing and species of plants.
- D. Provide a lighting plan for the project area with light fixtures that are consistent with TRPA Code of Ordinances, Section 36.8, Exterior Lighting Standards, including proposed fixture details. Fixtures that meet these requirements are generally dark sky friendly; examples can be found at www.darksky.org.
- E. The project is located within the “Crystal Bay Residential Regulatory Zone” of the Washoe County Tahoe Area Plan, which states Single Family Dwellings are a special use due to avalanche danger. For this reason, the permittee shall record a TRPA approved deed restriction to hold TRPA harmless from any and all liabilities.
 - (1) The permittee shall provide TRPA with the latest recorded grant deed for the subject parcel. Upon submittal of the grant deed, TRPA will provide the deed restriction to be recorded against the parcel.
 - (2) The permittee shall record the provided deed restriction with the Washoe County Recorder’s Office.
 - (3) A copy of the recorded deed restriction or the original recorded deed shall be provided to TRPA.
- F. The permittee shall submit an additional \$971.45 application fee for the required Hearing Officer review. Total filing fee for this project is \$3,400.09 (1,412 s.f. x \$1.72x 1.4 H.O. multiplier).
- G. The affected property has 3,599 square feet of excess land coverage remaining to be mitigated. The permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within Hydrologic Transfer Area 9 – Agate Bay or by submitting an excess coverage mitigation fee.

To calculate the amount of excess coverage to be removed, use the following formula:

Estimated project construction cost multiplied by the fee percentage of 1.25% (as identified in Table 30.6.1-2 of Subsection 30.6.1.C.3. of the TRPA Code of Ordinances) divided by the mitigation factor of 8. If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

Coverage reduction square footage (as determined by formula above) multiplied by the coverage mitigation cost fee of \$18.00 for projects within Hydrologic Transfer Area 9 – Agate Bay (Nevada side). Please provide a construction cost estimate by your licensed contractor, architect or engineer. In no case shall the mitigation fee be less than \$200.00.

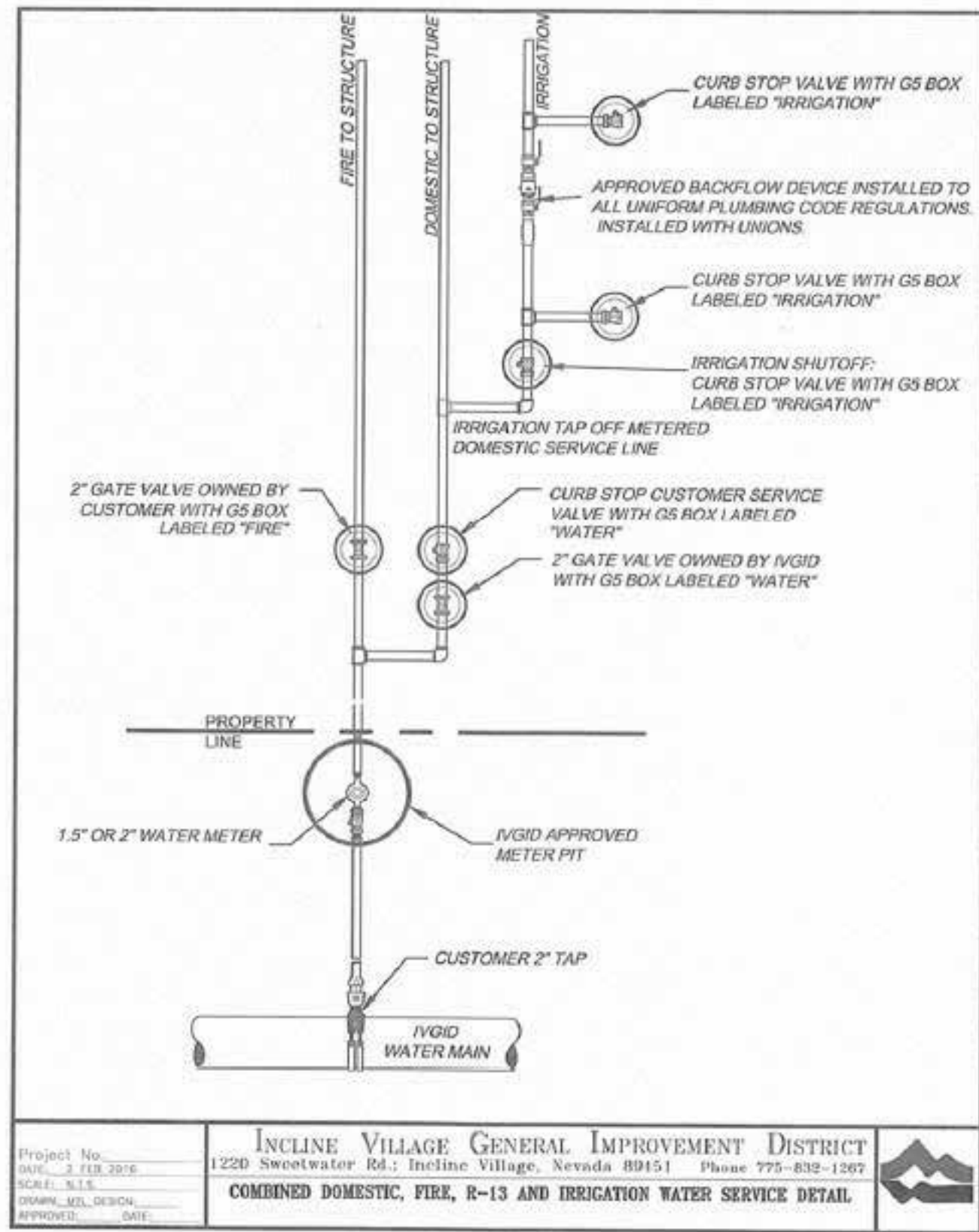
- H. The security required under Standard Condition A.3 of Attachment R shall be \$3000.00, plus the security administration fee that is current at the time of acknowledgment. Please see Attachment J, Security Procedures, for appropriate methods of posting the security.
 - I. The permittee shall submit one electronic set of all required documents and plans to TRPA.
4. Prior to release of the security:
- A. The permittee shall provide evidence of installation of low reflectivity glass (not to exceed 11% reflectivity) for all windows and deck railings to the TRPA Compliance Inspector.
 - B. The permittee shall prepare and provide photographs to the TRPA Compliance Inspector that have been taken during construction that demonstrate any subsurface BMPs or trenching and backfilling proposed on the project have been constructed correctly (depth, fill material, etc.).
5. Temporary and permanent BMPs may be field-fit as appropriate by the TRPA inspector.
6. All Best Management Practices shall be maintained in perpetuity to ensure effectiveness which may require BMPs to be periodically reinstalled or replaced.
7. Excavation equipment shall be limited to approved construction areas to minimize site disturbance. No grading or excavation shall be permitted outside of the approved areas of disturbance.
8. All waste resulting from the saw-cutting of pavement shall be removed using a vacuum (or other TRPA approved method) during the cutting process or immediately thereafter. Discharge of waste material to surface drainage features is prohibited and constitutes a violation of this permit.
9. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board (including individual members), its Planning Commission

(including individual members), its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, administrative appeal, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

Attachment C
Project Plans

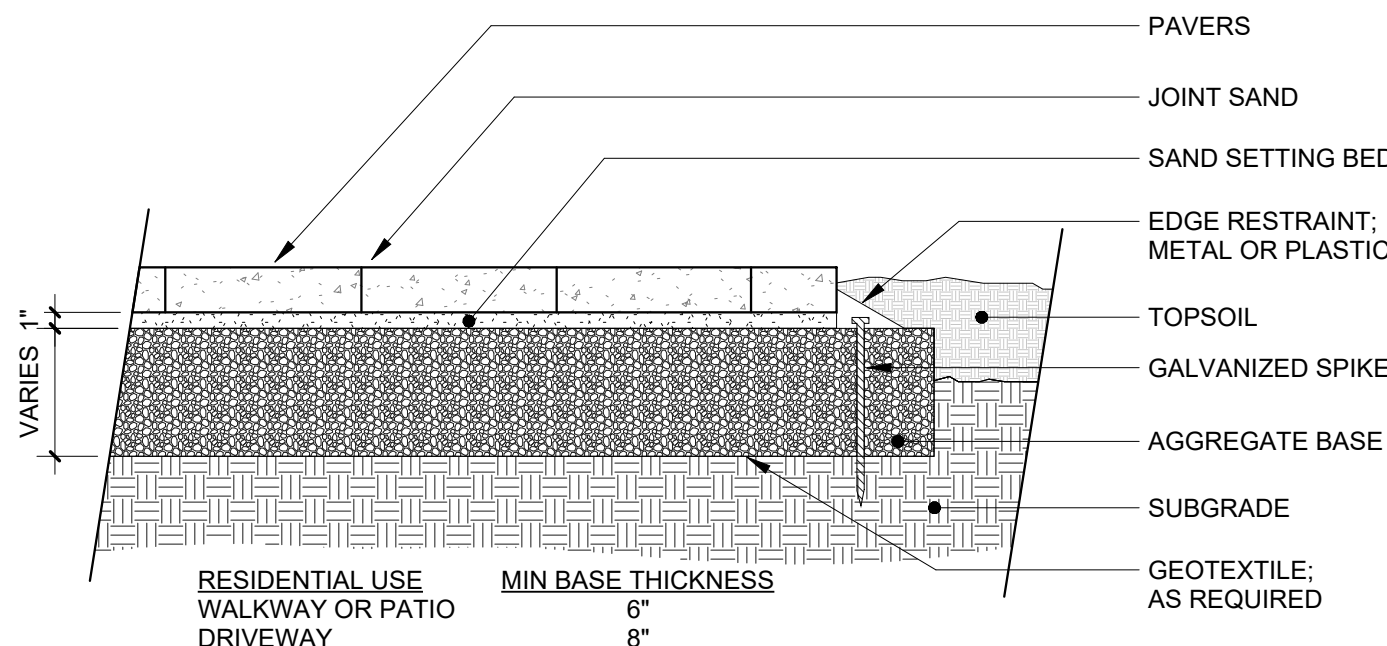


IVGID FIXTURE COUNT:

	Count	Water Value	Sewer Value	Water Count	Sewer Count
Kitchen Sink	1	1.5	2	1.5	2
Bar Sink	0	1	1	0	0
Dishwasher	1	1.5	2	1.5	2
Tub/Shower	0	4	2	0	0
Water Closet	5	2.5	3	12.5	15
Bidet	0	1	1	0	0
Lav sink	7	1	1	7	7
Shower head	5	2	2	10	10
Washer	1	4	3	4	3
Laundry sink	0	2	2	0	0
Mop sink	0	3	3	0	0
Hose bib (hot)	1	2.5	n/a	2.5	1
Additional Hose Bibs	1	1	n/a		
Totals				40	39

IVGID NOTES

- EXISTING F.U.I TO REMAIN & BE UPGRADED IF NECESSARY
- FIRE SPRINKLERS TO BE REQUIRED
- SEWER LINE MUST BE AIR TESTED TO THE CURRENT UPC AND IVGID REQUIREMENTS



4 P1.0 Pervious Paver Installation Detail NTS

TRPA NOTES

NO TREES ARE PROPOSED TO BE REMOVED WITH THIS PROJECT
 ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.
 DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 35 FEET OF STRUCTURES.
 EXCAVATION EQUIPMENT SHALL BE LIMITED TO APPROVED CONSTRUCTION AREAS TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE APPROVED AREAS OF DISTURBANCE.
 ALL WASTE RESULTING FROM THE SAW-CUTTING OF PAVEMENT SHALL BE REMOVED USING A VACUUM (OR OTHER TRPA APPROVED METHOD) DURING THE CUTTING PROCESS OR IMMEDIATELY THEREAFTER. DISCHARGE OF WASTE MATERIAL TO SURFACE DRAINAGE FEATURES IS PROHIBITED AND CONSTITUTES A VIOLATION OF THIS PERMIT.

WASHOE ENGINEERING NOTES

- ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE WASHOE COUNTY RIGHT-OF-WAY. CALL BEAU DUG AT 240-2654 FOR MORE INFORMATION.
- THE WASHOE COUNTY ROAD DEPARTMENT (318-2180) MUST APPROVE THE NEW DRIVEWAY APPROACH LOCATION PRIOR TO INSTALLATION.
- THE WASHOE COUNTY ROAD DEPARTMENT (318-2180) MUST APPROVE THE NEW DRIVEWAY APPROACH INSTALLATION PRIOR TO PERMIT FINAL/CERTIFICATE OF OCCUPANCY.
- DRIVEWAY AND PEDESTRIAN ACCESS PAVING SHALL SLOPE DOWN FROM EXISTING EDGE OF PAVING A MINIMUM 4% GRADE FOR 4 FEET, THEN 1% MINIMUM THEREAFTER.
- FOR PORTLAND CEMENT CONCRETE ADD FOLLOWING NOTE: CONSTRUCTION OF CONCRETE APRONS SHALL BE IN ACCORDANCE WITH SPECIFICATIONS NOTED ON WASHOE COUNTY STANDARD DETAIL W-5.11 PAGE 4. THE DETAILS CAN BE FOUND AT THE FOLLOWING LINK: [HTTPS://WWW.WASHOECOUNTY.US/CSDE/ENGINEERING_CAPITAL/PROJECTS/STAN DARD_DETAILS.PHP](https://www.washoecounty.us/csd/engineering_capital/projects/stan_dard_details.php)
- FOR TYPE 3 ASPHALT PAVING ADD FOLLOWING NOTE: ALL PAVING WITHIN COUNTY RIGHT-OF-WAY SHALL BE A MINIMUM 3" OF TYPE 3 ASPHALT PAVING OVER A MINIMUM OF 8" OF COMPACTED TYPE 2 CLASS B AGGREGATE BASE MEETING THE REQUIREMENTS OF THE LATEST EDITION OF ORANGE BOOK SPECIFICATIONS. HOT MIX ASPHALT SHALL BE TYPE 3 PG4-28 (OR COUNTY APPROVED EQUIVALENT), 3% AIR VOIDS, 50 BLOWS PER SIDE MIX WITH LIME AND NO MORE THAN 15% RECYCLED ASPHALT PAVEMENT, COMPACTED TO A MINIMUM OF 93% RELATIVE COMPACTION.
- SLOTTED DRAINS WITHIN DRIVEWAYS SHALL BE LOCATED OUTSIDE OF WASHOE COUNTY RIGHT-OF-WAY AND MAINTAINED BY PROPERTY OWNER.

NLTFPD

- ADDRESS IDENTIFICATION NUMBERS MUST BE 6" IN HEIGHT MIN.
- RESIDENTIAL FIRE SPRINKLERS SYSTEM REQUIRED
- NFPA 72 FIRE ALARM SYSTEM MAY BE PROVIDED IN LIEU OF 110V INTERCONNECTED DETECTORS. THESE SYSTEMS REQUIRE A SEPARATE PERMIT (SEE DEFERRED SUBMITTALS FOR DETAILS)
- A KNOX BOX SHALL BE PROVIDED IN ACCORDANCE WITH 2018 IFC CHAPTER 5
- WHEN HOT WORK IS CONDUCTED WITHIN A WILDFIRE RISK AREA IN ACCORDANCE WITH 2018 IFC SECTION 105.6.2.3: HOT WORK OPERATIONS INCLUDING CUTTING, WELDING, THERMIT WELDING, BRAZING, SOLDERING, GRINDING, THERMAL SPRAYING, THAWING PIPE, INSTALLATION OF TORCH-APPLIED ROOF SYSTEMS OR ANY OTHER SIMILAR ACTIVITIES REQUIRE A PERMIT FROM THE NORTH LAKE TAHOE FIRE PROTECTION DISTRICT 775-831-0351.
- THE OWNER OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT, IMPLEMENTATION, AND MAINTENANCE OF A WRITTEN PLAN ESTABLISHING A FIRE PREVENTION PROGRAM AT THE PROJECT SITE APPLICABLE THROUGHOUT ALL PHASES OF THE CONSTRUCTION, REPAIR, ALTERATION, OR DEMOLITION WORK. THE PLAN SHALL ADDRESS THE REQUIREMENTS OF IFC 3308.1 AND OTHER APPLICABLE PORTIONS OF THE IFC CODE, THE DUTIES OF STAFF, AND STAFF TRAINING REQUIREMENTS. THE PLAN SHALL BE MADE AVAILABLE FOR REVIEW BY THE FIRE CODE OFFICIAL UPON REQUEST.

DEFERRED SUBMITTALS

- A SEPARATE PLAN/PERMIT FOR REQUIRED FIRE SPRINKLER SYSTEMS SHALL BE SUBMITTED TO NLTFPD FOR PERMIT PER RESOLUTION 16-1
- A SEPARATE PLAN WILL BE REQUIRED IF OWNER ELECTS TO GO WITH A NFPA 72 FIRE MONITORED ALARM SYSTEM IN LIEU OF 110V INTERCONNECTED DETECTORS AND THE PLAN SHALL BE SUBMITTED TO NLTFPD FOR PERMIT PER RESOLUTION 16-1.

SCOPE OF WORK

PARTIAL REMODEL AND ADDITION TO A SINGLE FAMILY HOME WITH ATTACHED GARAGE. THE HOME WILL BE 2,868 S.F. WITH (3) BEDROOMS AND (3) BATHS & (2) 1/2 BATHS. THERE WILL BE AN ATTACHED 500 S.F. (2) CAR GARAGE AND 691 S.F. OF EXISTING DECKS. THERE WILL BE (1) EXISTING WOOD BURNING FIREPLACE AND (1) NEW GAS FIREPLACE.

CONSTRUCTION STAGING

CONSTRUCTION STAGING TO BE LIMITED TO EXISTING DRIVEWAY PRIOR TO RESTORATION AND REVEGETATION. ALL APPLICABLE SEDIMENT RUNOFF PREVENTION TO BE INSTALLED AND MAINTAINED.

CODE ANALYSIS

CODE EDITION - I.R.C. 2018
 OCCUPANCY GROUP - R-3
 TYPE OF CONSTRUCTION - V-B
 2018 IFC & IWVIC
 2018 FIRE AMENDMENTS INCLUDING RESOLUTIONS 18-1 & 18-2

SITE NOTES:

- EXISTING SURVEY & SITE PLAN PROVIDED BY K.B. FOSTER CIVIL ENGINEERING, INC.
- ALL PERFORATED DRAINAGE PIPE OUTLETS TO BE KEPT CLEAR AND MARKED, ESPECIALLY FROM BEHIND RETAINING WALLS, WITH A MINIMUM 3" LONG METAL STAKE, PLACED A MINIMUM 1" INTO THE GROUND AND PAINTED RED ON TOP.

LAND AREA

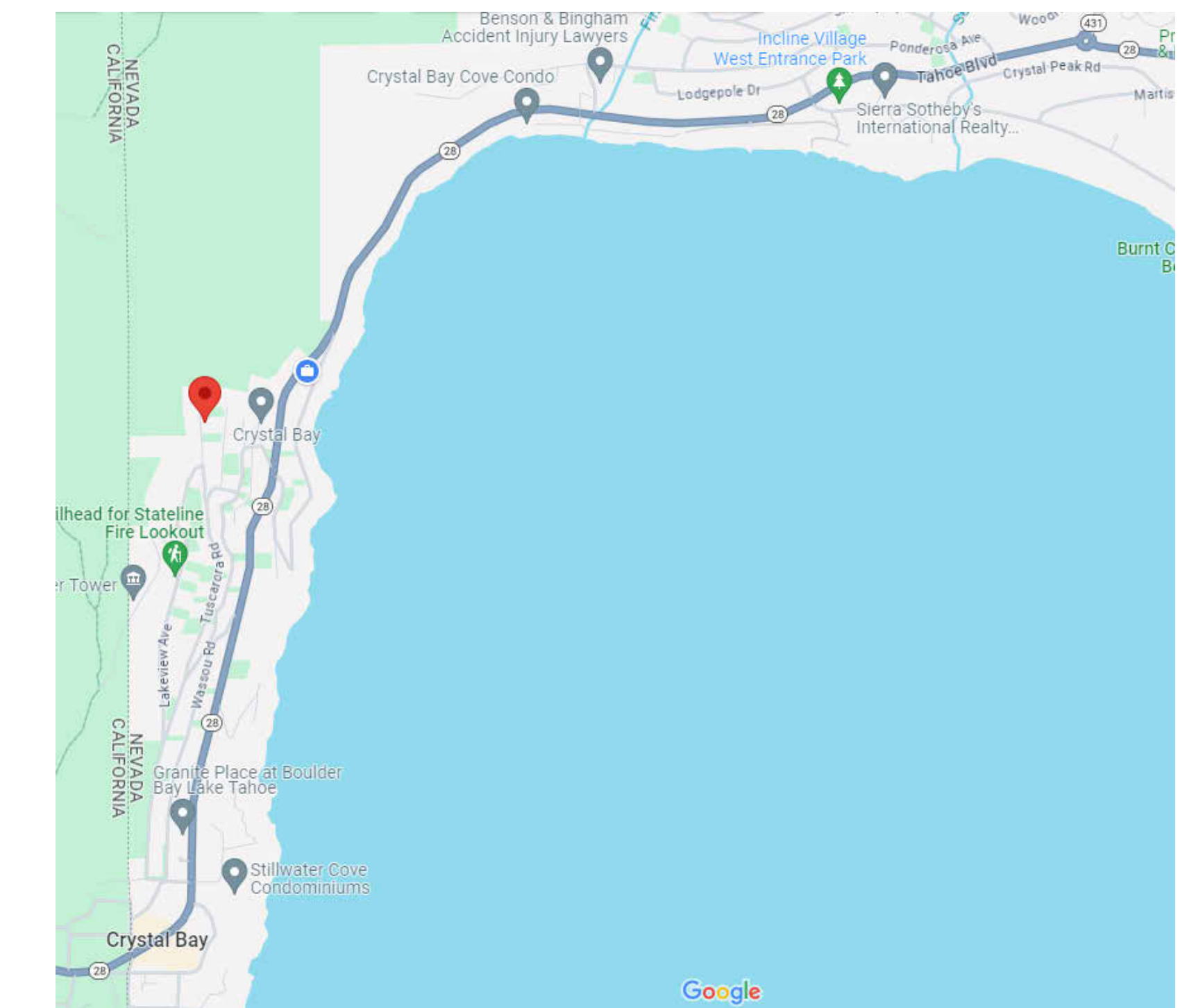
17,758 SQ. FT.
 0.41 acres
 (PER SURVEY)

EARTHWORK

CUT = 33.2 CU. YDS.
 FILL = 35.1 CU. YDS.
 GROSS CUT/FILL = 68.3 CU. YDS.
 NET CUT/FILL = 1.9 CU. YDS.

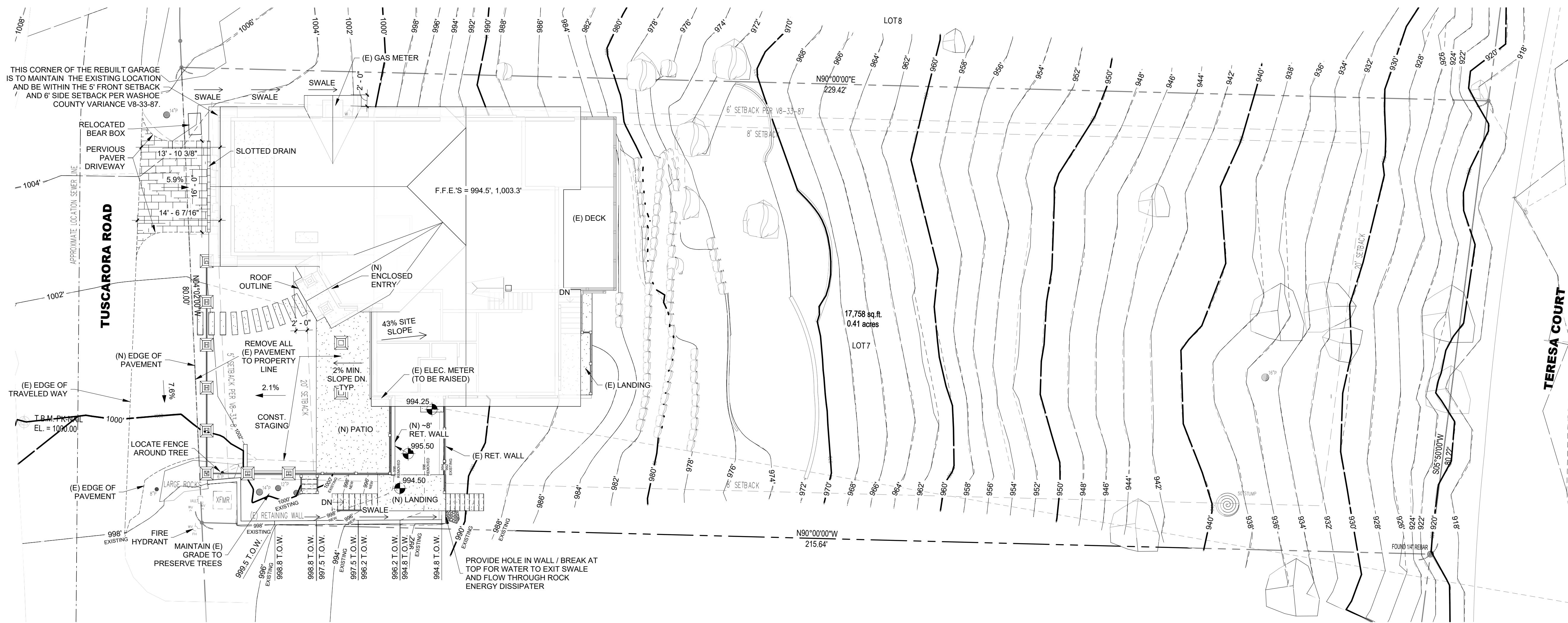
TO BE IMPORTED / EXPORTED IN / OUT OF THE BASIN OR FROM / TO A TRPA APPROVED SITE.

VICINITY MAP:



LEGEND:

- CONTOURS
- - - CONTOUR TO BE REMOVED
- LIMITS OF DISTURBED AREA
- 12" P
- TREE, SIZE, TYPE



SITE / GRADING PLAN P1
 1" = 10'-0"

OWNER

ERIC WRIGHT, JESSIE MCKAY, ET. AL.
 PO BOX 14
 CRYSTAL BAY, NV 89402

PROPERTY

490 TUSCARORA RD.
 CRYSTAL BAY
 WASHOE COUNTY, NV
 CAL-NEVA HIGHLANDS 1, LOT 7
 APN: 123-121-11

CONTACT PERSON

ELISE FETT & ASSOCIATES, LTD.
 P.O. BOX 5989
 INCLINE VILLAGE, NV 89450
 (775) 833-3388

SQUARE FOOTAGE

(E) RESIDENCE TO REMAIN	= 2,061 S.F.
(E) RESIDENCE TO BE REMODELED	= 458 S.F.
(N) RESIDENCE	= 30 S.F.
(E) CRAWL SPACE TO BE CONVERTED TO RESIDENCE	= 202 S.F.
(E) GARAGE CONVERTED TO RESIDENCE	= 114 S.F.
(E) PATIO CONVERTED TO RESIDENCE	= 103 S.F.
TOTAL RESIDENCE	= 2,968 S.F.
(E) GARAGE TO BE REMODELED	= 412 S.F.
(N) GARAGE	= 88 S.F.
TOTAL GARAGE	= 500 S.F.
(E) TOTAL DECKS / STAIRS	= 691 S.F.

REVISIONS		
#	DATE	BY



- ARCHITECTURE
- ENGINEERING
- INTERIORS
- TRPA

ELISE FETT & ASSOCIATES, LTD.

AIA - RCE - CATT
 PHONE: (775) 833-3388
 FAX: (775) 833-2388
 elise@elisefett.com
 P.O. BOX 5989
 INCLINE VILLAGE
 NEVADA 89450

PRELIMINARY
 NOT FOR
 CONSTRUCTION

SHEET INDEX

- SP-1 SITE / GRADING PROPOSED
- SP-2 TRPA COVERAGE PLAN
- SP-3 TRPA BMP PLAN
- SP-3A TRPA BMP DETAILS
- SP-4 DEFENSIBLE SPACE PLAN
- A-1 (E) FLOOR / DEMO PLANS
- A-2 PROPOSED FIRST FLOOR PLAN
- A-3 PROPOSED SECOND FLOOR PLAN
- A-4 PROPOSED ROOF SLOPE PLAN, SECTION, ARCH. DETAILS
- A-5 WEST & NORTH ELEVATIONS
- A-6 EAST & SOUTH ELEVATIONS
- A-7 3D VIEWS
- E-1 ELECTRICAL PLANS
- S-2 2ND FLOOR FRAMING
- S-3 ROOF & ATTIC FRAMING
- SD1 STRUCTURAL NOTES
- SD2 STRUCTURAL DETAILS
- REF-1 EXISTING SITE PLAN TRPA REF.

PLEASE REFER TO ENCLOSED 8.5X11 ARCHITECTURAL PROJECT GUIDELINES FOR ADDITIONAL DETAILS AND PROJECT REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUBS RECEIVE A COPY OF AND ADHERE TO THESE GUIDELINES. IF ADDITIONAL COPIES (ELECTRONIC OR PAPER) ARE NEEDED, PLEASE CONTACT ELISE FETT & ASSOCIATES, LTD.

WRIGHT MCKAY REMODEL / ADDITION

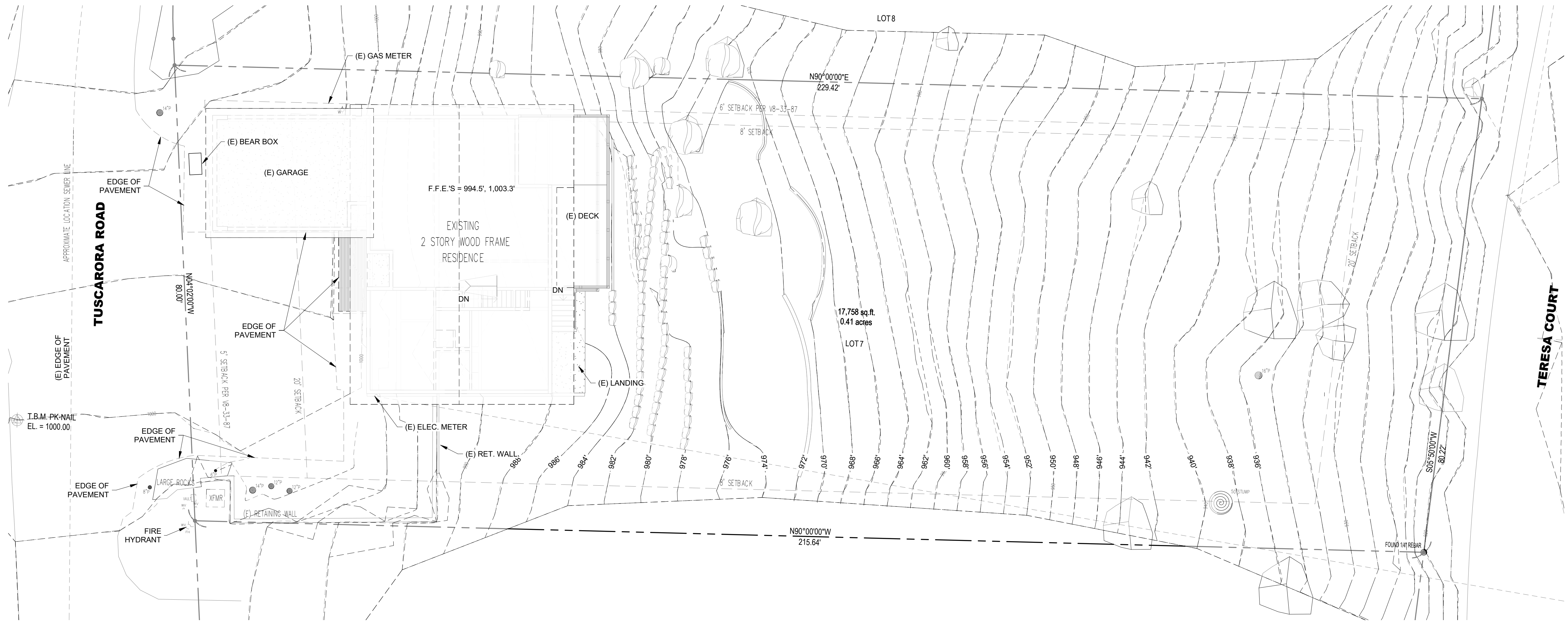
490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
 CAL-NEVA HIGHLANDS SUB 1, LOT 7
 APN: 123-121-11

SCALE: As indicated
 JOB NO: EWJM
 PRINT DATE: 3/27/2024
 16/1243
 SHEET

SP-1
 SITE / GRADING
 PROPOSED

NOTE:

THIS PROJECT IS AN ADDITION/REMODEL OF AN EXISTING STRUCTURE. THE STRUCTURAL DESIGN FOR THIS PROJECT HAS BEEN BASED UPON THE BEST AVAILABLE INFORMATION RELATIVE TO THE AS-BUILT LAYOUT, EXISTING FIELD CONDITIONS, AND PROVIDED (E) PLANS AND INFORMATION. ALL ASSUMED EXISTING INFORMATION SHALL BE VERIFIED BY THE CONTRACTORS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD.



1 (E) SITE PLAN
1" = 10'-0"

REVISIONS		
#	DATE	BY



ELISE FETT & ASSOCIATES, LTD.
AIA - RCE - CATT
PHONE: (775) 833-3388
FAX: (775) 833-2388
elise@elisefett.com
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NEVADA 89450

PRELIMINARY
NOT FOR
CONSTRUCTION

WRIGHT MCKAY REMODEL / ADDITION
490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
CAL-NEVA HIGHLANDS SUB 1, LOT 7
APN: 123-121-11

SCALE: 1" = 10'-0"
JOB NO: EWJM
PRINT DATE: 3/4/2024 09:09:57
SHEET

REF-1
EXISTING SITE
PLAN TRPA REF.

REVISIONS		
#	DATE	BY



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 AIA - RCE - CATT
 PHONE: (775) 833-3388
 FAX: (775) 833-2388
 elise@elisefett.com
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PRELIMINARY
 NOT FOR
 CONSTRUCTION

WRIGHT MCKAY REMODEL / ADDITION
 490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
 CAL-NEVA HIGHLANDS SUB 1, LOT 7
 APN: 123-121-11

SCALE: As indicated
 JOB NO: EWJM
 PRINT DATE: 11/30/2023 11:32:54
 SHEET

SP-2
 TRPA COVERAGE
 PLAN

LOT INFO AND COVERAGE CALCULATIONS:

VERIFIED COVERAGE PER TRPA PERMIT 19870698STD. A PARTIAL STAMPED PLAN WAS LOCATED BY TRPA WITH A TOTAL EXISTING COVERAGE OF 3,812 S.F..

PER REFERENCED PLANS:
 TOTAL LOT AREA = 17,775 S.F.
 1a LAND CAPABILITY
 1% BASE ALLOWABLE COVERAGE = 178 S.F.

PER REFERENCED PLANS:
EXISTING / VERIFIED COVERAGE
 RESIDENCE = 1,666 S.F.
 A/C = 1,700 S.F.
 DECKS = 162 S.F.
 WALKS, CONC., STEPS = 350 S.F.
 TOTAL = 3,812 S.F.

*TOTAL ON THE PARTIAL TRPA PLAN DOES NOT EQUAL THE ACTUAL AMOUNT.

COVERAGES (square feet):

VERIFIED COVERAGE REFERENCED ABOVE UNABLE TO BE MATCHED DUE TO NO REFERENCE TO COMPLETED PROJECT SQUARE FOOTAGE BREAKOUT UNDER PERMIT 19870698STD. EXISTING COVERAGES IN THE CHART BELOW AND PLAN ARE CURRENT EXISTING ON SITE CONDITIONS. PROPOSED COVERAGE UNDER THIS PROJECT TO NOT EXCEED THE ABOVE REFERENCED VERIFIED COVERAGE.

Area	Existing On Site	Proposed
A/C	713 SF	0 SF
A/C	11 SF	0 SF
A/C	40 SF	0 SF
A/C	252 SF	0 SF
A/C	121 SF	0 SF
A/C	10 SF	0 SF
A/C: 6	1147 SF	0 SF
COLUMN BASE	0 SF	11 SF
COLUMN BASE	0 SF	7 SF
COLUMN BASE: 2	0 SF	18 SF
DRIVEWAY	0 SF	84 SF
DRIVEWAY	0 SF	10 SF
DRIVEWAY: 2	0 SF	94 SF
RESIDENCE	2080 SF	2080 SF
RESIDENCE	0 SF	121 SF
RESIDENCE	0 SF	64 SF
RESIDENCE: 3	2080 SF	2265 SF
STONE STAIRS / LANDING / PATIO	0 SF	76 SF
STONE STAIRS / LANDING / PATIO	0 SF	20 SF
STONE STAIRS / LANDING / PATIO	0 SF	10 SF
STONE STAIRS / LANDING / PATIO	0 SF	40 SF
STONE STAIRS / LANDING / PATIO	23 SF	23 SF
STONE STAIRS / LANDING / PATIO	104 SF	104 SF
STONE STAIRS / LANDING / PATIO	0 SF	24 SF
STONE STAIRS / LANDING / PATIO	10 SF	10 SF
STONE STAIRS / LANDING / PATIO	25 SF	0 SF
STONE STAIRS / LANDING / PATIO	0 SF	85 SF
STONE STAIRS / LANDING / PATIO	0 SF	252 SF
STONE STAIRS / LANDING / PATIO	0 SF	5 SF
STONE STAIRS / LANDING / PATIO:	162 SF	649 SF
12		
WOOD DECK / STAIRS	12 SF	0 SF
WOOD DECK / STAIRS	64 SF	0 SF
WOOD DECK / STAIRS	173 SF	173 SF
WOOD DECK / STAIRS	5 SF	0 SF
WOOD DECK / STAIRS: 4	254 SF	173 SF
TOTAL:	3643 SF	3199 SF

TOTAL REMAINING ALLOWABLE COVERAGE

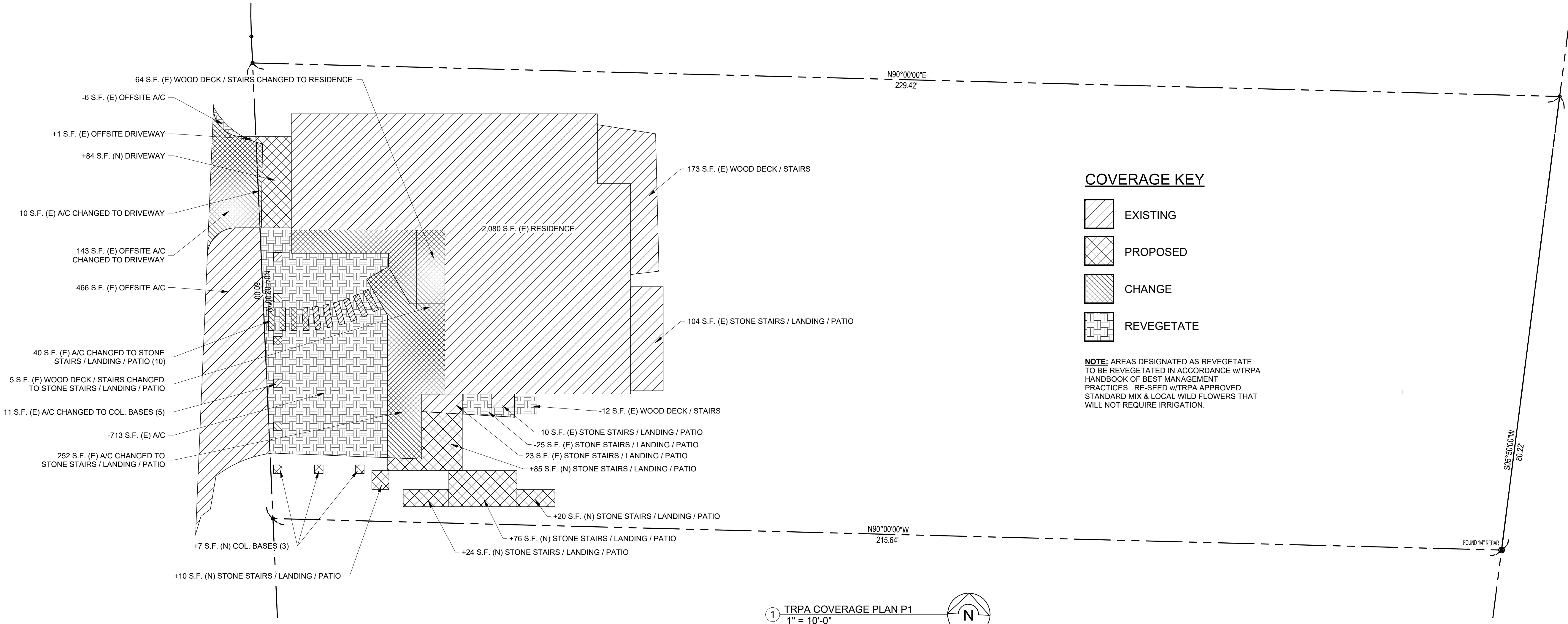
VERIFIED = 3,812 S.F.
 PROPOSED = 3,199 S.F.
 613 S.F.

NOTES:

1. ALL DECKS AND OVERHANGS HAVE BEEN CALCULATED WITH 3:1 REDUCTIONS

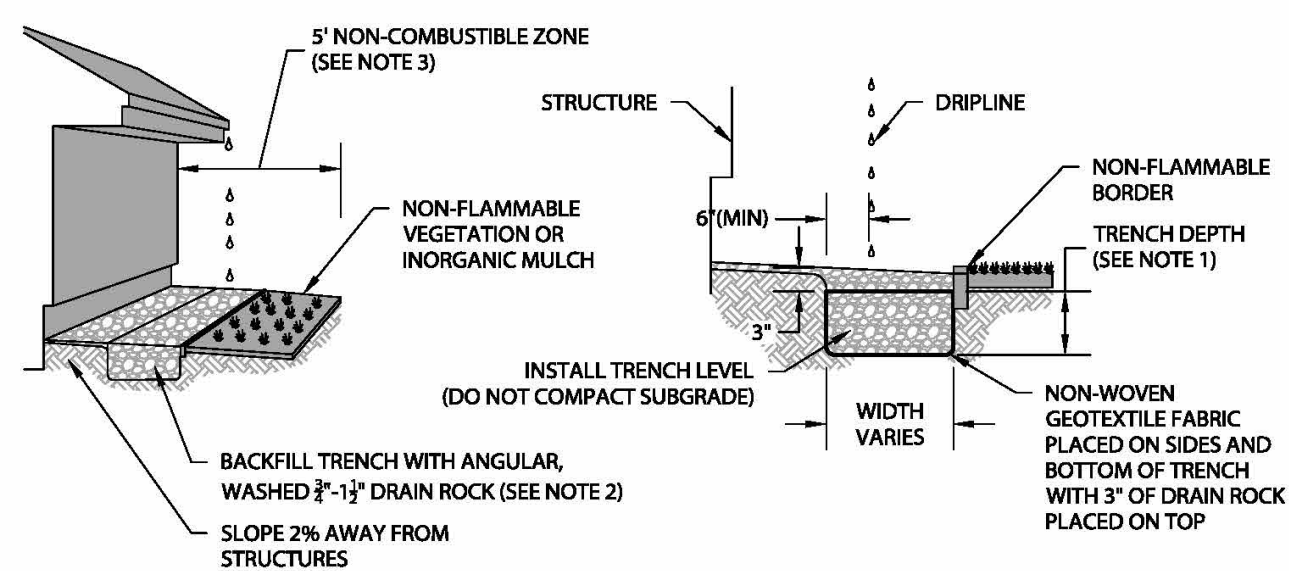
OFFSITE COVERAGES (square feet):

Area	Existing	Proposed
OFFSITE	466 SF	466 SF
OFFSITE	143 SF	143 SF
OFFSITE	1 SF	1 SF
OFFSITE	6 SF	0 SF
OFFSITE	616 SF	610 SF

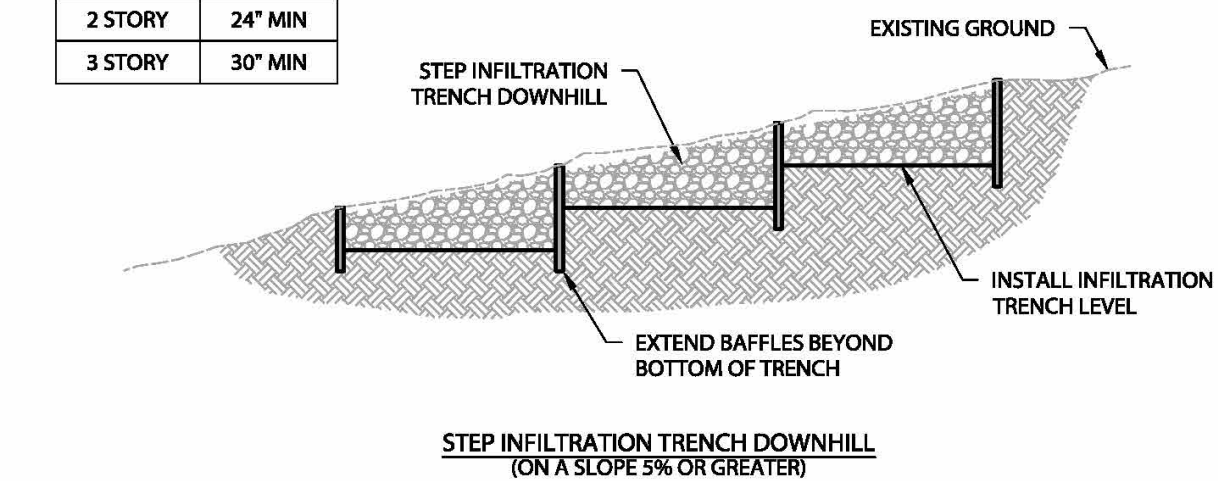


1 TRPA COVERAGE PLAN P1
 1" = 10'-0"

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TRENCH WIDTHS	
1 STORY	18" MIN
2 STORY	24" MIN
3 STORY	30" MIN



- NOTES:**
- LENGTH, WIDTH AND DEPTH OF INFILTRATION TRENCHES SHALL BE DESIGNED TO STORE THE 20-YEAR 1-HOUR STORM EVENT. THE BMP CALCULATION SPREADSHEET AVAILABLE AT WWW.TAHOEBMP.ORG MAY BE USED TO SIZE INFILTRATION TRENCHES.
 - PROPRIETARY PRODUCTS MAY BE USED TO PROVIDE ADDITIONAL STORAGE CAPACITY RELATIVE TO DRAIN ROCK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 - FIRE DEFENSIBLE SPACE GUIDELINES FOR LAKE TAHOE RECOMMEND A 5' NON-COMBUSTIBLE ZONE AROUND THE BUILDING PERIMETER. SEE "LIVING WITH FIRE" AT WWW.LIVINGWITHFIRE.INFO

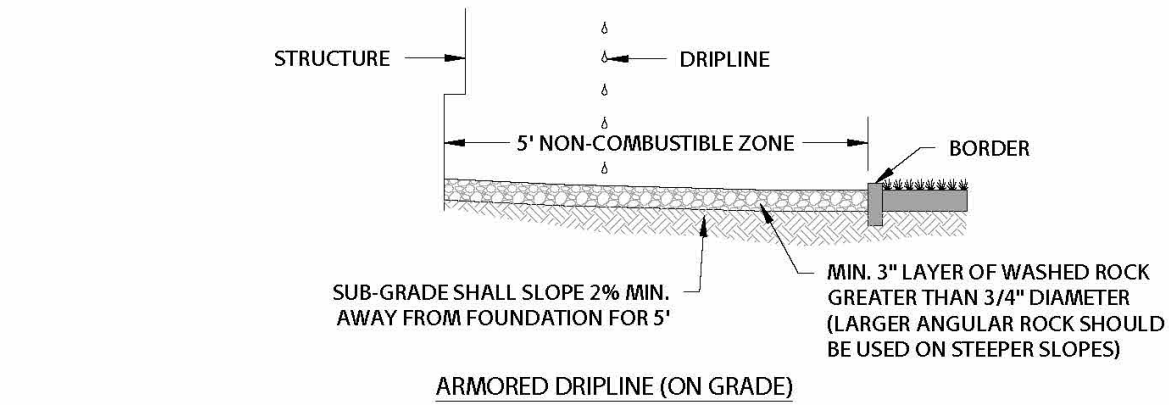
Infiltration Trench

TAHOE REGIONAL PLANNING AGENCY

BMP-103
December 2012

THE TAHOE REGIONAL PLANNING AGENCY (TRPA) SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS DETAIL.

TRENCH WIDTHS	
1 STORY	18" MIN
2 STORY	24" MIN
3 STORY	30" MIN



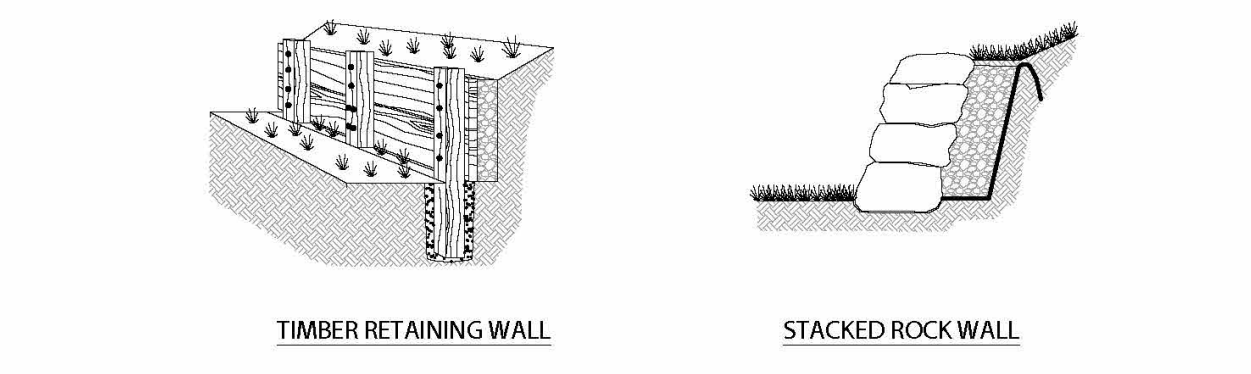
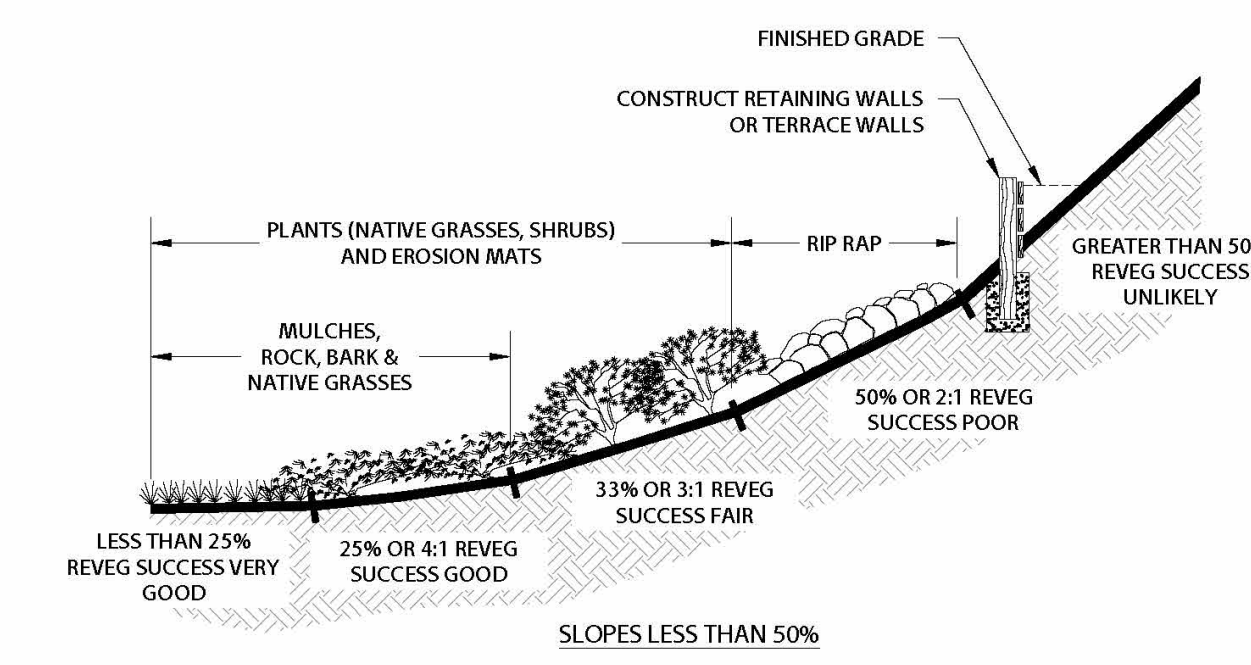
- NOTES:**
- THE SOIL MUST BE ARMORED WITH A SINGLE CONTINUOUS LAYER OF ROCK. NATIVE ROCK CAN BE SUBSTITUTED IF AVAILABLE.
 - FIRE DEFENSIBLE SPACE GUIDELINES FOR LAKE TAHOE RECOMMEND A 5' NON-COMBUSTIBLE ZONE AROUND THE BUILDING PERIMETER. SEE "LIVING WITH FIRE" AT WWW.LIVINGWITHFIRE.INFO
 - CONTAINMENT BORDERS WITHIN THE 5' NON-COMBUSTIBLE ZONE SHALL BE MADE OF NON-FLAMMABLE MATERIALS. REGULARLY SCHEDULED MAINTENANCE IS NECESSARY TO MAINTAIN FULL FUNCTION. MAINTENANCE INCLUDES INSPECTION, REMOVAL AND PROPER DISPOSAL OF PINE NEEDLES AND ACCUMULATED SEDIMENT.
 - DRIPLINES INSTALLED ON SLOPES GREATER THAN 10% SHOULD BE DESIGNED WITH BAFFLES OR LARGER ROCKS. AN ALTERNATIVE PRACTICE IS TO CONSTRUCT A SWALE OR SUBSURFACE DRAIN TO COLLECT AND CONVEY RUNOFF TO AN INFILTRATION SYSTEM LOCATED A MINIMUM OF 10' AWAY FROM THE FOUNDATION.

Armored Dripline

TAHOE REGIONAL PLANNING AGENCY

BMP-104
November 2012

THE TAHOE REGIONAL PLANNING AGENCY (TRPA) SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS DETAIL.



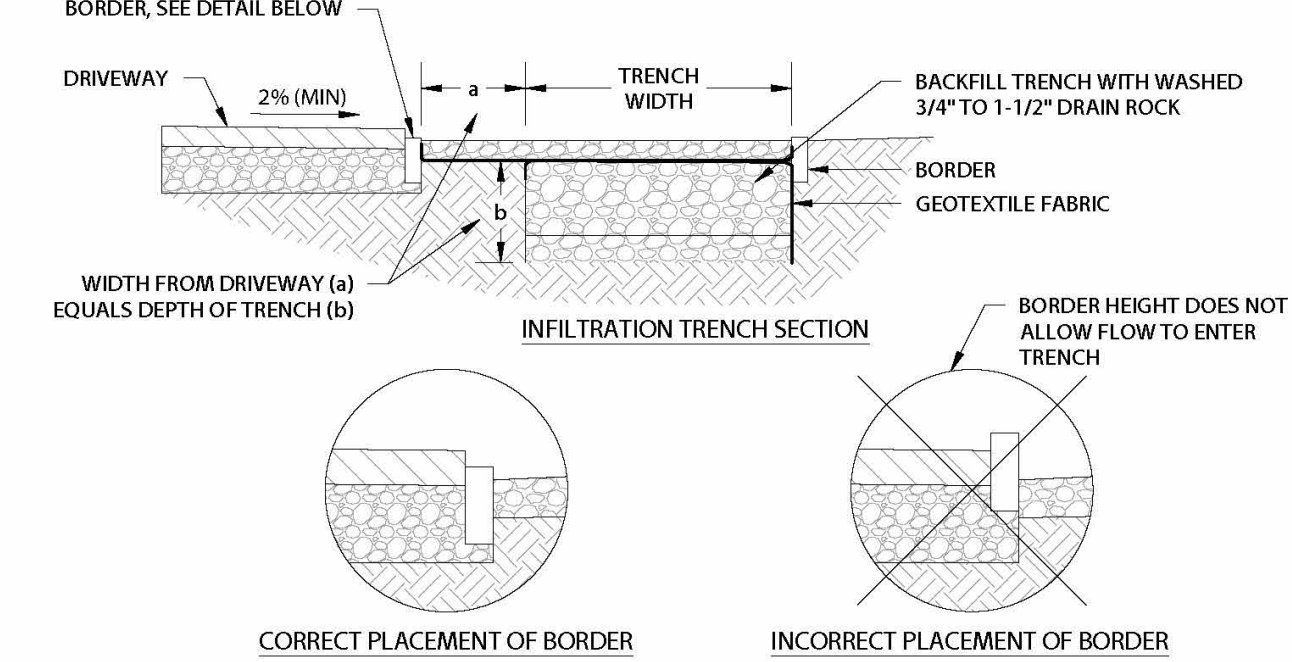
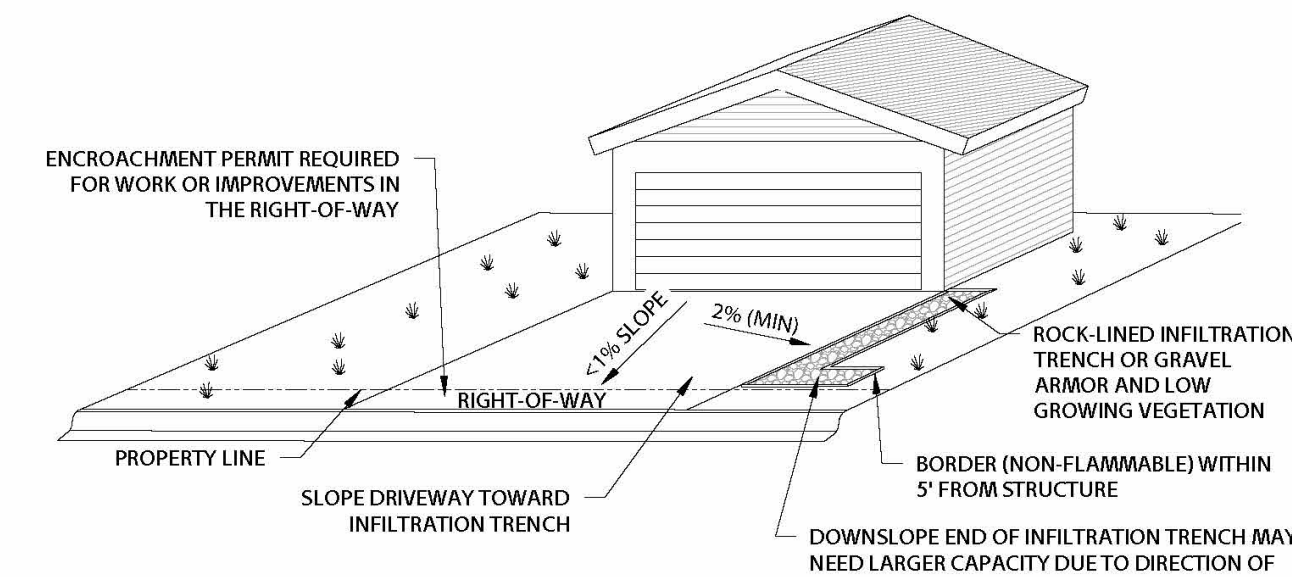
- NOTES:**
- THE METHOD CHOSEN TO CONTROL EROSION WILL VARY WITH THE STEEPNESS OF THE SLOPE.
 - PLANTS AND MULCH MAY BE USED ON GENTLE SLOPES. STEEPER SITES REQUIRE STRUCTURAL TACTICS SUCH AS TIMBER RETAINING WALLS, STACKED ROCK WALLS OR TERRACE WALLS.

Slope Protection

TAHOE REGIONAL PLANNING AGENCY

BMP-201
November 2012

THE TAHOE REGIONAL PLANNING AGENCY (TRPA) SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS DETAIL.



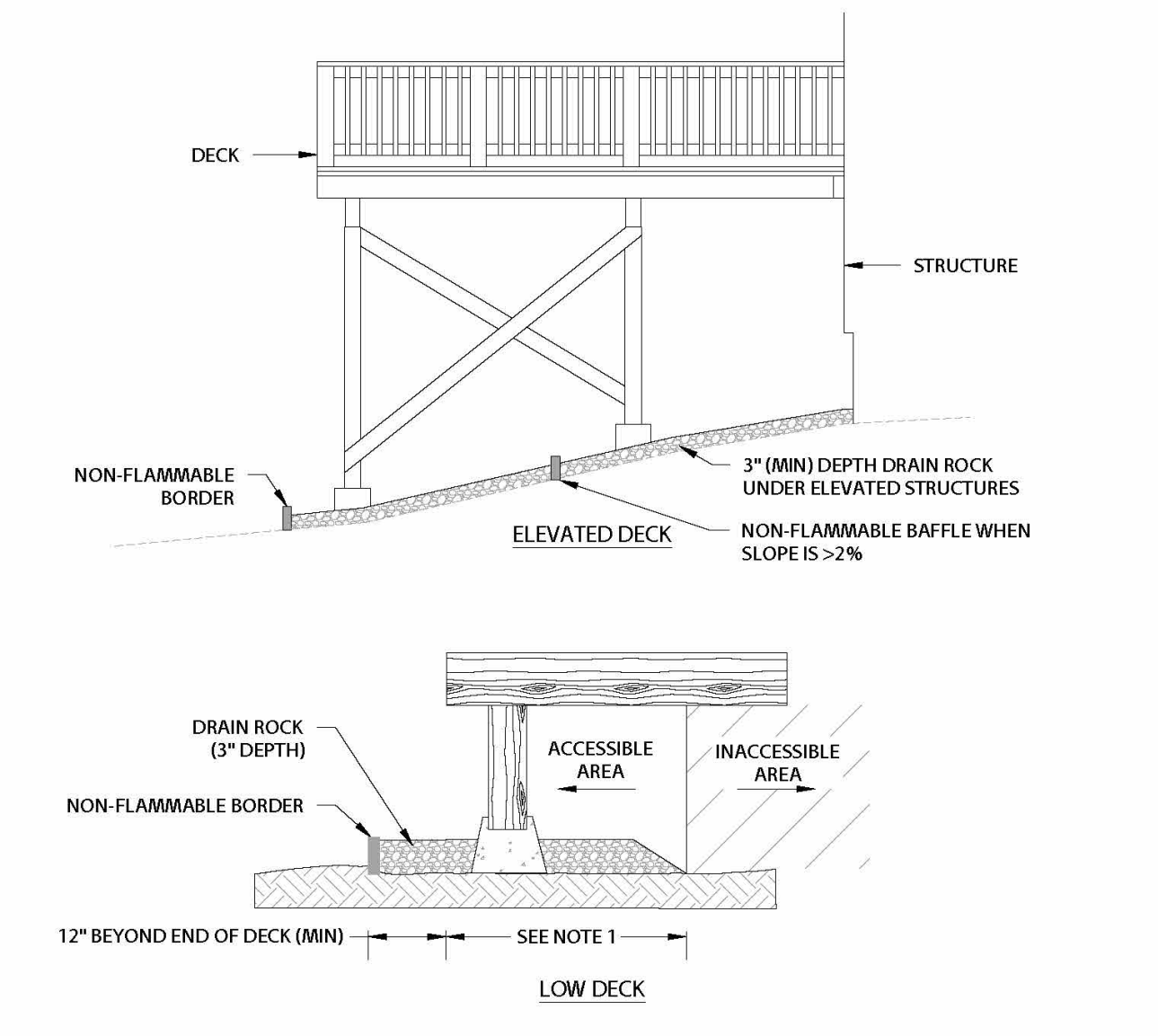
- NOTES:**
- INFILTRATION TRENCH SHALL BE SIZED PROPERLY TO RECEIVE RUNOFF FROM DRAINAGE AREA.
 - PRECISE GRADING IS REQUIRED TO ENSURE WATER WILL FLOW INTO INFILTRATION TRENCH.
 - TRENCH BOTTOM MUST BE LEVEL. IF SLOPE OF TERRAIN IS >5% ALONG LENGTH OF TRENCH, STEPPED TRENCHES ARE NECESSARY (SEE INFILTRATION TRENCH DETAIL).
 - BORDER NEXT TO DRIVEWAYS MUST BE LOWER THAN DRIVEWAY ELEVATION TO ALLOW RUNOFF TO ENTER SYSTEM.
 - CROSS SLOPE SHOULD EQUAL TWO TIMES DOWN SLOPE. THE DOWN SLOPE GRADIENT SHOULD NOT EXCEED #6 FOR THIS STRATEGY. DRIVEWAYS WITH DOWN SLOPES STEEPER THAN #6 SHOULD EMPLOY OTHER APPROPRIATE STRATEGIES.
 - PARKING BARRIERS MAY NEED TO BE INSTALLED TO PREVENT VEHICLE COMPACTION OF INFILTRATION SYSTEMS.

Grading For Sheet Flow

TAHOE REGIONAL PLANNING AGENCY

BMP-210
November 2012

THE TAHOE REGIONAL PLANNING AGENCY (TRPA) SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS DETAIL.



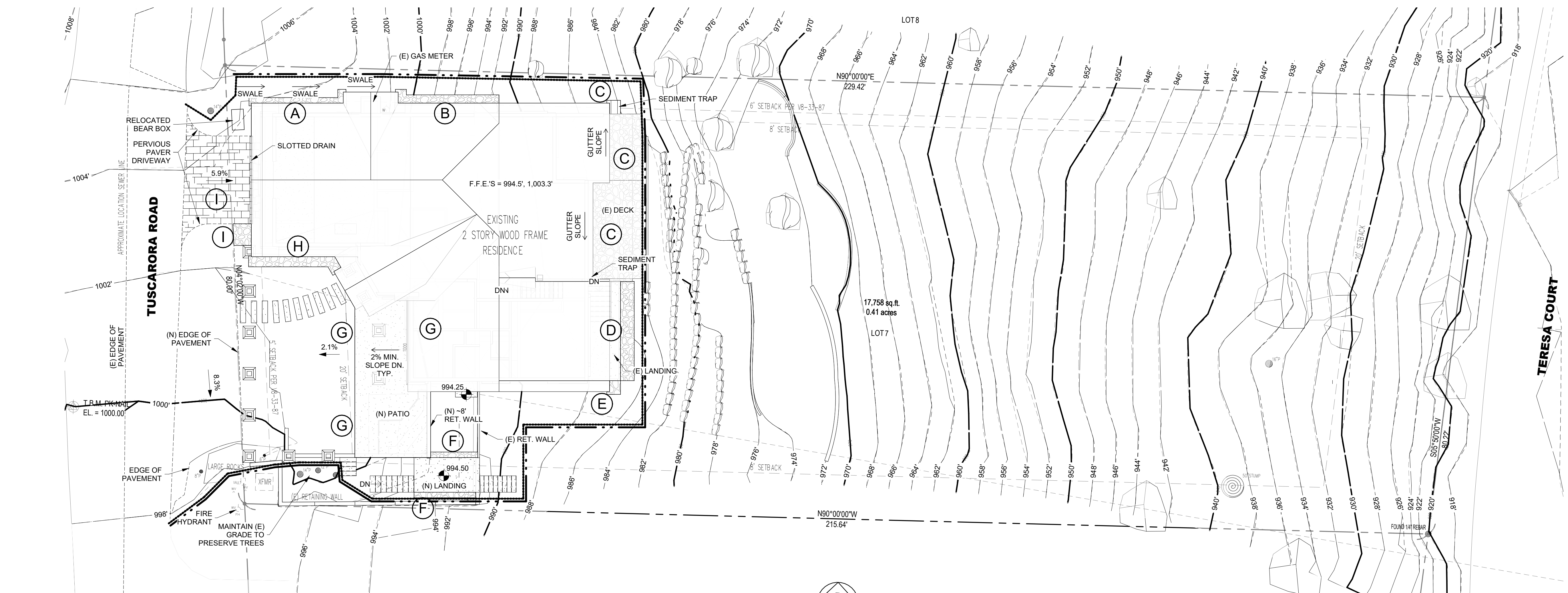
- NOTES:**
- FOR THE RETROFIT OF EXISTING DECKS, DRAIN ROCK SHOULD BE INSTALLED AS FAR BACK UNDER THE LOW ELEVATED STRUCTURE AS POSSIBLE. DISTANCE DEPENDS ON ACCESSIBILITY UNDER THE STRUCTURE.
 - USE WASHED, CLEAN 3/4\"/>

Rock Armor - Elevated Structure

TAHOE REGIONAL PLANNING AGENCY

BMP-211
November 2012

THE TAHOE REGIONAL PLANNING AGENCY (TRPA) SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS DETAIL.



1 TRPA BMP PLAN P1
1" = 10'-0"

BMP NOTES:

- ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND THE HOME LANDSCAPING GUIDE FOR LAKE TAHOE & VICINITY. APPLICATION OF A MULCH MAY ENHANCE VEGETATIVE ESTABLISHMENT.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE MULCHED WITH A 2 TO 3 INCH LAYER OF FINE NEEDLES OR WOOD CHIPS AS A DUST CONTROL MEASURE. THIS MULCH SHALL BE MAINTAINED FROM COMPLETION OF THE INITIAL GRADING THROUGH COMPLETION OF THE PROJECT.
- INSTALL PARKING BARRIERS TO RESTRICT PARKING TO PAVED SURFACES ONLY.
- ALL PROJECT RELATED VEHICLES SHALL PARK ON EXISTING PAVED SURFACES OR EXISTING COMPACTED ROAD SHOULDERS.
- PROVIDE VEGETATION PROTECTIVE FENCING AROUND CONSTRUCTION AREA AS SHOWN ON PLAN. NO MORE THAN 12' FROM CONSTRUCTION AREA.
- PHOTOGRAPHS SHALL BE TAKEN TO SHOW DEPTH AND INSTALLED DEVICE FOR ANY EXCAVATED THEN BACKFILLED BMP SYSTEM.
- ADDITIONAL CLEANOUTS ARE RECOMMENDED AT TURNS FOR ANY PIPED BMP SYSTEM.
- *SEE THE FOLLOWING BMP SHEETS FOR ADDITIONAL SPECIFIC BMP DETAILS*
- SEE THE DEFENSIBLE SPACE/FIRE ACCESS PLAN & REFER TO LIVING WITH FIRE, SECOND EDITION, LAKE TAHOE BASIN.

BMP CALLOUTS:

- * IF TREE ROOTS 3" OR LARGER ARE ENCOUNTERED, CONTACT ELISE FETT AND ASSOCIATES FOR BMP DESIGN ADJUSTMENTS.
- A - INFILTRATION TRENCH** - PROVIDE A 20" L X 18" W X 8" D INFILTRATION TRENCH AT THE DRIP LINE OF THE ROOF AS SHOWN ON PLANS AND PER DETAILS.
- B - INFILTRATION TRENCH** - PROVIDE A 21" L X 24" W X 2" D INFILTRATION TRENCH AT THE DRIP LINE OF THE ROOF AS SHOWN ON PLANS AND PER DETAILS.
- C - GUTTERS TO GRAVEL UNDER DECKS** - SLOPE GUTTERS THE DIRECTION INDICATED ON THE PLAN. THROUGH DOWNSPOUTS / CHAINS, TERMINATE INTO SEDIMENT TRAPS THAT FLOW INTO THE REQUIRED GRAVEL UNDER THE DECKS. INSTALL PER DETAILS.
- D - INFILTRATION TRENCH** - FOR THE RUNOFF FROM THE ROOF ABOVE FALLING ONTO THE ROCK LANDING, PROVIDE A 18" L X 30" W X 6" D INFILTRATION TRENCH AT THE DRIP LINE / EDGE OF THE ROCK LANDING AS SHOWN ON PLANS AND PER DETAILS.
- E - INFILTRATION TRENCH** - FOR THE REMAINING ROOF ABOVE THAT DOES NOT FALL ONTO THE ROCK LANDING, PROVIDE A 26" L X 30" W X 2" D INFILTRATION TRENCH AT THE DRIP LINE OF THE ROOF AS SHOWN ON PLANS AND PER DETAILS.
- F - INFILTRATION TRENCH** - PROVIDE A 12" W X 1" D INFILTRATION TRENCH SURROUNDING THE EDGE OF THE PATIO AS SHOWN ON PLANS AND PER DETAILS.
- G - WATER SPREADING** - VERIFY RUNOFF FLOWS SMOOTHLY OFF OF THE NEW PATIO AND CAN SPREAD EVENLY AND SLOWLY ACROSS THE SURFACE OF THE GROUND WITHOUT ANY DETRIORATION AND CAN INFILTRATE INTO THE GROUND.
- H - INFILTRATION TRENCH** - PROVIDE A 20" L X 30" W X 10" D INFILTRATION TRENCH AT THE DRIP LINE OF THE ROOF AS SHOWN ON PLANS AND PER DETAILS.
- I - SLOTTED DRAIN TO SEDIMENT TRAP AND GRAVEL DRYWELL** - PROVIDE A SLOTTED DRAIN IN THE NEW DRIVEWAY THAT SLOPES TO A SEDIMENT TRAP THAT CONNECTS TO A 4" X 5" X 15" D GRAVEL DRYWELL AS SHOWN ON PLANS AND PER DETAILS. THE LOCATION OF THE SEDIMENT TRAP AND GRAVEL DRYWELL CAN BE ADJUSTED FOR SITE CONDITIONS.

LEGEND

- CONTOURS
- TREE, SIZE, TYPE
- TRPA APPROVED EROSION CONTROL FENCING - NO MORE THAN 12' FROM THE BUILDING FOOT PRINT PER DETAIL.
- INFILTRATION TRENCH PER BMP CALLOUTS & DETAIL
- VEGETATION PROTECTIVE FENCING PER DETAIL & NOTE
- GRAVEL DRYWELL PER BMP CALLOUTS & DETAIL

REVISIONS

#	DATE	BY

EFA

- ARCHITECTURE
- ENGINEERING
- INTERIORS
- TRPA

ELISE FETT & ASSOCIATES, LTD.

AIA - RCE - CATT

PHONE: (775) 833-3388
FAX: (775) 833-2388
elise@elisefett.com

P.O. BOX 5989
INCLINE VILLAGE
NEVADA 89450

PRELIMINARY
NOT FOR
CONSTRUCTION

WRIGHT MCKAY REMODEL / ADDITION

490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
CAL-NEVA HIGHLANDS SUB 1 LOT
APN: 123-121-11

SCALE: As indicated

JOB NO: EWJM

PRINT DATE: 3/27/2024
13:26:14

SHEET

SP-3

TRPA BMP PLAN

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REVISIONS		
#	DATE	BY



• ARCHITECTURE
• ENGINEERING
• INTERIORS
• TRPA

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WRIGHT MCKAY REMODEL / ADDITION
490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
CAL-NEVA HIGHLANDS SUB 1 LOT 7
APN: 123-121-11

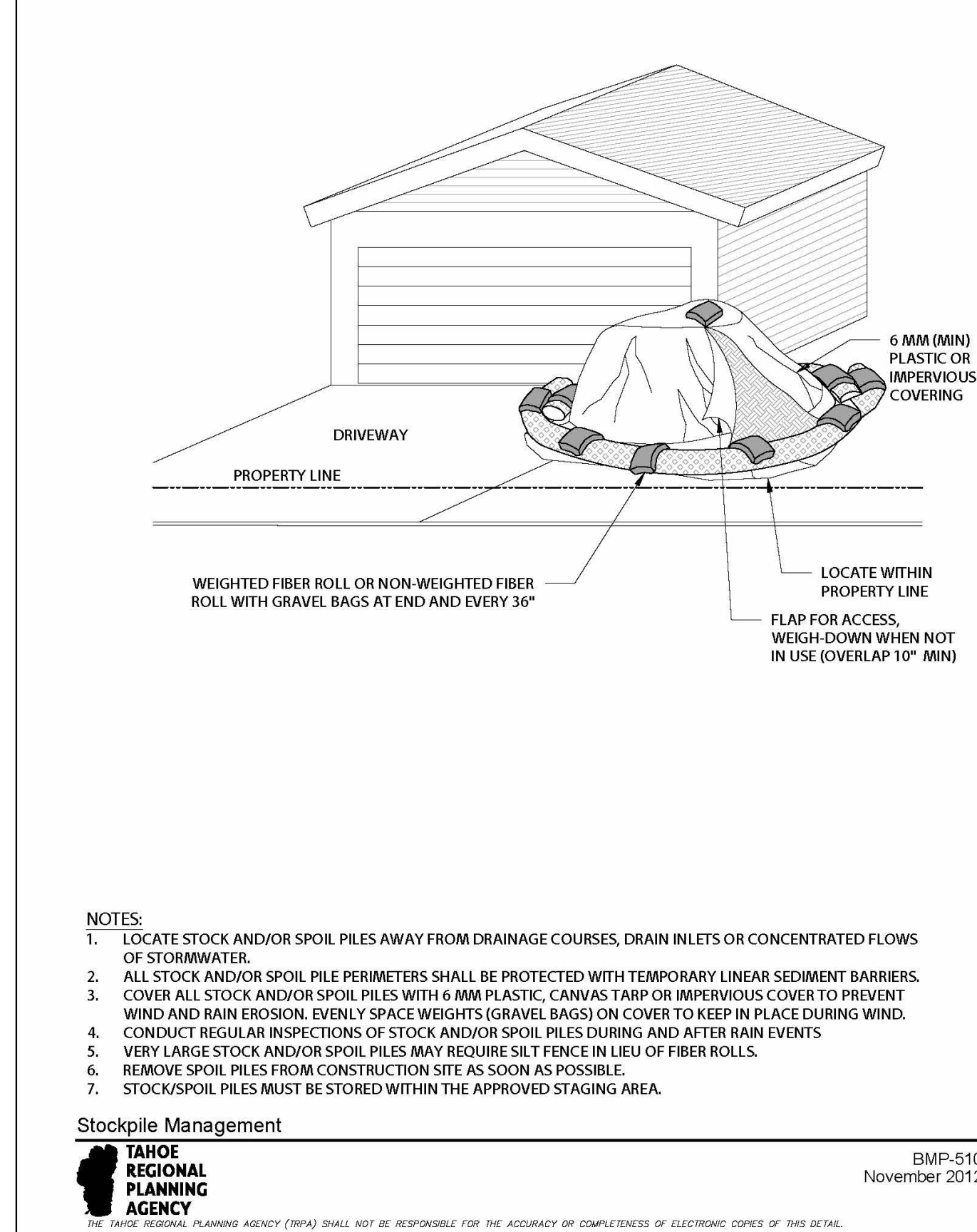
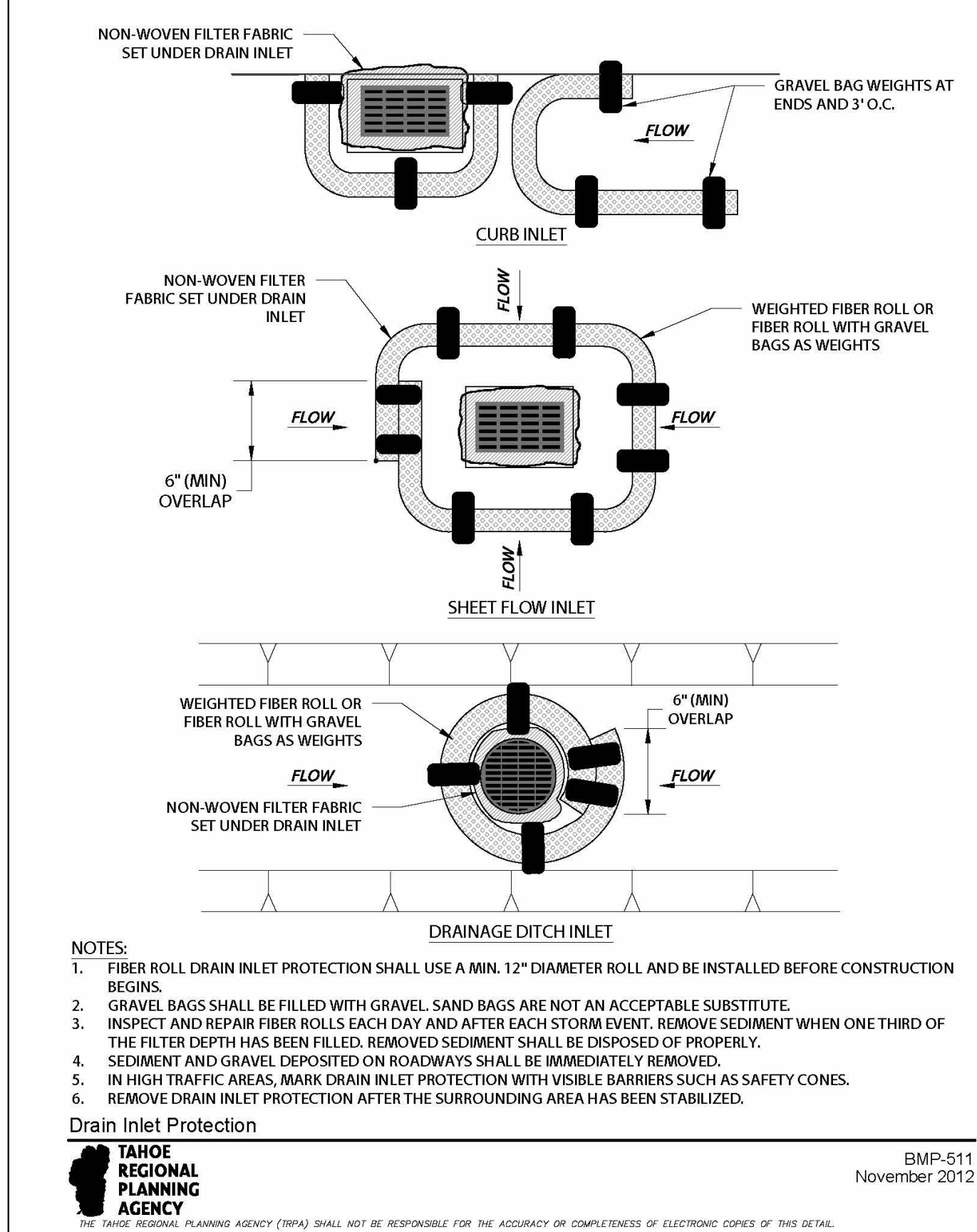
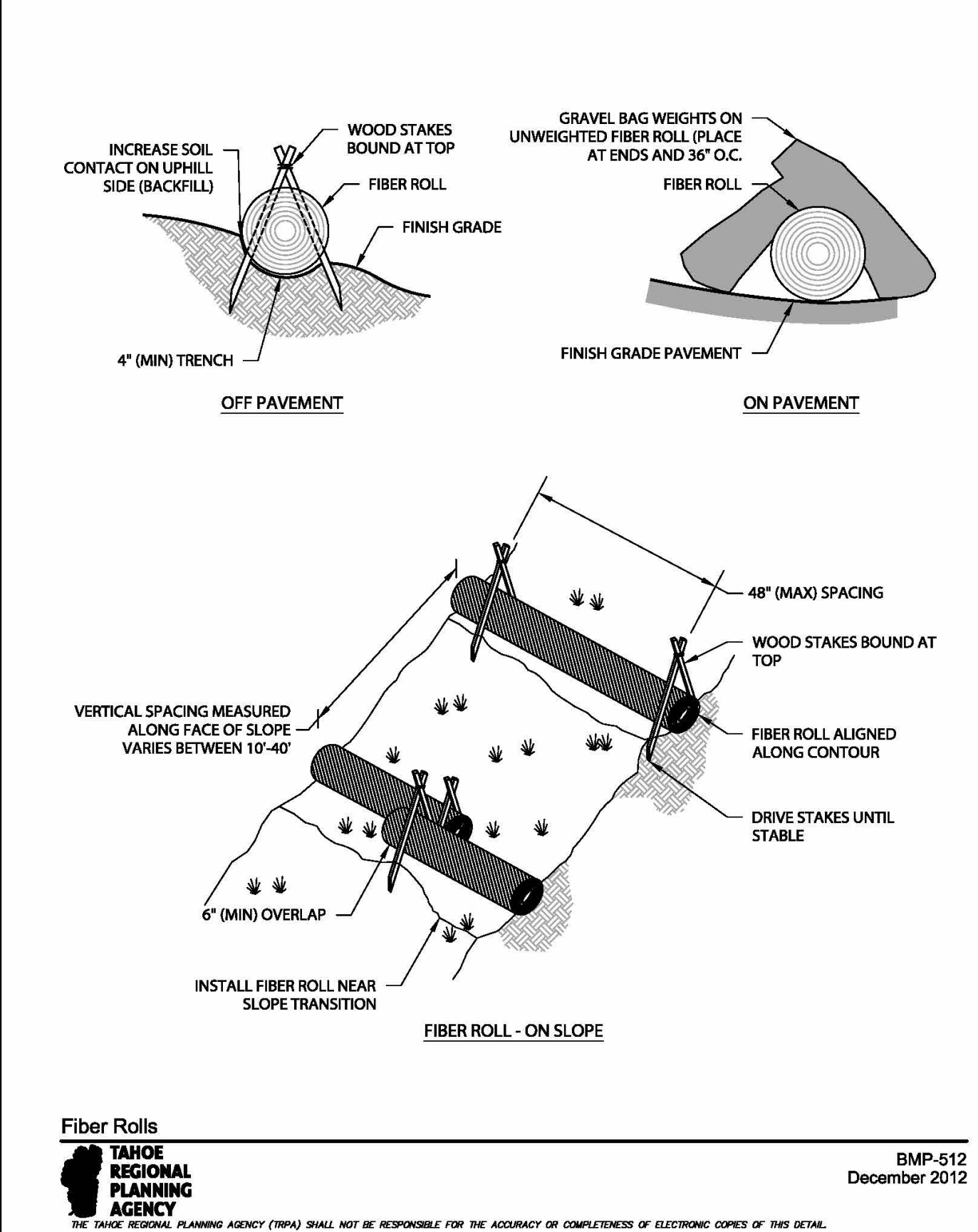
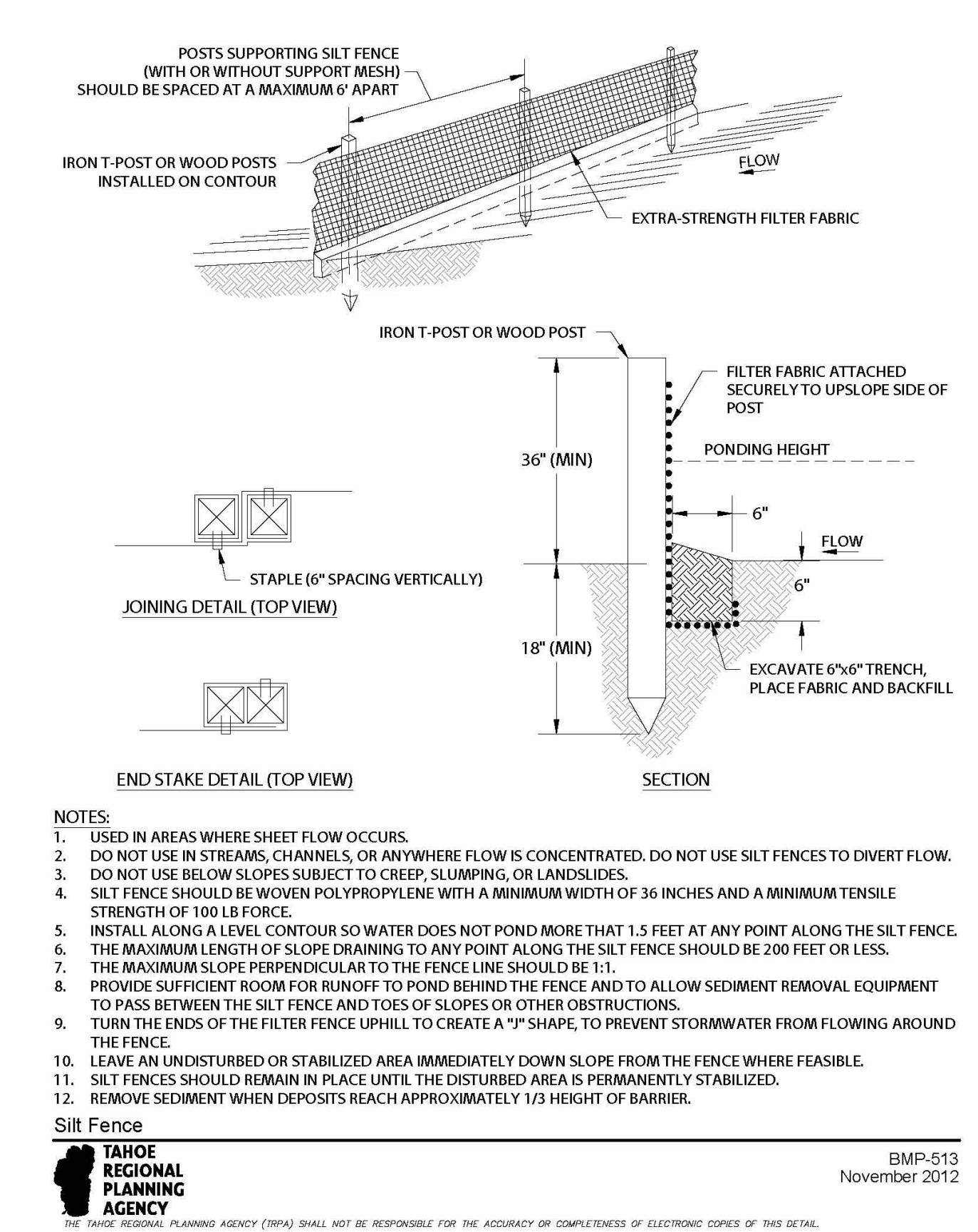
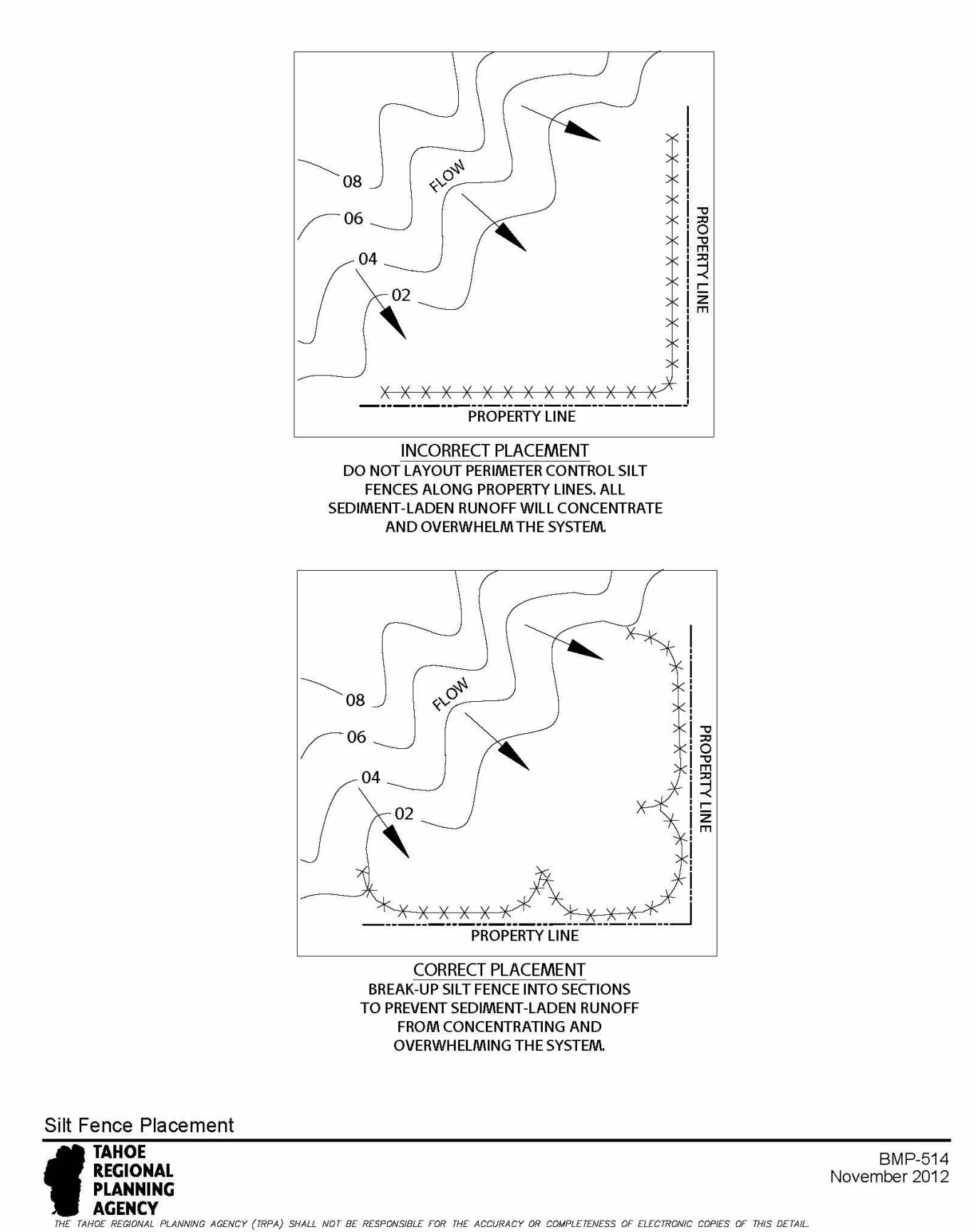
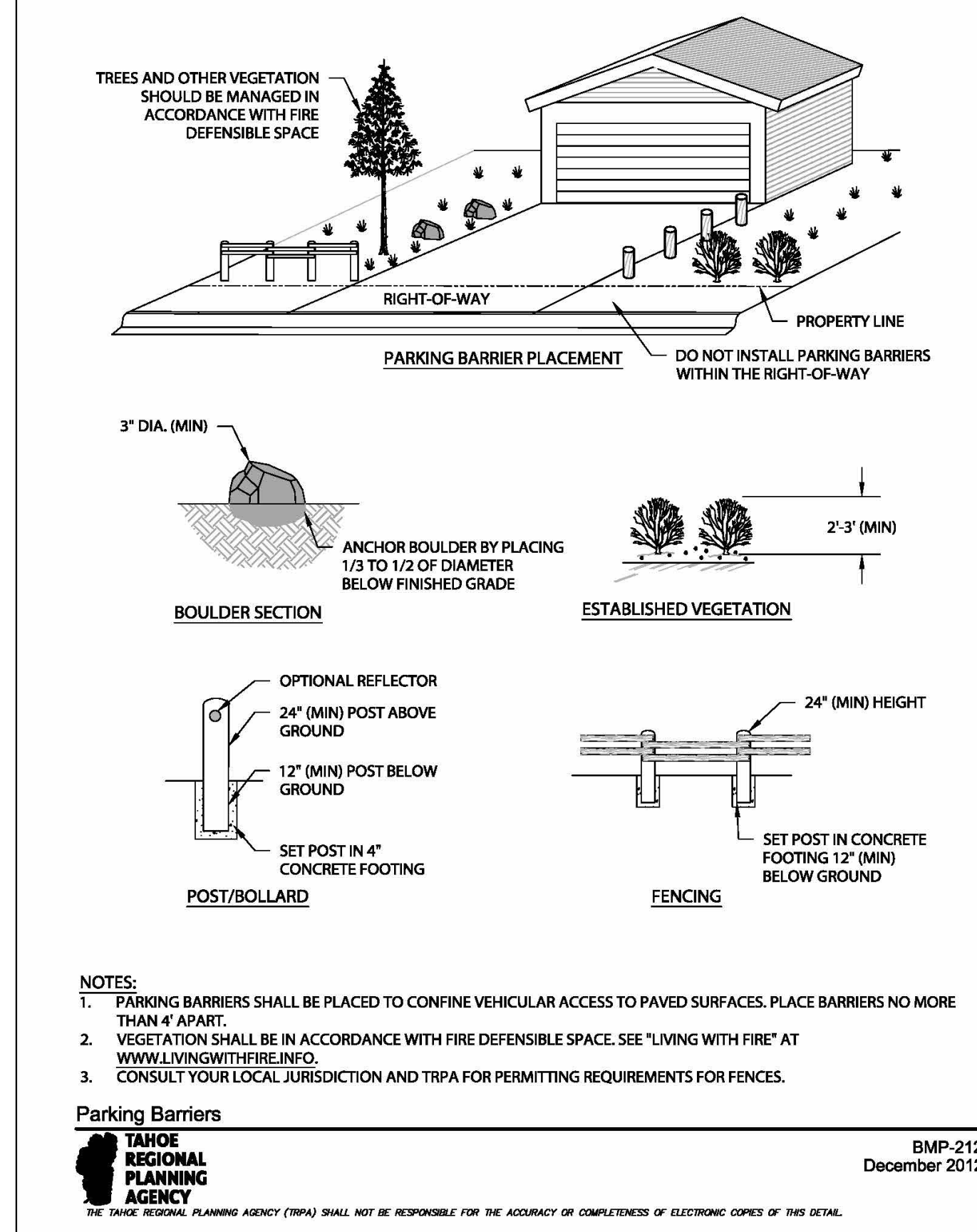
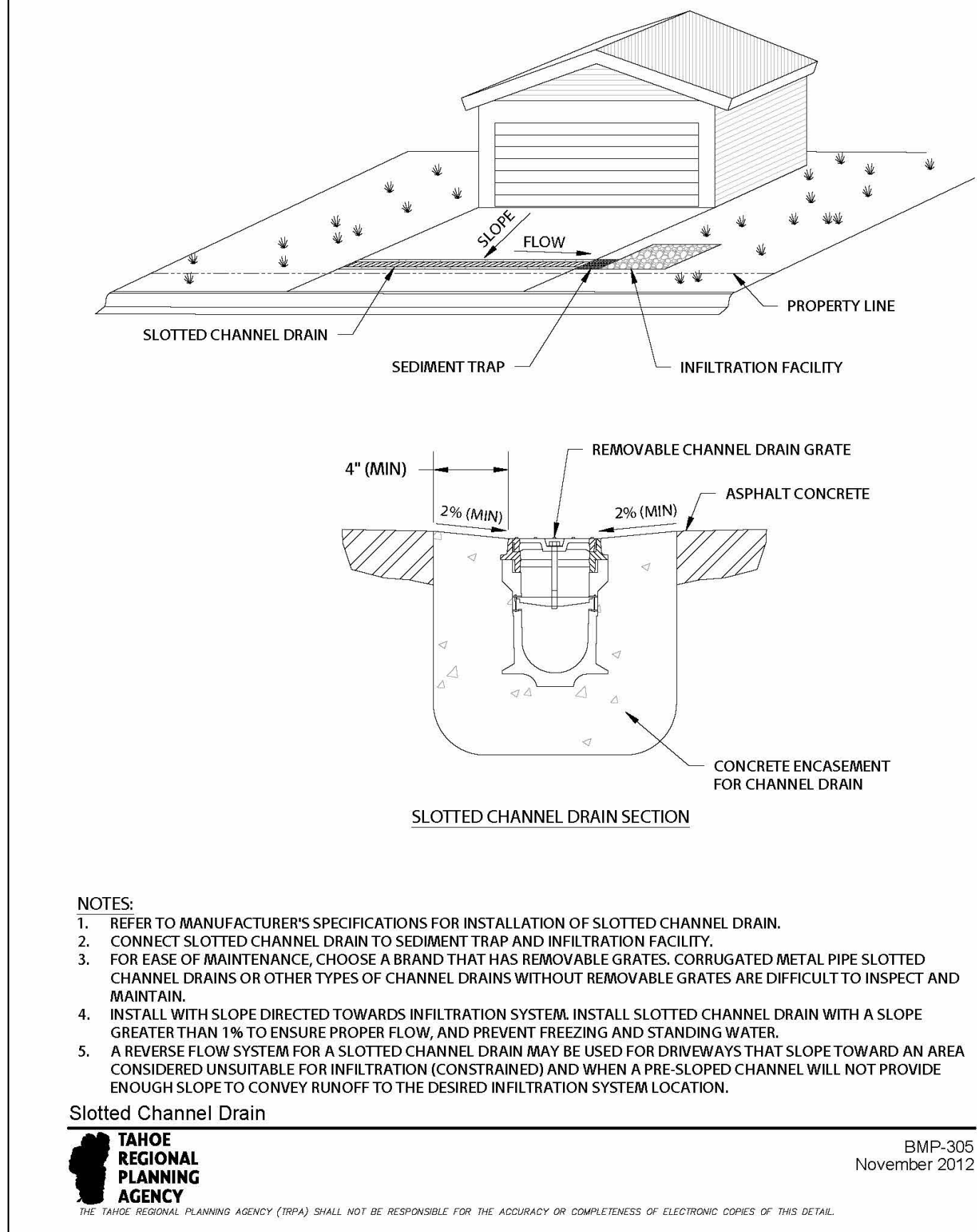
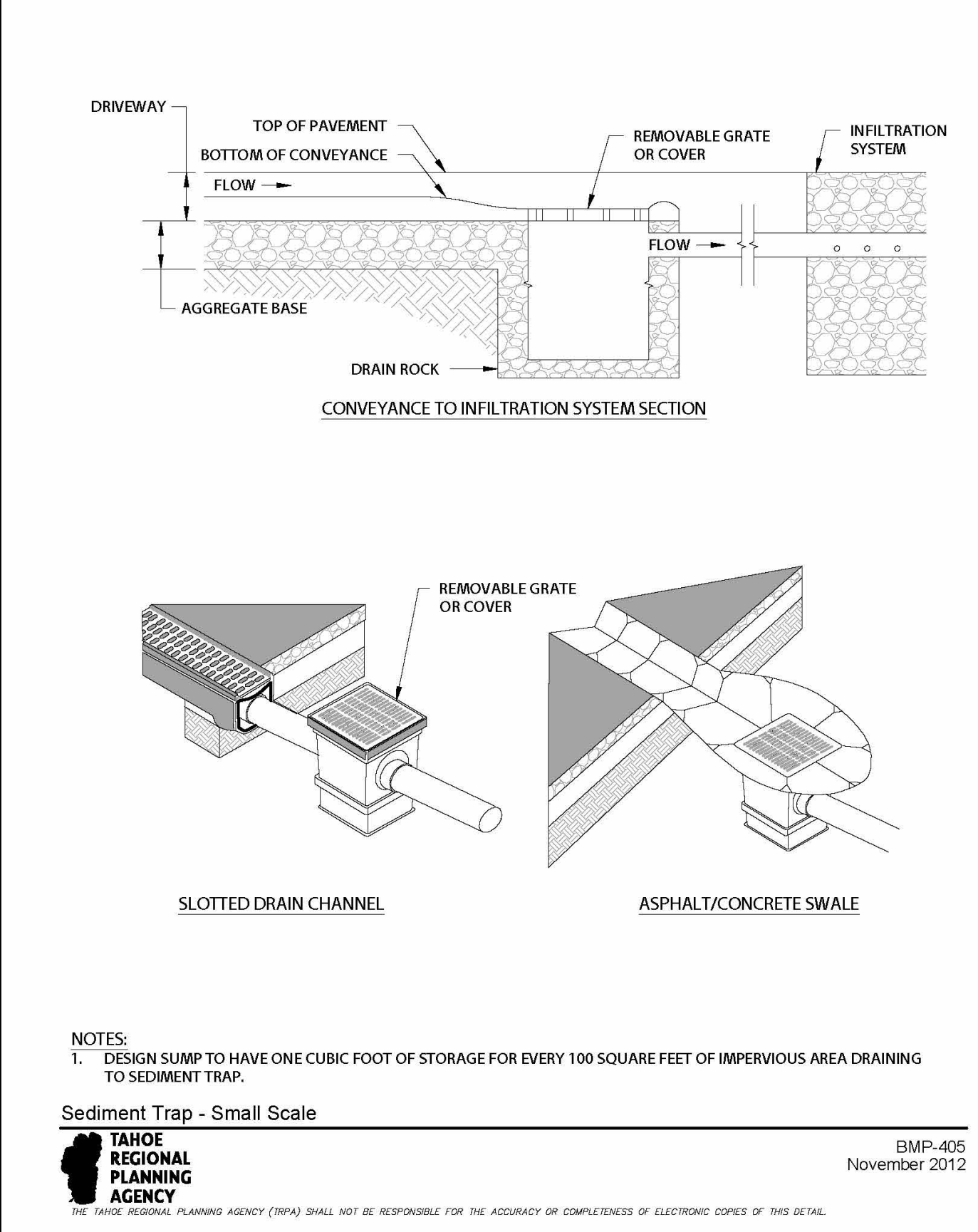
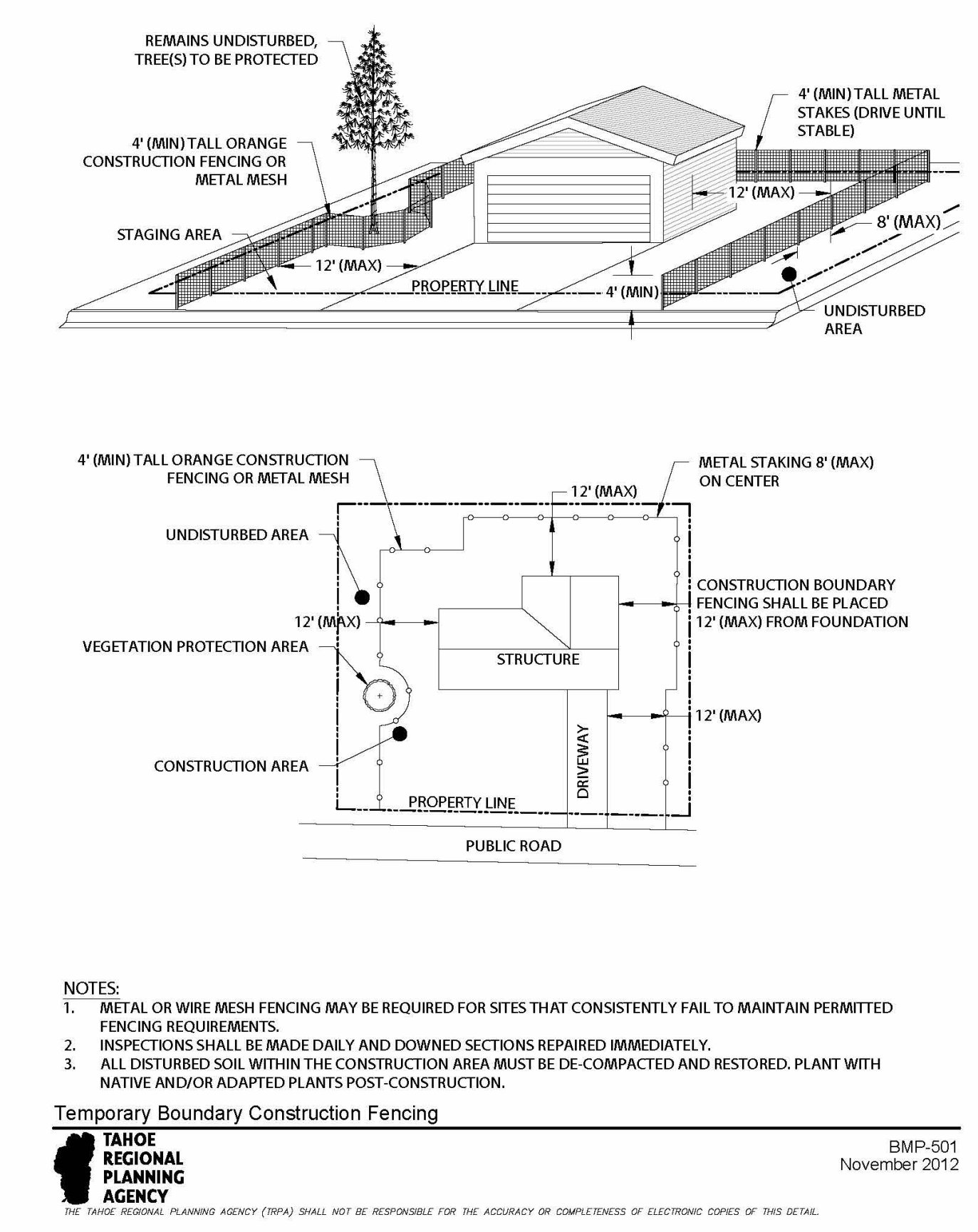
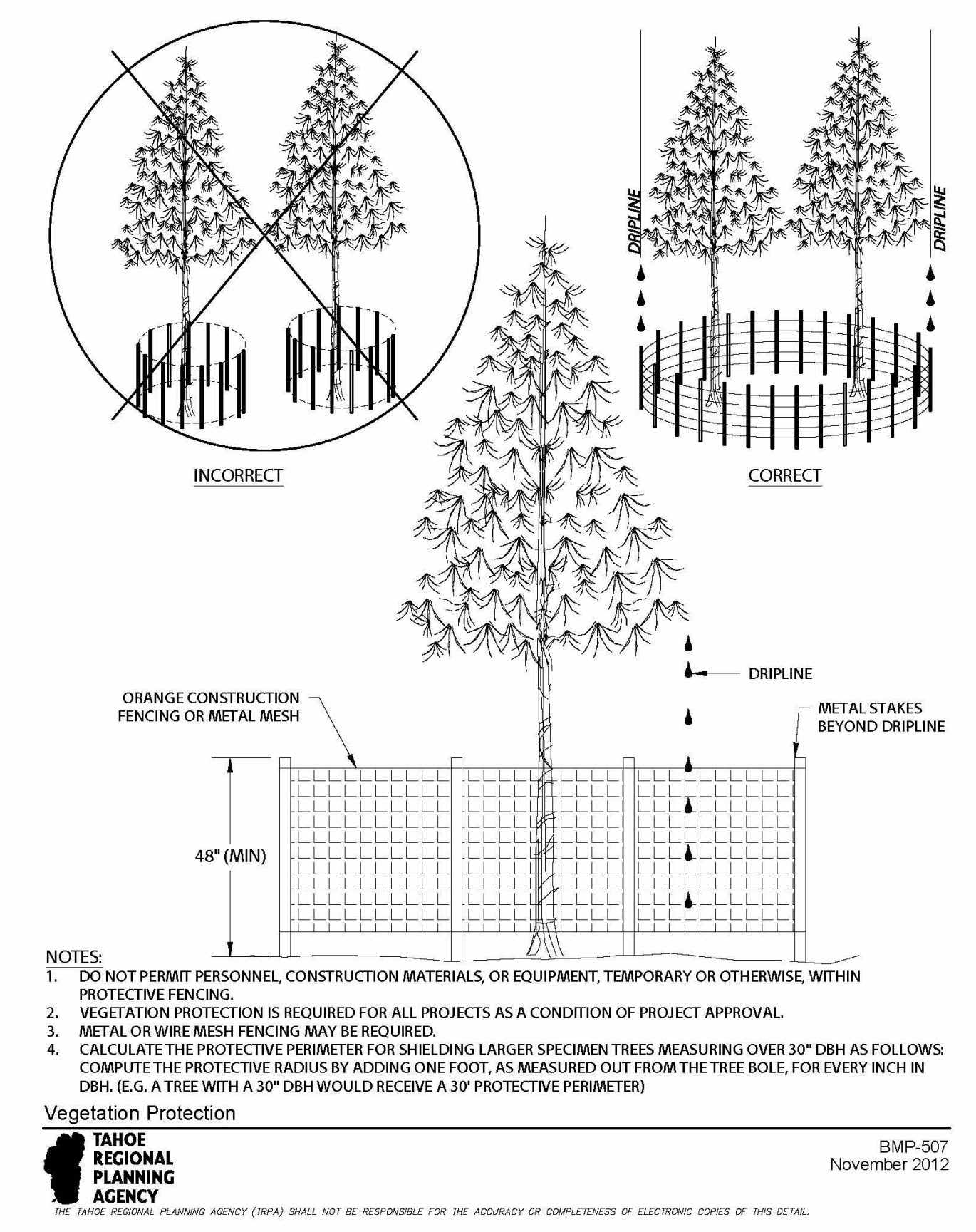
TRPA BMP
DETAILS

SCALE: 12" = 1'-0"
JOB NO: EWJM
PRINT DATE: 11/30/2023
11:32:59
SHEET

SP-3A

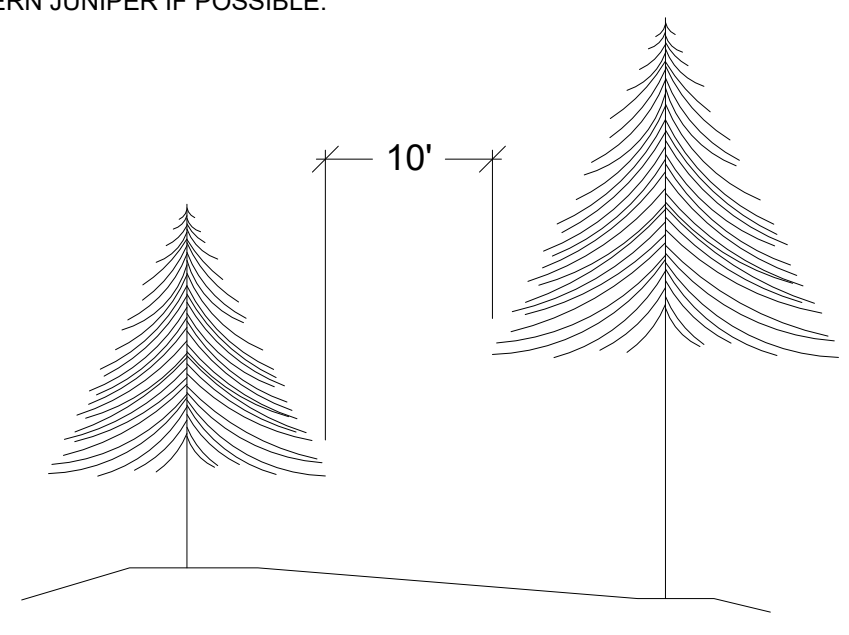
TRPA BMP
DETAILS

AGENDA ITEM NO. V.A.



TREE SEPARATION

ON FLAT TO GENTLY SLOPING TERRAIN, TREES SHOULD BE THINNED TO PROVIDE AN AVERAGE SEPARATION BETWEEN THE CANOPIES OF AT LEAST 10' (TRPA). FOR HOMES LOCATED ON STEEPER SLOPES, THE SEPARATION DISTANCE SHOULD BE GREATER. STUMPS SHOULD BE CUT FLUSH TO THE GROUND FOR TREES LESS THAN 6" IN DIAMETER AT GREATEST HEIGHT AND TO WITHIN 6" OF THE GROUND FOR LARGER TREES. THE STUMP CUT SURFACE SHOULD BE COATED WITH POWDERED BORAX TO RETARD THE SPREAD OF ROOT DISEASES. WHEN SELECTING TREES FOR REMOVAL, CONSIDER CUTTING UNHEALTHY, DAMAGED OR WEAK TREES. RETAIN LESS COMMON SPECIES OF TREES, SUCH AS INCENSE CEDAR, SUGAR PINE AND WESTERN JUNIPER IF POSSIBLE.



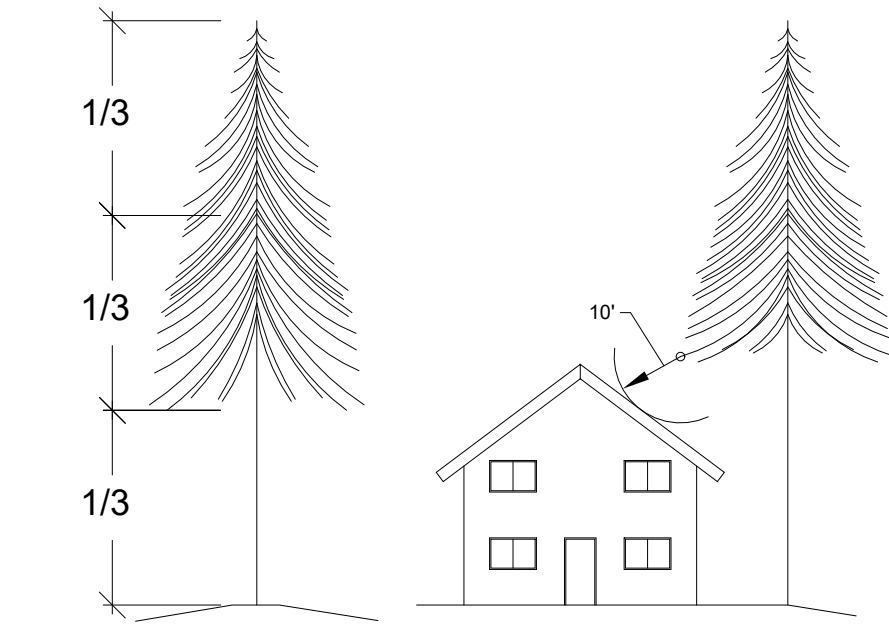
DT613

TREE TRIMMING GUIDELINES

ALL RESIDUAL TREES WILL BE LIMBED TO A HEIGHT OF 10'-0" FROM GROUND, NOT TO EXCEED 1/3 OF THE TOTAL TREE HEIGHT.

ALL RESIDUAL TREES WILL BE LIMBED TO ACHIEVE 10'-0" CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF THIS WOULD REQUIRE REMOVAL OF THE CROWN EXCEEDING THE LOWER 1/3 OF THE TREE, THEN THE TREE SHOULD BE REMOVED.

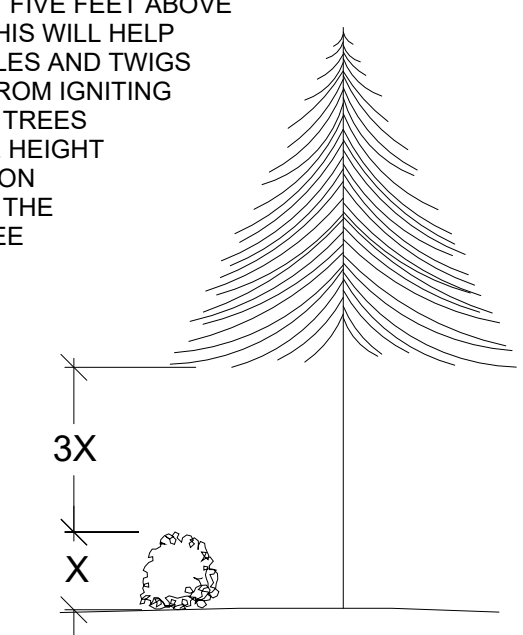
TRIM ALL LOW HANGING LIMBS SO THAT NONE ARE LOWER THAN 10'-0" OF THE GROUND.



DT615

TREE & LOWER SHRUB SEPERATION

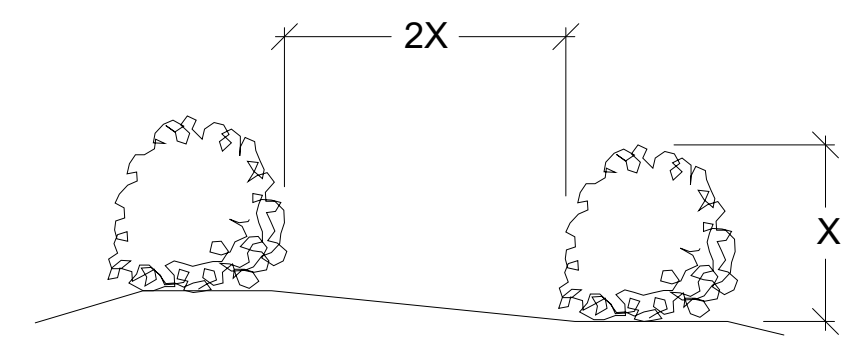
IF TREES ARE PRESENT WITHIN THE DEFENSIBLE SPACE ZONE, THERE SHOULD BE A SEPARATION BETWEEN THE LOWER GROWING VEGETATION AND THE LOWEST TREE BRANCHES. VEGETATION THAT CAN CARRY FIRE BURNING IN LOW GROWING PLANTS TO TALLER PLANTS IS CALLED 'LADDER FUEL'. FOR LARGE TREES, THE RECOMMENDED SEPARATION FOR LADDER FUELS IS THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER. PRUNE BRANCHES FROM THE LOWER THIRD OF THE TREE HEIGHT. SHORTEN THE HEIGHT OF SHRUBS OR REMOVE PLANTS. DO NOT REMOVE MORE THAN ONE THIRD OF THE TOTAL TREE BRANCHES. WHEN THERE IS NO UNDERSTORY VEGETATION PRESENT, REMOVE LOWER TREE BRANCHES TO A HEIGHT OF AT LEAST FIVE FEET ABOVE GROUND. DURING FIRE, THIS WILL HELP PREVENT BURNING NEEDLES AND TWIGS LYING ON THE GROUND FROM IGNITING THE TREE. FOR SHORTER TREES WHERE THREE TIMES THE HEIGHT OF THE LOWER VEGETATION LAYER EXTENDS BEYOND THE LOWER THIRD OF THE TREE HEIGHT, SHORTEN THE HEIGHT OF THE SHRUBS OR REMOVE PLANTS BELOW THE TREE.



DT614

SHRUB SEPARATION

ON FLAT TO GENTLY SLOPING TERRAIN, INDIVIDUAL SHRUBS OR SMALL CLUMPS OF SHRUBS WITHIN THE DEFENSIBLE SPACE ZONE SHOULD BE SEPARATED FROM ONE ANOTHER BY AT LEAST TWICE THE AVERAGE HEIGHT OF THE SHRUBS. FOR STEEPER SLOPES, THE SEPARATION DISTANCE SHOULD BE GREATER.



DT612

DEFENSIBLE SPACE ZONES

- ALL DEAD VEGETATION, INCLUDING TREES, BRUSH AND OTHER VEGETATION, MUST BE REMOVED.
- ALL RESIDUAL TREES WILL BE LIMBED TO A HEIGHT OF TEN-FEET (10') ABOVE THE GROUND ON THE HIGH SIDE. REMOVAL OF LOWER BRANCHES SHOULD NOT EXCEED ONE-THIRD OF THE TOTAL TREE HEIGHT. IF MORE THAN ONE-THIRD OF THE LIVE CROWN MUST BE REMOVED TO ACCOMPLISH THIS LIMBING, THEN USE THE HORIZONTAL SPACING GUIDELINES LISTED FOR BRUSH UNDER ITEM 6 BELOW. PLEASE SEE SPACING GUIDELINES BELOW FOR STEEP SLOPES.
- ALL RESIDUAL TREES WILL BE LIMBED TO ACHIEVE A TEN-FOOT (10') CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF LESS THAN 60% OF THE LIVE CROWN WOULD BE LEFT AFTER LIMBING, THE TREE SHOULD BE REMOVED.
- ALL BRUSH, TREES AND FLAMMABLE MATERIALS MUST BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPINGS.
- WITHIN FIVE-FOOT (5') OF THE FOUNDATION OR SUPPORT POSTS OF ANY PART OF THE STRUCTURE OR AN OUTBUILDING, REMOVE ALL FLAMMABLE VEGETATION AND MATERIALS.
- WITHIN THE FIVE-FOOT (5') TO THIRTY-FOOT (30') ZONE, TREE CANOPIES WILL BE SPACED AT LEAST TEN-FEET (10') APART. IF TREES ARE GROUPED CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT, THAN ALL OTHER REQUIREMENTS MUST BE MET. WITHIN THE THIRTY-FOOT (30') TO ONE-HUNDRED-FOOT (100') ZONE, STANDS OF LARGE TREES DO NOT HAVE TO BE REMOVED SO LONG AS THE VEGETATION UNDERNEATH THEM IS REMOVED. PLEASE SEE SPACING GUIDELINES BELOW FOR STEEPER SLOPES.
- WITHIN THE FIVE-FOOT (5') TO THIRTY-FOOT (30') ZONE, BRUSH FIELDS MUST BE SPACED HORIZONTALLY A MINIMUM DISTANCE EQUAL TO OR GREATER THAN TWICE THE HEIGHT OF THE BRUSH. INDIVIDUAL BRUSH PLANTS CANNOT EXCEED 100-SQUARE FEET (100 SQ. FT.) IN AREA AND THREE-FOOT (3') IN HEIGHT. PLEASE SEE SPACING GUIDELINES BELOW FOR STEEPER SLOPES.

FOR SLOPING PROPERTIES, USE THE FOLLOWING STANDARDS FOR THE ABOVE REQUIREMENTS:

TREES	SLOPE	SPACING
	0-20%	10-FEET BETWEEN EDGES OF CROWNS
	20-40%	20-FEET BETWEEN EDGES OF CROWNS
	ABOVE 40%	30-FEET BETWEEN EDGES OF CROWNS
BRUSH	0-20%	2 TIMES THE HEIGHT OF RESIDUAL BRUSH
	20-40%	4 TIMES THE HEIGHT OF RESIDUAL BRUSH
	ABOVE 40%	6 TIMES THE HEIGHT OF RESIDUAL BRUSH

ZONE 1 - 0'-5' NONCOMBUSTIBLE AREA

CREATE A NONCOMBUSTIBLE AREA AT LEAST 5' WIDE AROUND THE BASE OF THE STRUCTURE (INCLUDING ALL DECK). THIS AREA NEEDS TO HAVE A VERY LOW POTENTIAL FOR LYING EMBERS. USE IRRIGATED HERBACEOUS PLANTS, SUCH AS LAWN, GROUND COVER AND FLOWERS THAT ARE RECOMMENDED FOR THE LAKE TAHOE BASIN. ROCK MULCHES OR HARD SURFACES SUCH AS BRICK AND PAVERS, IN THIS AREA, KEEP IT FREE OF WOODPILES, WOOD MULCHES, DEAD PLANTS, DRIED LEAVES AND NEEDLES, FLAMMABLE SHRUBS (SUCH AS JUNIPER), AND DEBRIS.

- THE AREA WITHIN 0'-5' OF THE FOUNDATION OR SUPPORT POSTS SHOULD CONTAIN NO COMBUSTIBLE MATERIALS, INCLUDING COMBUSTIBLE PLANT MATERIAL. A 3" GRAVEL MOAT IS THE PREFERRED MATERIAL OF USE. DRIP LINES MAY BE INCORPORATED INTO THIS AREA.
- REMOVE ALL PINE NEEDLES AND FOREST DUFF WITHIN THIS AREA.

ZONE 2 - 5'-30' LEAN, CLEAN AND GREEN AREA

FOR A DISTANCE OF 5'-30' FROM THE STRUCTURE, THERE SHOULD BE A LEAN, CLEAN AND GREEN AREA. 'LEAN' INDICATES THAT ONLY A SMALL AMOUNT OF FLAMMABLE VEGETATION, IF ANY, IS PRESENT WITHIN 30' OF THE STRUCTURE. 'CLEAN' MEANS THERE IS LITTLE OR NO ACCUMULATION OF DEAD VEGETATION OR FLAMMABLE DEBRIS WITHIN THE AREA DURING FIRE SEASON. 'GREEN' IMPLIES THAT PLANTS LOCATED WITHIN THIS AREA ARE KEPT HEALTHY, GREEN AND IRRIGATED DURING FIRE SEASON.

- TRIM ALL TREES OVER 20' A MIN. OF 10' ABOVE ADJACENT GRADE.
- REMOVE ANY TREE 14 INCHES IN DIAMETER OR LESS (AS INDICATED ON PLANS) TO CREATE A 10' SPACE BETWEEN ANY ADJACENT TREE CANOPY. REFER TO DETAIL.
- REMOVE ACCUMULATION OF DEAD VEGETATION FROM TREES (FLAMMABLE DEBRIS, DEAD BRANCHES AND LIMBS) 10' ABOVE ADJACENT GRADE.
- WITHIN 5'-30' OF THE STRUCTURE ONLY SINGLE SPECIMENS OF WELL MAINTAINED AND WELL IRRIGATED SHRUBS OR TREES SHOULD BE PRESENT. SUCH MATERIALS SHOULD NOT BE CAPABLE OF READILY TRANSMITTING FIRE TO THE STRUCTURE. COMBUSTIBLE MULCHES OR PINE NEEDLES SHOULD NOT BE USED AS GROUND COVER WITHIN THIS ZONE.
- ALL BRUSH, TREES OR FLAMMABLE MATERIAL WILL BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR THE TREE GROUP.
- REMOVE ALL PINE NEEDLES AND FOREST DUFF WITHIN THIS AREA.

ZONE 3 - 30'-100' WILDLAND FUEL REDUCTION AREA

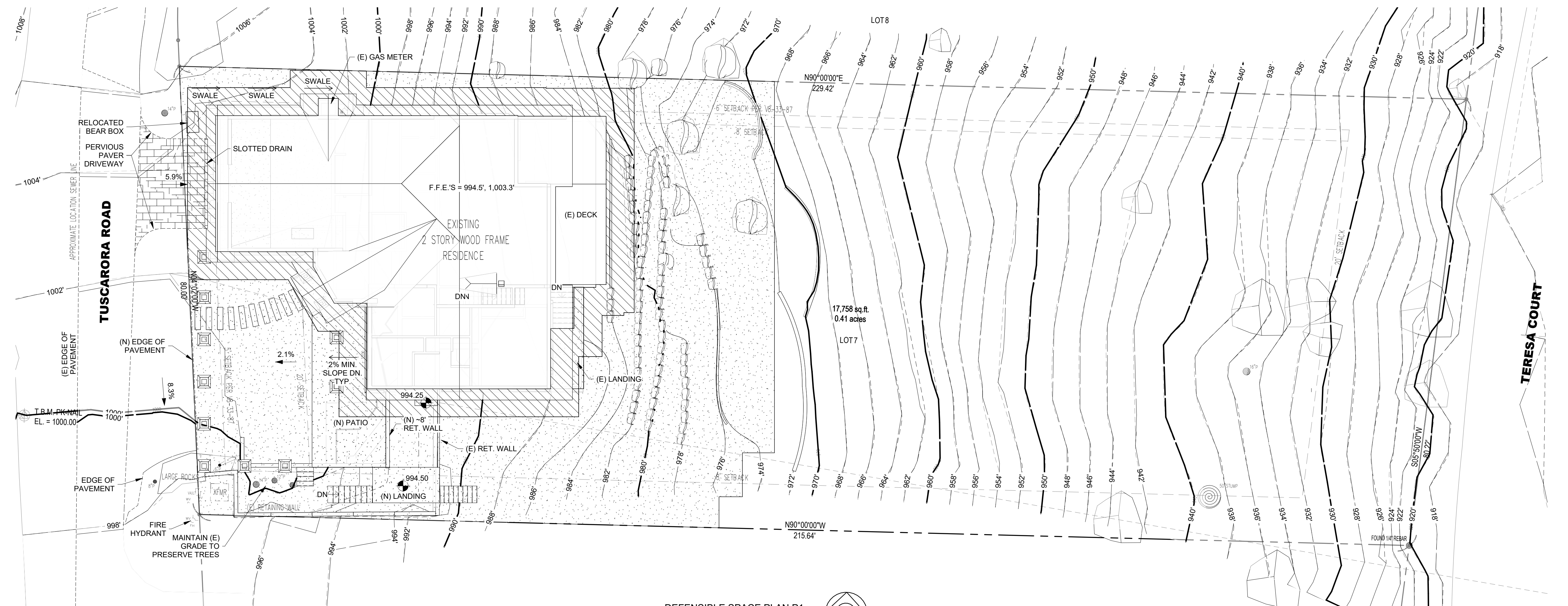
THE WILDLAND FUEL REDUCTION AREA LIES BEYOND THE LEAN, CLEAN AND GREEN AREA AND INTERFACES WITH NATURALLY OCCURRING PLANTS: PINE TREES, MANZANITA SAGEBRUSH, ETC.). WITHIN THIS AREA, REMOVE DEAD VEGETATION, INCLUDING DEAD SHRUBS, DRIED GRASS, FALLEN BRANCHES, THICK ACCUMULATION OF NEEDLES AND LEAVES, ETC. THIN DENSE STAND OF SHRUBS AND TREES TO CREATE A SEPARATION BETWEEN THEM. REMOVING TREES MORE THAN 14" IN DIAMETER REQUIRES A PERMIT FROM TRPA OR YOUR LOCAL FIRE PROFESSIONAL.

- TREE CANOPIES WILL BE SPACED AS LEAST 10' APART. IF TREES ARE GROUPED CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT, THAN ALL OTHER REQUIREMENTS MUST BE MET. REFER TO DETAIL.
- BEYOND 30' FROM THE STRUCTURE, BRUSH FIELDS MUST BE SPACED TO A DISTANCE EQUAL OR GREATER THAN TWO TIMES THE HEIGHT OF THE BRUSH. INDIVIDUAL BRUSH PLANTS WILL NOT EXCEED 100 SQUARE FEET. REFER TO DETAIL.
- PINE NEEDLES ARE ACCEPTABLE WITHIN ZONE 3 AS LONG AS THEY ARE NO THICKER THEN 2 OR 3 INCHES.

N.L.T.F.P.D. NOTE:
ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2018 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (IWUIC) WITH AMENDMENTS IN NLTFPD RESOLUTIONS 18-1 AND 18-2. A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE FOR SAFE SEPARATION BETWEEN STRUCTURES AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO CLOSEOUT. CONTACT AN NLTFPD INSPECTOR AT (775) 833-8107 TO SCHEDULE AN APPOINTMENT.

LEGEND

- CONTOURS
- TREE, SIZE, TYPE
- ZONE 1
- ZONE 2



1 DEFENSIBLE SPACE PLAN P1
1" = 10'-0"

REVISIONS		
#	DATE	BY



- ARCHITECTURE
- ENGINEERING
- INTERIORS
- TRPA

ELISE FETT & ASSOCIATES, LTD.

ARCHITECTURE
ENGINEERING
INTERIORS
TRPA

PHONE: (775) 833-3388
FAX: (775) 833-2388
elise@elisefett.com

P.O. BOX 5989
INCLINE VILLAGE
NEVADA 89450

PRELIMINARY
NOT FOR
CONSTRUCTION

WRIGHT MCKAY REMODEL / ADDITION
490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
CAL-NEVA HIGHLANDS SUB 1 LOT
APN: 123-121-11

SCALE: As indicated
JOB NO: EWJM
PRINT DATE: 11/30/2023
SHEET: 1133.28

SP-4

DEFENSIBLE SPACE PLAN

REVISIONS		
#	DATE	BY



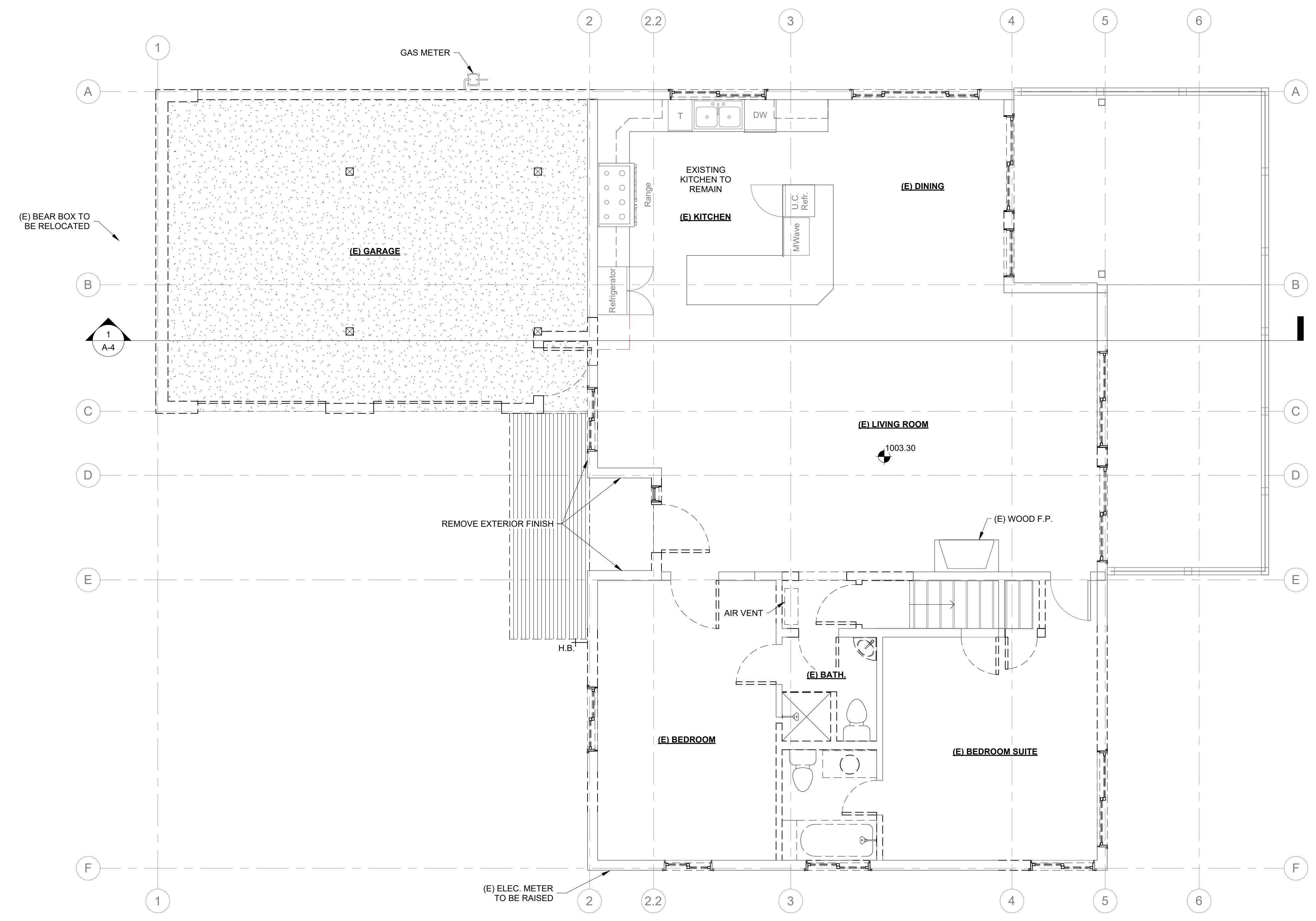
ELISE FETT & ASSOCIATES, LTD.
 AIA - RCE - CATT
 PHONE: (775) 833-3388
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 elise@elisefett.com
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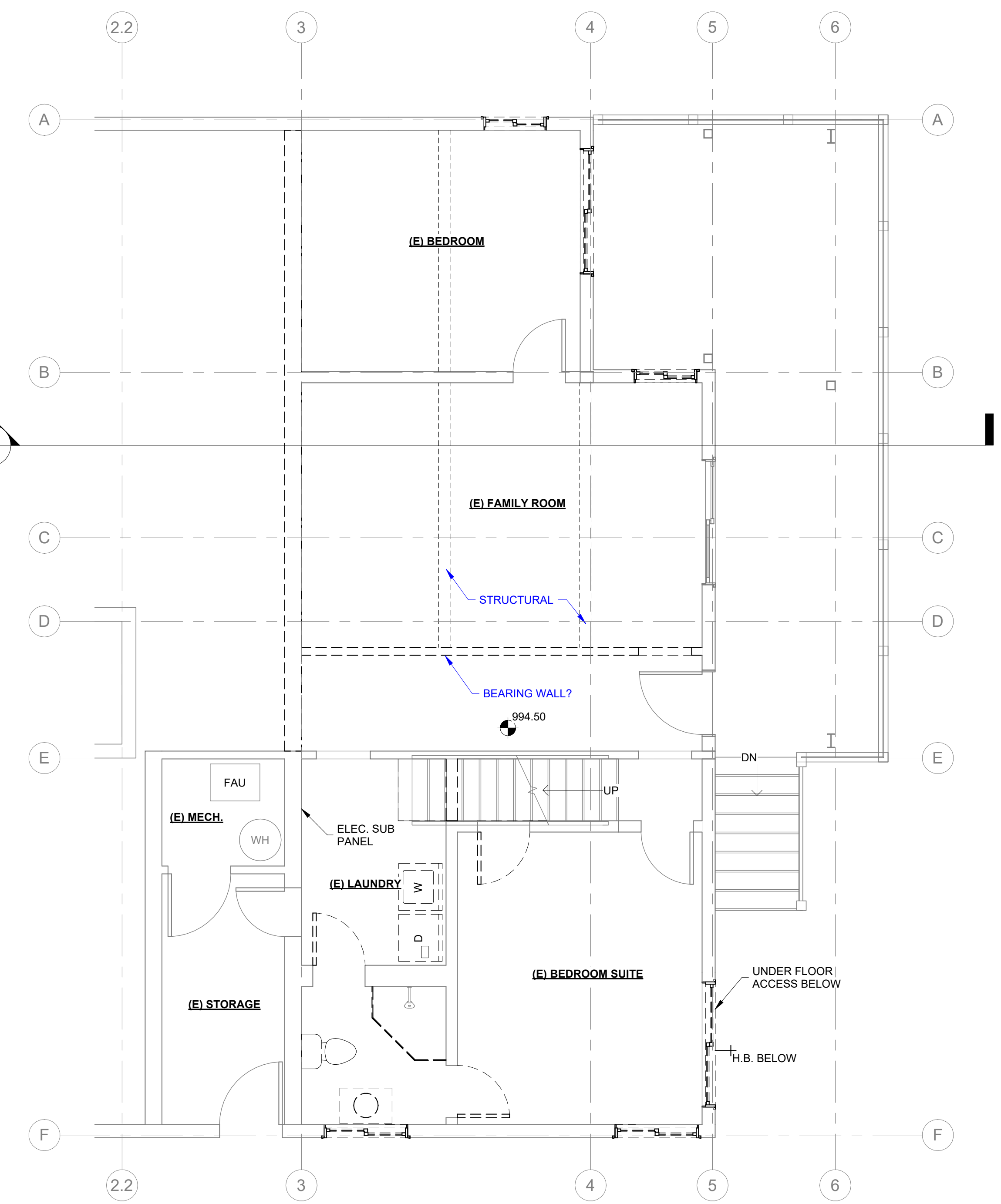
WRIGHT MCKAY REMODEL / ADDITION
 490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
 CAL-NEVA HIGHLANDS SUB 1 LOT 7
 APN: 123-121-11

SCALE: As indicated
 JOB NO: EWJM
 PRINT DATE: 11/30/2023 11:33:30
 SHEET

A-1
 (E) FLOOR / DEMO
 PLANS



(E) / DEMO. SECOND FLOOR PLAN P1
 1/4" = 1'-0"

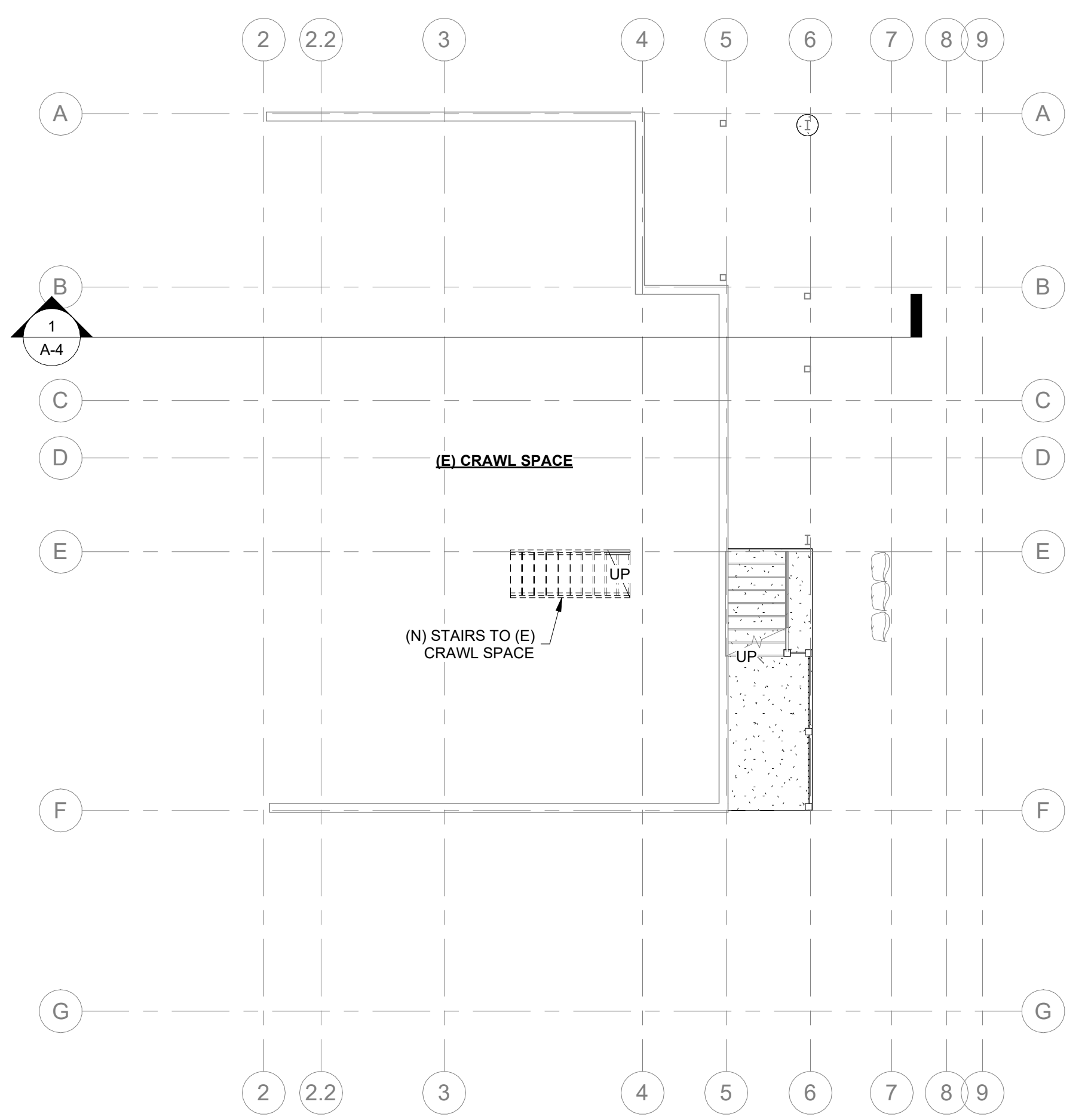


(E) / DEMO. FIRST FLOOR PLAN P1
 1/4" = 1'-0"

WALL LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION), FINISHED FACE OF WALL (INTERIOR OF EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.



CRAWL SPACE P1
 1/8" = 1'-0"



EXISTING KITCHEN TO REMAIN



EXISTING KITCHEN TO REMAIN

NOTE:
 THIS PROJECT IS AN ADDITION/REMODEL OF AN EXISTING STRUCTURE. THE STRUCTURAL DESIGN FOR THIS PROJECT HAS BEEN BASED UPON THE BEST AVAILABLE INFORMATION RELATIVE TO THE AS-BUILT LAYOUT, EXISTING FIELD CONDITIONS, AND PROVIDED (E) PLANS AND INFORMATION. ALL ASSUMED EXISTING INFORMATION SHALL BE VERIFIED BY THE CONTRACTORS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD.

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. C:\Users\elise\Desktop\EFA Projects\REV\EMM\11-17-23 A.rvt

FIRST FLOOR DOOR SCHEDULE P1

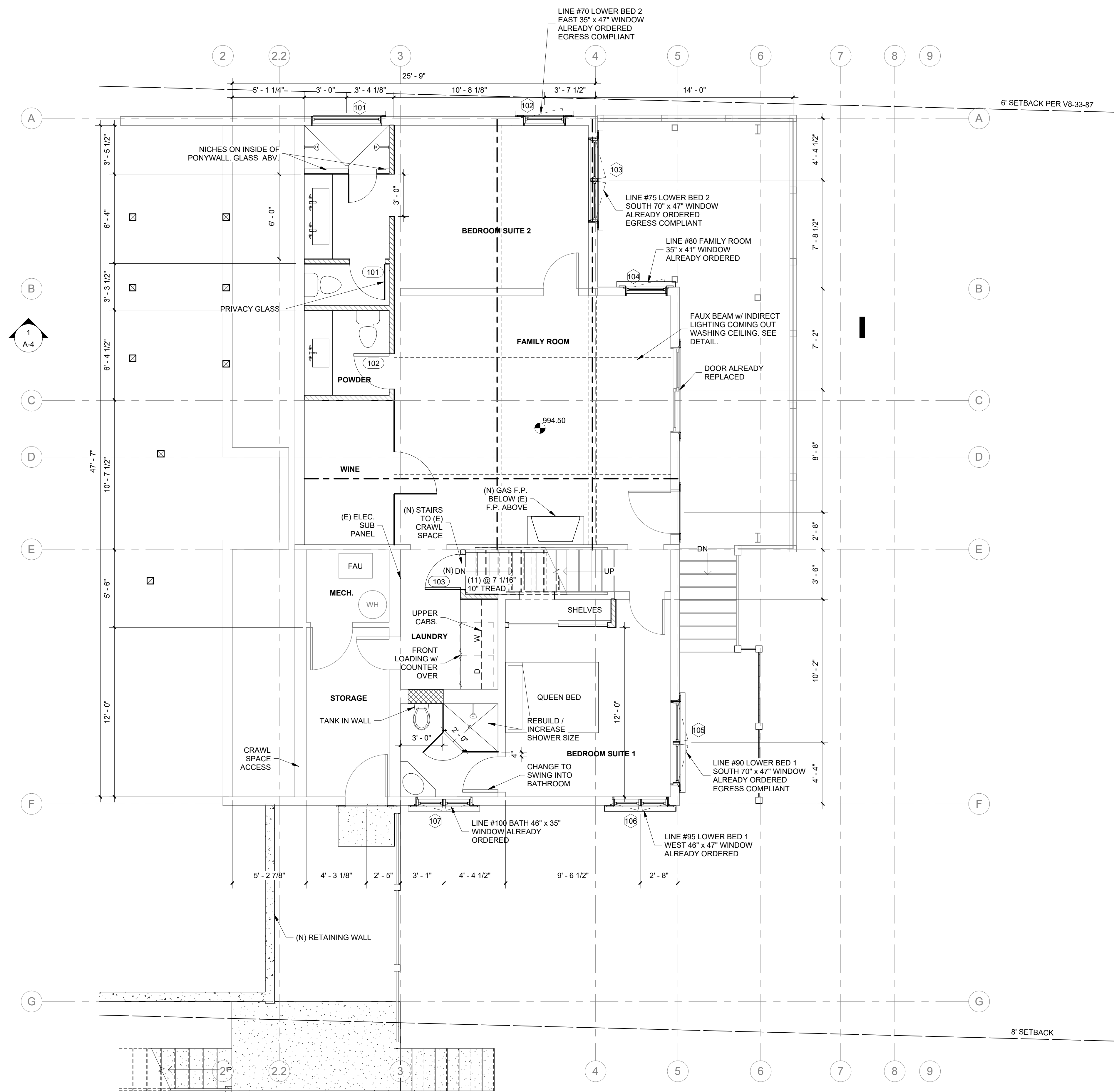
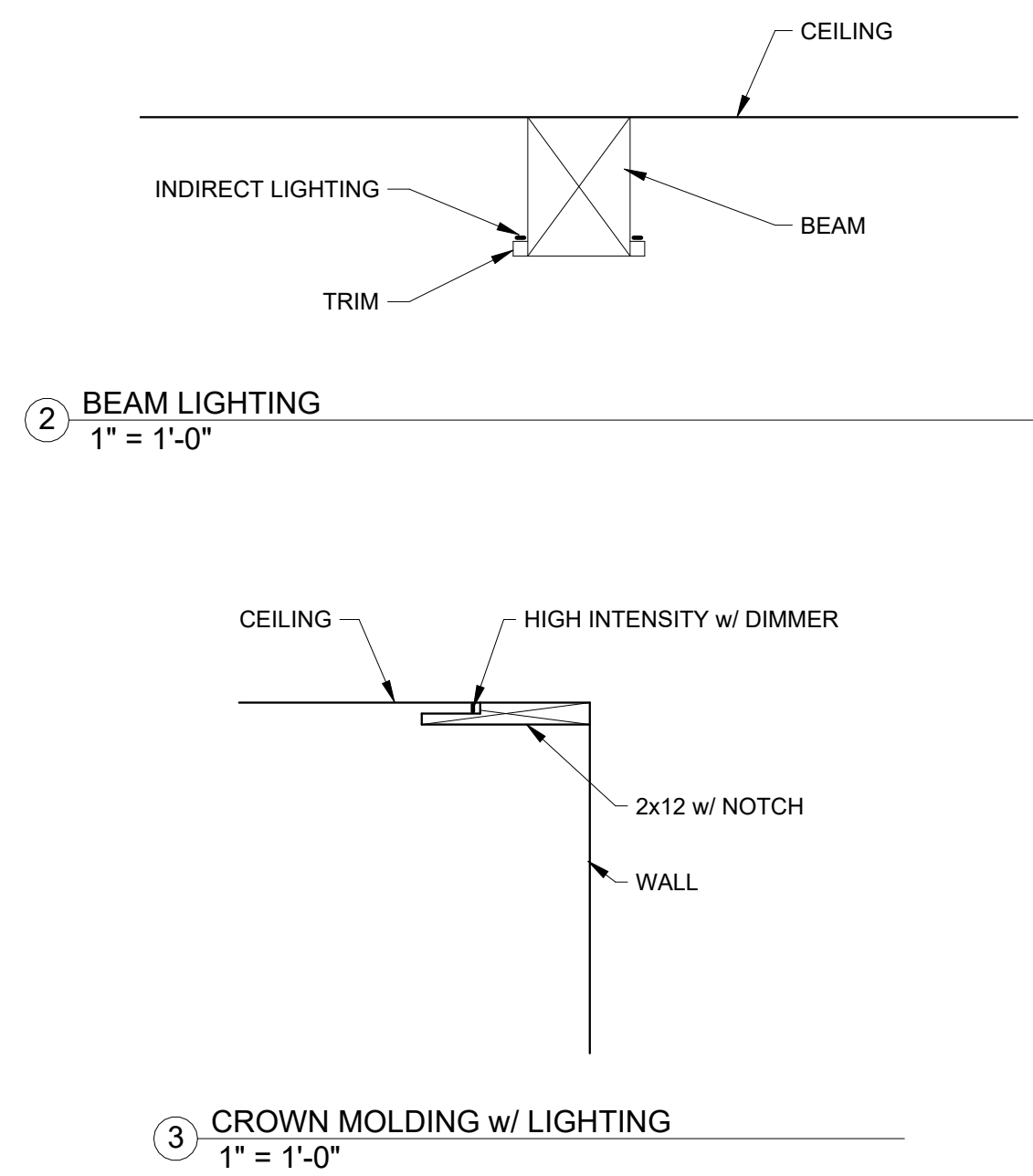
Mark	Family	Width	Height	Comments
101	SINGLE FLUSH	2'-6"	6'-8"	PRIVACY GLASS
102	SINGLE FLUSH	2'-6"	6'-8"	
103	SINGLE FLUSH	2'-6"	6'-8"	

FIRST FLOOR WINDOW SCHEDULE P1

Mark	Family	Width	Height	Head Height	Comments
101	Awning	5'-0"	2'-0"	6'-8"	VINYL, SAFETY GLAZING
102	Casement	2'-11"	3'-11"	6'-8"	ALREADY ORDERED, EGRESS
103	Casement MultiW. 1H	5'-10"	3'-11"	6'-8"	ALREADY ORDERED, EGRESS
104	Casement	2'-11"	3'-5"	6'-8"	ALREADY ORDERED
105	Casement MultiW. 1H	5'-10"	3'-11"	6'-8"	ALREADY ORDERED, EGRESS
106	Casement MultiW. 1H	3'-10"	3'-11"	6'-8"	ALREADY ORDERED
107	Casement MultiW. 1H	3'-10"	2'-11"	6'-8"	ALREADY ORDERED

WINDOW & DOOR NOTES:

- FOR ADDITIONAL WINDOW AND DOOR INFORMATION, PLEASE SEE THE ELEVATIONS.
- ANY WINDOW AND DOOR GRIDS ARE PER THE ELEVATIONS.
- SEE ENERGY REQUIREMENTS SHEET A-XX FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES WITH STRUCTURAL PLANS AND VERIFY ALL OPENINGS IN THE FIELD PRIOR TO ORDER
- ALL GLASS DOORS TO BE SAFETY GLAZED
- SEE WINDOW PACKAGE PREVIOUSLY ORDERED BY OWNER



PROPOSED FIRST FLOOR PLAN P1
1/4" = 1'-0"

FIRST FLOOR SQUARE FOOTAGE

(E) RESIDENCE TO REMAIN	= 842 S.F.
(E) RESIDENCE TO BE REMODELED	= 204 S.F.
(E) CRAWL SPACE TO BE CONVERTED TO RESIDENCE	= 202 S.F.
TOTAL RESIDENCE	= 1,248 S.F.
(E) / TOTAL DECKS / STAIRS	= 320 S.F.

WALL LEGEND

- NEW 2X6 WALLS
- NEW 2X4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION), FINISHED FACE OF WALL (INTERIOR OF EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.

CLIENTS TO ADVISE ON MATERIAL IN GABLES, EXTERIOR LIGHTING, FASCIA DETAILS, ETC.

FINISHES:
LOOK AT FINISHES USED UPSTAIRS.
NOT CUSTOM CABINETS, QUALITY 3 OR 4 OUT OF 5 BEING HIGHEST.
LUXURY VINYL
REAL STONE SLABS FOR BATHROOMS
MOEN & KOHLER PLUMBING

LIGHTING:
3" HALOGEN CANS
GOOD QUALITY LIGHTING
CLIENTS WILL BUY CUSTOM INDIRECT FIXTURES
INDIRECT LIGHT PREFERRED OVER CANS

NOTE:

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REVISIONS

#	DATE	BY



ELISE FETT & ASSOCIATES, LTD.

AIA - RCE - CATT
PHONE: (775) 833-3388
FAX: (775) 833-2388
elise@elisefett.com
P.O. BOX 5989
INCLINE VILLAGE
NEVADA 89450

PRELIMINARY
NOT FOR
CONSTRUCTION

WRIGHT MCKAY REMODEL / ADDITION

490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
CAL-NEVA HIGHLANDS SUB 1 LOT 7
APN: 123-121-11

SCALE: As indicated
JOB NO: EWJM
PRINT DATE: 11/30/2023
11:33:30
SHEET

A-2

PROPOSED FIRST FLOOR PLAN

REVISIONS		
#	DATE	BY



ELISE FETT & ASSOCIATES, LTD.
 AIA - RCE - CATT
 PHONE: (775) 833-3388
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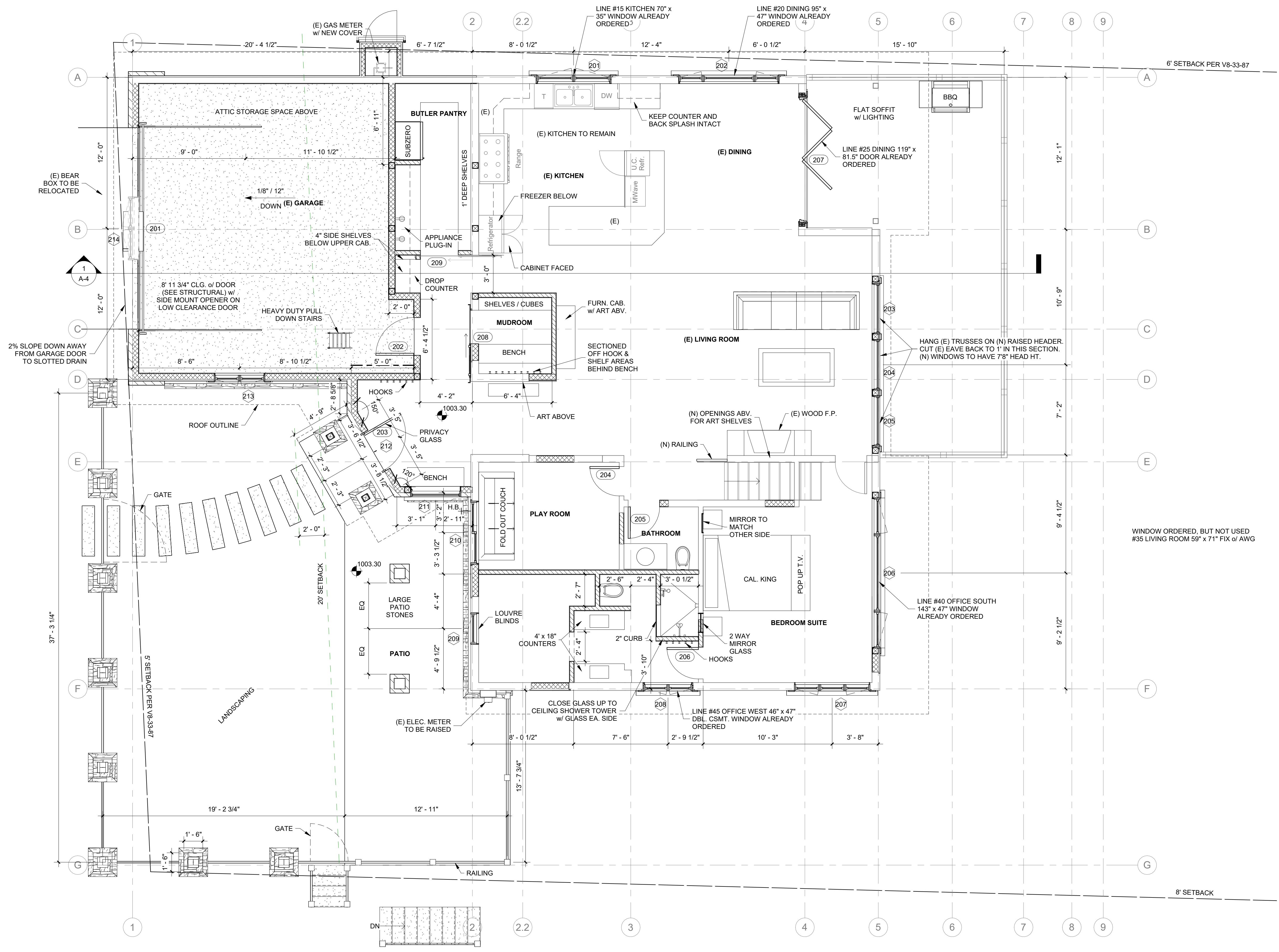
PRELIMINARY
 NOT FOR
 CONSTRUCTION

WRIGHT MCKAY REMODEL / ADDITION
 490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
 CAL-NEVA HIGHLANDS SUB 1 LOT
 APN: 123-121-11

SCALE: 1/4" = 1'-0"
 JOB NO: EWJM
 PRINT DATE: 11/30/2023
 113332
 SHEET

A-3
 PROPOSED
 SECOND FLOOR
 PLAN

AGENDA ITEM NO. V.A.



SECOND FLOOR DOOR SCHEDULE P1

Mark	Family	Width	Height	Comments
201	Overhead-Sectional	16'-0"	8'-0"	
202	SINGLE FLUSH	3'-0"	6'-8"	
203	Door Entry	3'-6"	6'-8"	PRIVACY GLASS
204	SINGLE FLUSH	2'-4"	6'-8"	
205	SINGLE FLUSH	2'-6"	6'-8"	
206	SINGLE FLUSH	2'-6"	6'-8"	
207	Bifold	9'-11"	6'-9 1/2"	ALREADY ORDERED
208	SINGLE SLIDING BARN DOOR	2'-8"	6'-8"	
209	SINGLE SLIDING BARN DOOR	3'-0"	6'-8"	

SECOND FLOOR WINDOW SCHEDULE P1

Mark	Family	Width	Height	Head Height	Comments
201	Casement MultiW 1H	5'-10"	2'-11"	6'-8"	ALREADY ORDERED
202	Casement MultiW 1H	7'-11"	3'-11"	6'-8"	ALREADY ORDERED
203	Fixed	4'-0"	7'-8"	7'-8"	
204	Fixed	4'-0"	7'-8"	7'-8"	
205	Fixed	4'-0"	7'-8"	7'-8"	
206	Casement MultiW 1H	11'-11"	3'-11"	6'-8"	ALREADY ORDERED, EGRESS
207	Casement MultiW 1H	6'-0"	4'-0"	6'-8"	
208	Casement MultiW 1H	3'-10"	3'-11"	6'-8"	ALREADY ORDERED
209	Casement	2'-6"	3'-8"	6'-8"	
210	Sliding 2 Sash	5'-0"	3'-8"	6'-8"	EGRESS
211	Fixed	4'-0"	5'-0"	6'-8"	
212	Fixed Round Top	3'-6"	2'-7"	9'-9"	
213	Casement MultiW 1H	4'-0"	3'-8"	6'-8"	
214	Casement Round Top 2W	5'-0"	4'-0"	5'-0"	

WINDOW & DOOR NOTES:
 • FOR ADDITIONAL WINDOW AND DOOR INFORMATION, PLEASE SEE THE ELEVATIONS.
 • ANY WINDOW AND DOOR GRIDS ARE PER THE ELEVATIONS.
 • SEE ENERGY REQUIREMENTS SHEET A-XX FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
 • CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES WITH STRUCTURAL PLANS AND VERIFY ALL OPENINGS IN THE FIELD PRIOR TO ORDER.
 • ALL GLASS DOORS TO BE SAFETY GLAZED.
 • SEE WINDOW PACKAGE PREVIOUSLY ORDERED BY OWNER

CLIENTS TO ADVISE ON MATERIAL IN GABLES, EXTERIOR LIGHTING, FASCIA DETAILS, ETC.

FINISHES:
 LOOK AT FINISHES USED UPSTAIRS.
 NOT CUSTOM CABINETS. QUALITY 3 OR 4 OUT OF 5 BEING HIGHEST.
 LUXURY VINYL
 REAL STONE SLABS FOR BATHROOMS
 MOEN & KOHLER PLUMBING

LIGHTING:
 3" HALOGEN CANS
 GOOD QUALITY LIGHTING
 CLIENTS WILL BUY CUSTOM INDIRECT FIXTURES
 INDIRECT LIGHT PREFERRED OVER CANS

PROPOSED SECOND FLOOR PLAN P1
 1/4" = 1'-0"

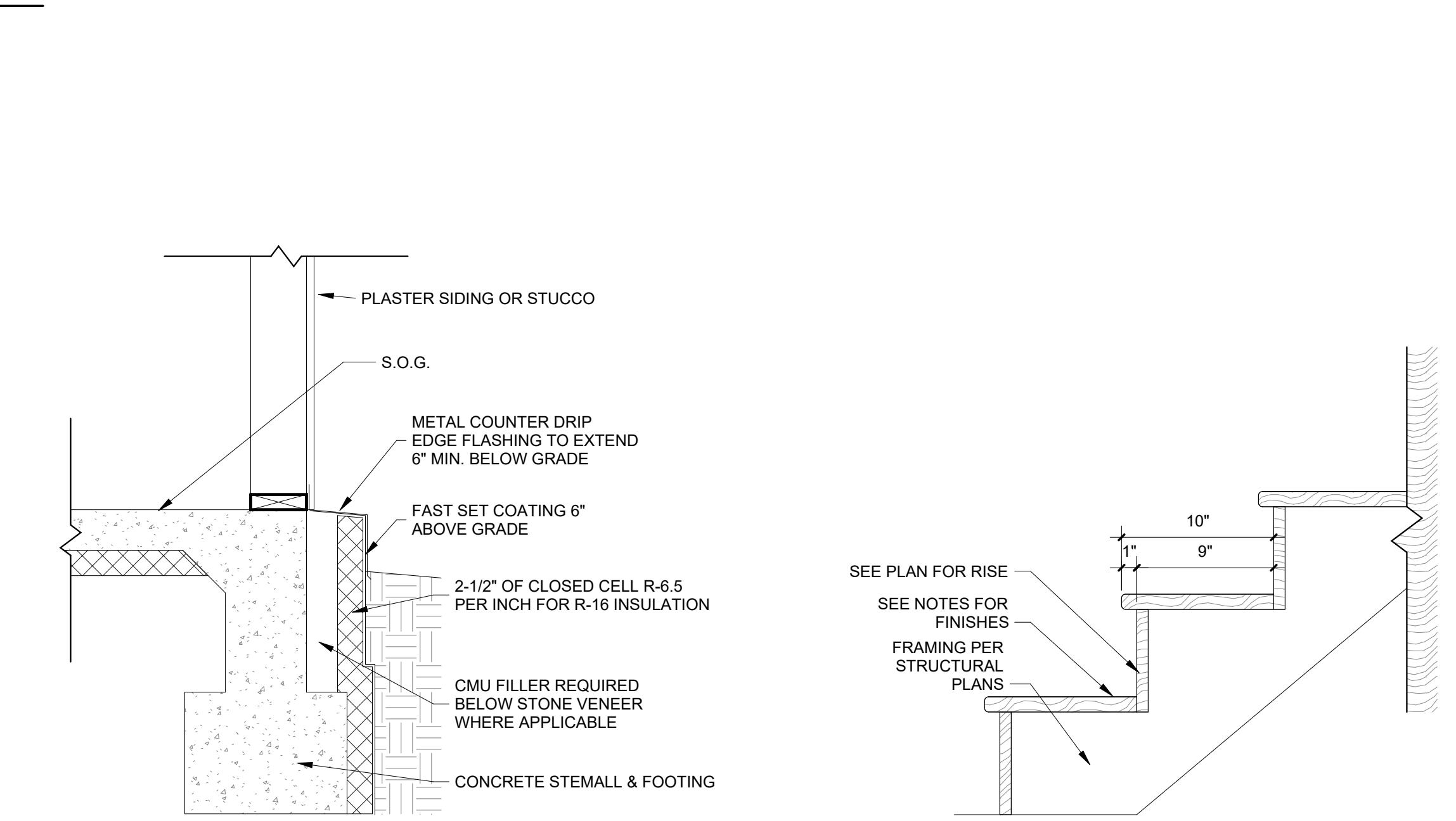
SECOND FLOOR SQUARE FOOTAGE

(E) RESIDENCE TO REMAIN	= 1,219 S.F.
(E) RESIDENCE TO BE REMODELED	= 254 S.F.
(N) RESIDENCE	= 30 S.F.
(E) GARAGE CONVERTED TO RESIDENCE	= 114 S.F.
(E) PATIO CONVERTED TO RESIDENCE	= 103 S.F.
TOTAL RESIDENCE	= 1,720 S.F.
(E) GARAGE TO BE REMODELED	= 412 S.F.
(N) GARAGE	= 88 S.F.
TOTAL GARAGE	= 500 S.F.
(E) / TOTAL DECKS / STAIRS	= 371 S.F.

WALL LEGEND

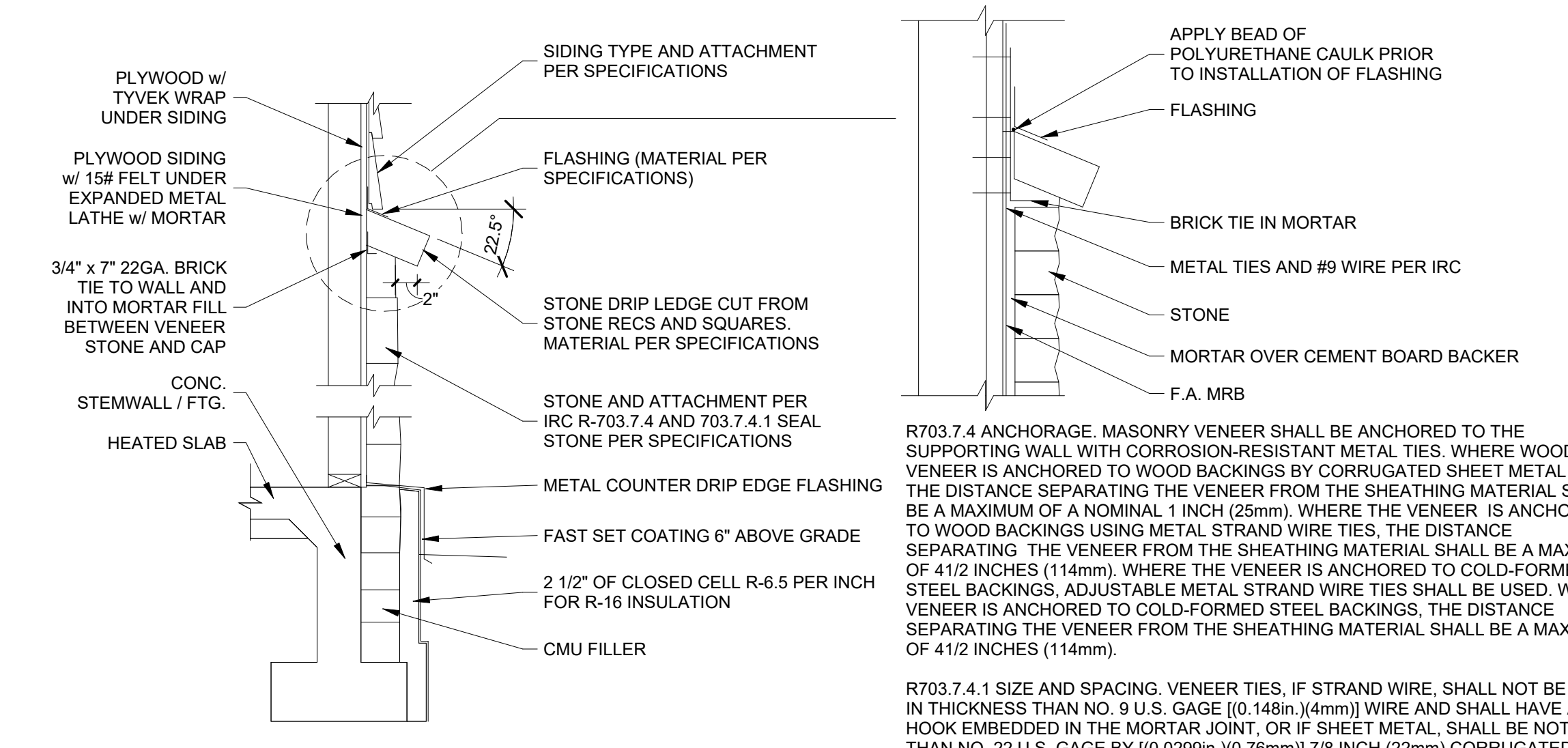
- NEW 2X6 WALLS
- NEW 2X4 WALLS
- EXISTING TO REMAIN
- WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION), FINISHED FACE OF WALL (INTERIOR OF EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.

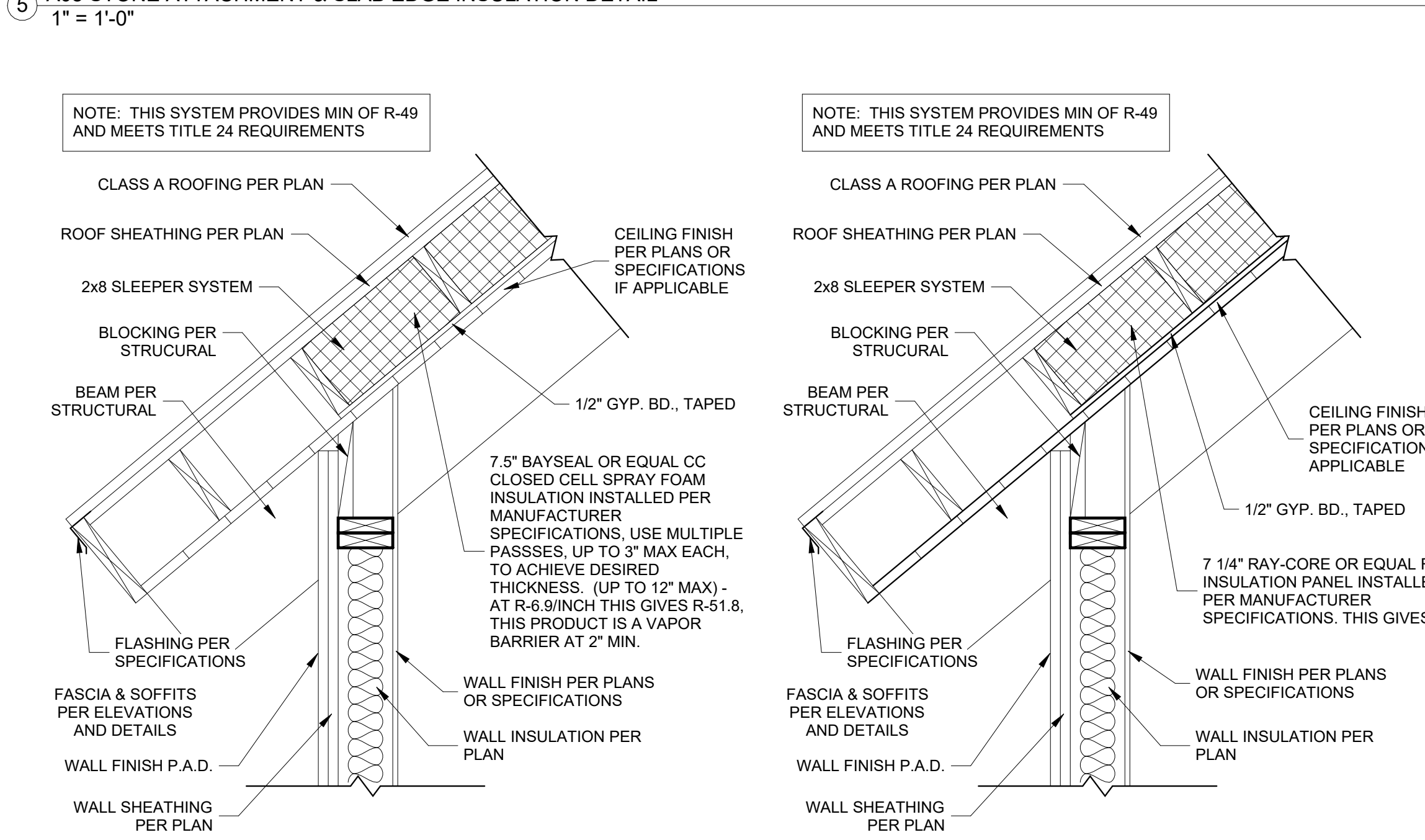


2 A02 SLAB EDGE INSULATION DETAIL
1" = 1'-0"

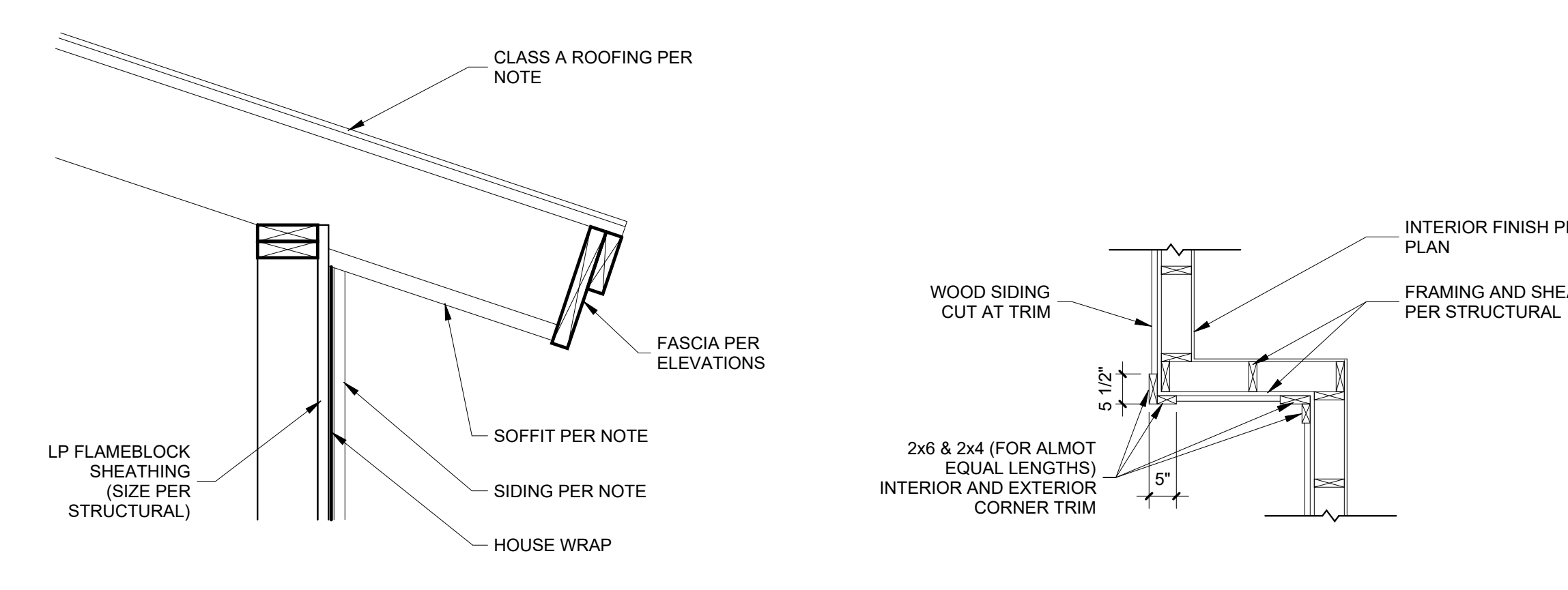
3 A03 STAIR DETAIL
1 1/2" = 1'-0"



5 A08 STONE ATTACHMENT & SLAB EDGE INSULATION DETAIL
1" = 1'-0"

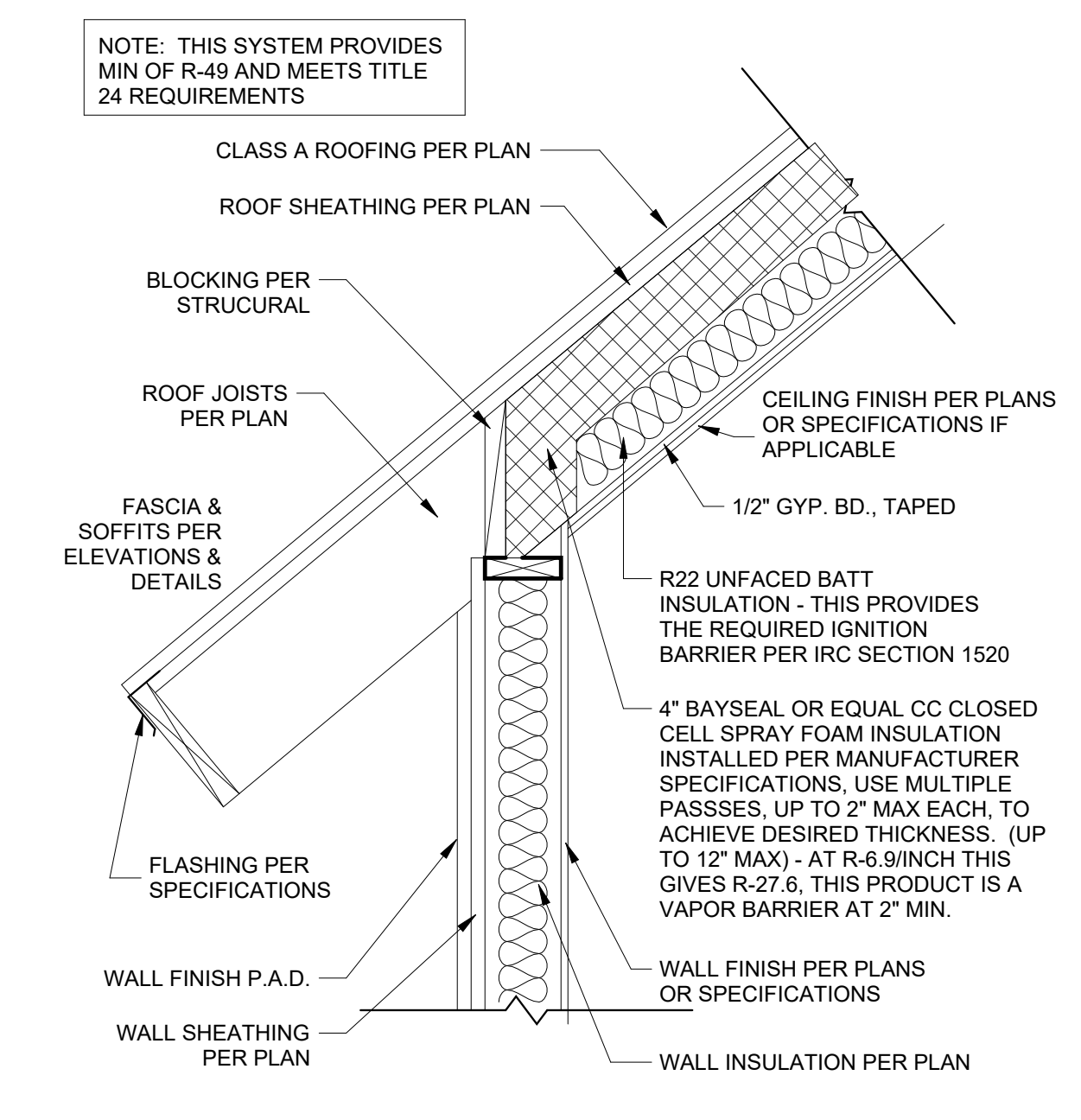


7 A09 UNVENTED ROOF CAVITY w/ SLEEPER SYSTEM & FOAM INSULATION
1" = 1'-0"

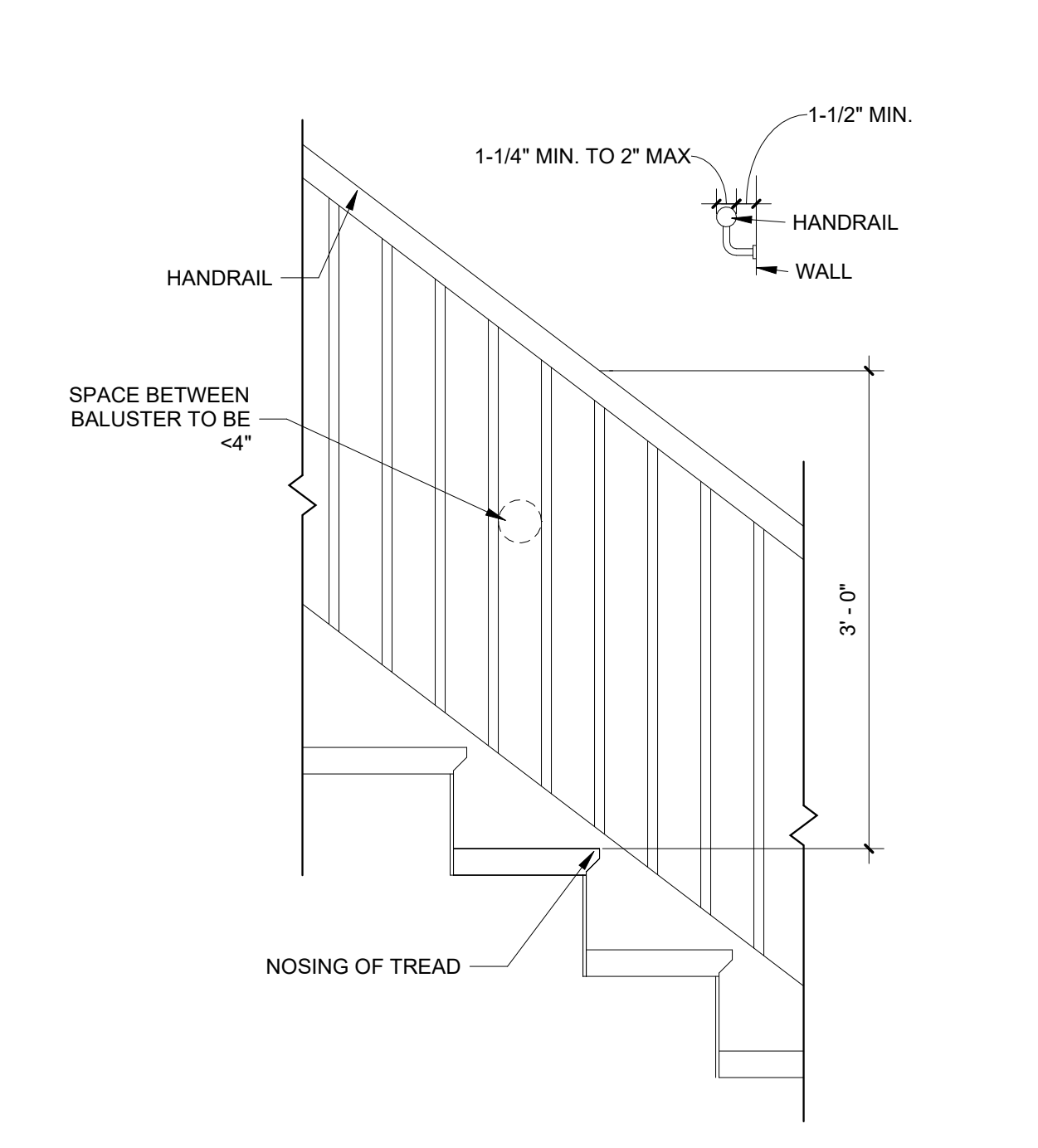


8 A05 WUI SECTION
1" = 1'-0"

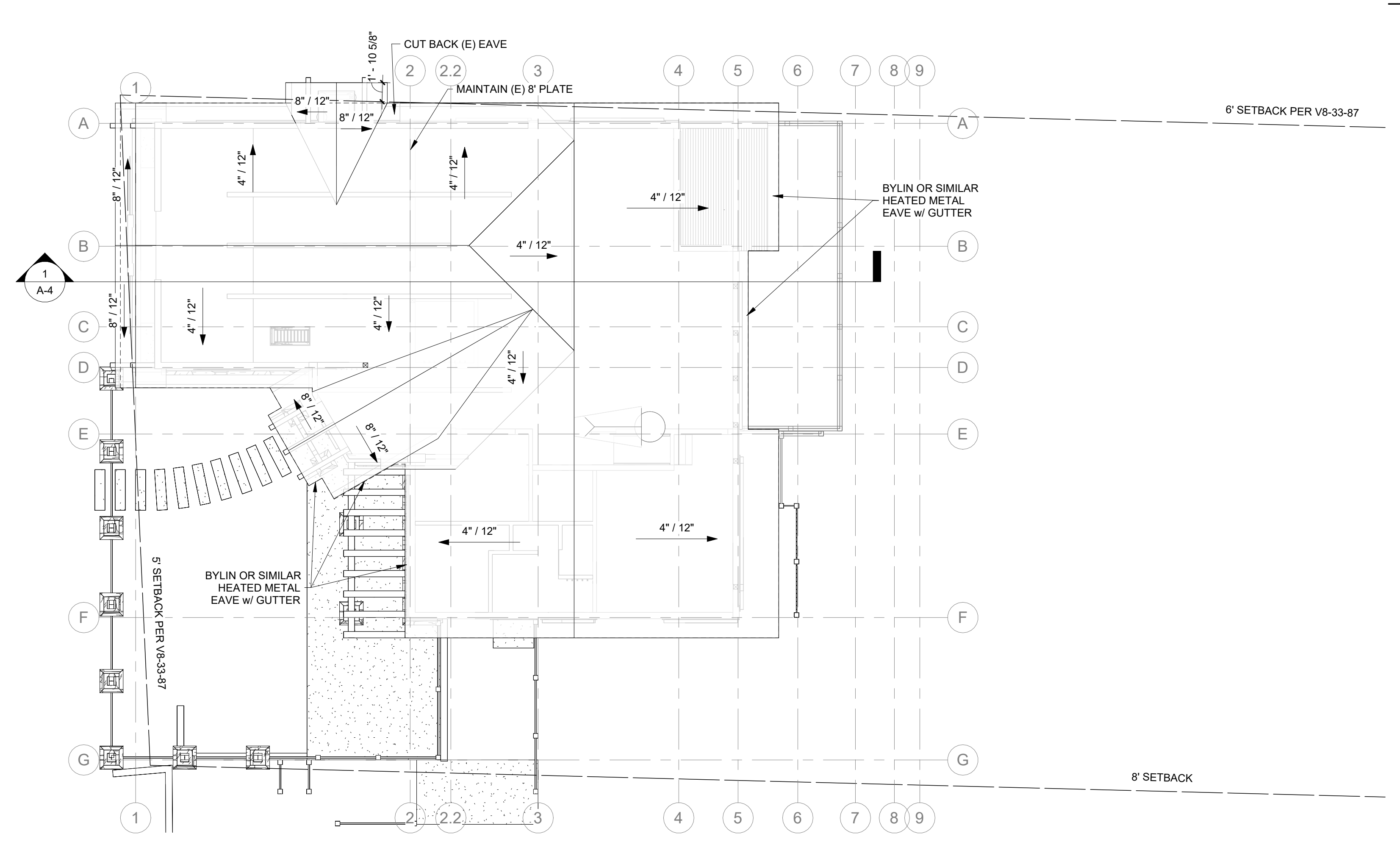
9 A16 CORNER TRIM @ WOOD FINISH
1/2" = 1'-0"



4 A04 UNVENTED ROOF CAVITY WITH FOAM AND BATT INSULATION
1" = 1'-0"



6 A14 STAIR HANDRAIL AND GUARD RAIL DETAIL
1" = 1'-0"



ROOF SLOPE PLAN P1
1/8" = 1'-0"

NOTE: CONTRACTOR TO VERIFY FIELD CONDITIONS (ROOF SLOPE / BEARING POINTS) PRIOR TO ORDERING TRUSSES OR CUTTING RAFTERS.

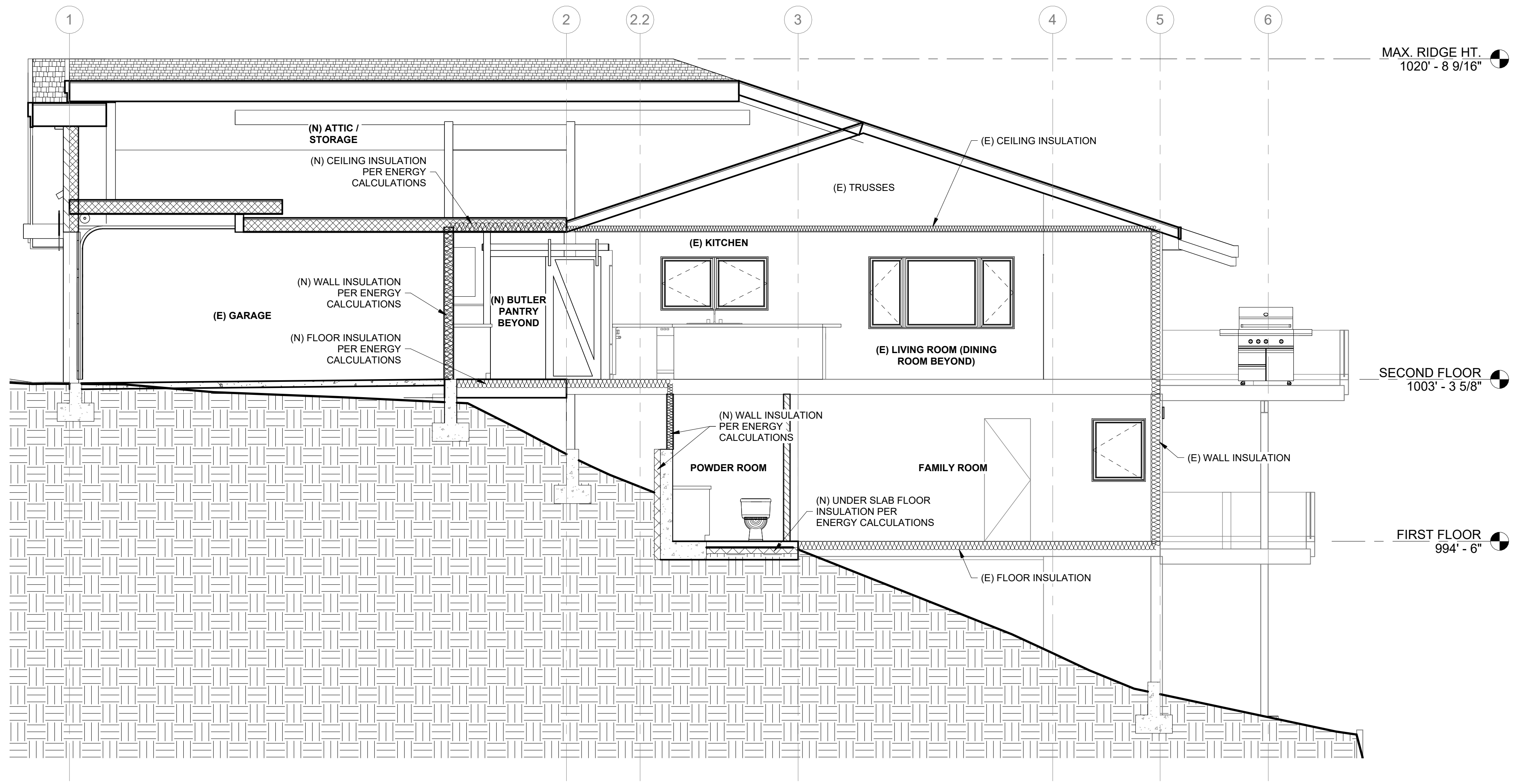
INSULATION/ENERGY REQUIREMENTS
 INSULATION
 -CEILING - R-XXX OR BETTER
 -CHECK OVER CONDITIONED SPACE - R-XXX
 *(WHEN NON-VENTED, R-XXX COMPOSED OF 4" CLOSED CELL INSULATION OVER R-XXX BATT INSULATION. REQUIRES A 10.5" MIN. CAVITY OR 7.5" CLOSED CELL INSULATION WILL ALSO WORK)
 -WALLS - R-XXX OR BETTER
 -FLOOR - R-XXX OR BETTER
 -PERIMETER FOUNDATION @ SLAB - R-XXX (R-XXX FOR HEATED SLABS) OR BETTER, 2 FT. SEE DETAIL.
 -UNDER HEATED SLAB - R-XXX OR BETTER

NOTES:
 -WINDOWS - DOUBLE PANE, LOW E, U FACTOR OF 0.XX OR BETTER
 -EXTERIOR DOORS - U FACTOR OF .XX OR BETTER
 -SKYLIGHTS - U FACTOR OF .XX OR BETTER
 *ENERGY REQUIREMENTS SHALL MEET OR EXCEED THE ENCLOSED ENERGY CALCULATION REQUIREMENTS.

VENTING
 UNDER FLOOR VENTING
 EXISTING UNDERFLOOR VENTING TO REMAIN.
 NEW FIRST FLOORS TO BE SLAB ON GRADE. THEREFORE NO UNDERFLOOR VENTING REQUIRED.
 NEW SECOND FLOOR UNDERFLOOR VENTING: 133 SQ.FT. x 1/1,500 = 0.09XX SQ.FT. OF VENTING REQUIRED.
 CLASS 1 VAPOR RETARDER MATERIAL REQUIRED.
 VENTS TO MEET WUI REQUIREMENTS LISTED ON SHEET A-5.

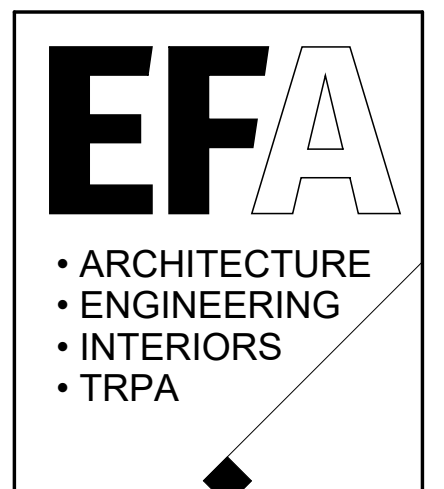
ROOF VENTING
 EXISTING ROOF VENTING TO REMAIN.
 NEW ROOF VENTING: 747 SQ.FT. x 1/150 = 5.0 SQ.FT. OF VENTING REQUIRED.
 VENTS TO MEET WUI REQUIREMENTS LISTED ON SHEET A-5.

NOTE:
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1 BUILDING SECTION
1/4" = 1'-0"

REVISIONS		
#	DATE	BY



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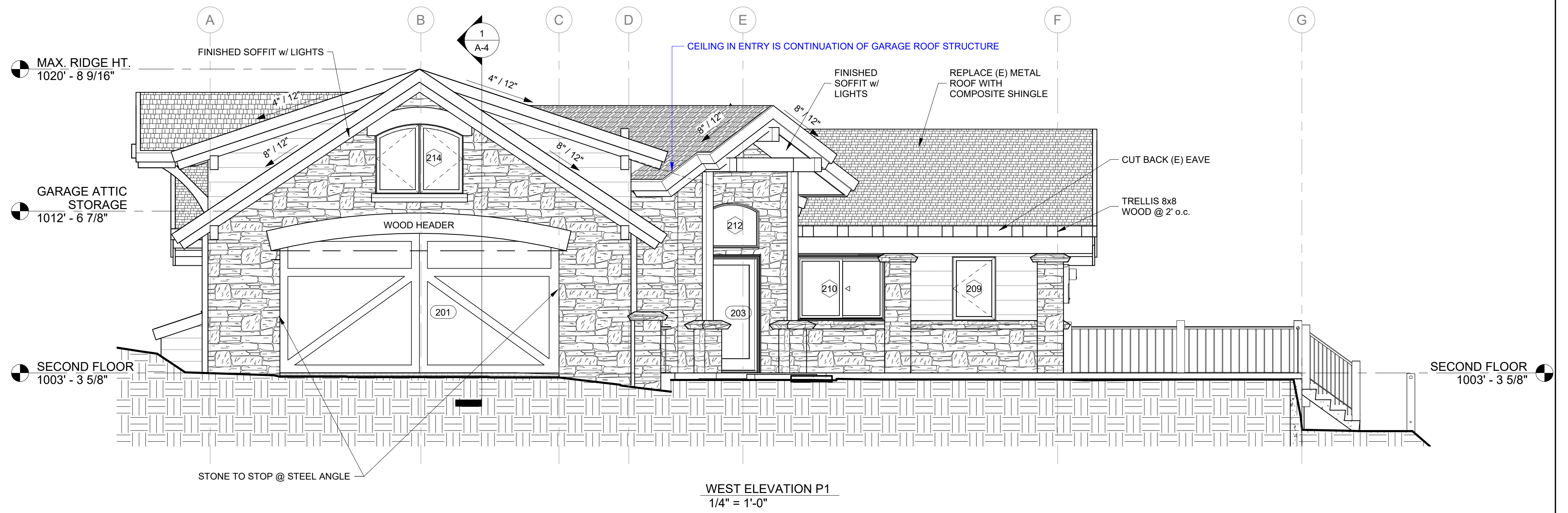
WRIGHT MCKAY REMODEL / ADDITION
 490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
 CAL-NEVA HIGHLANDS SUB 1 LOT 7
 APN: 123-121-11

SCALE: As indicated
 JOB NO: EWJM
 PRINT DATE: 11/30/2023
 113354
 SHEET

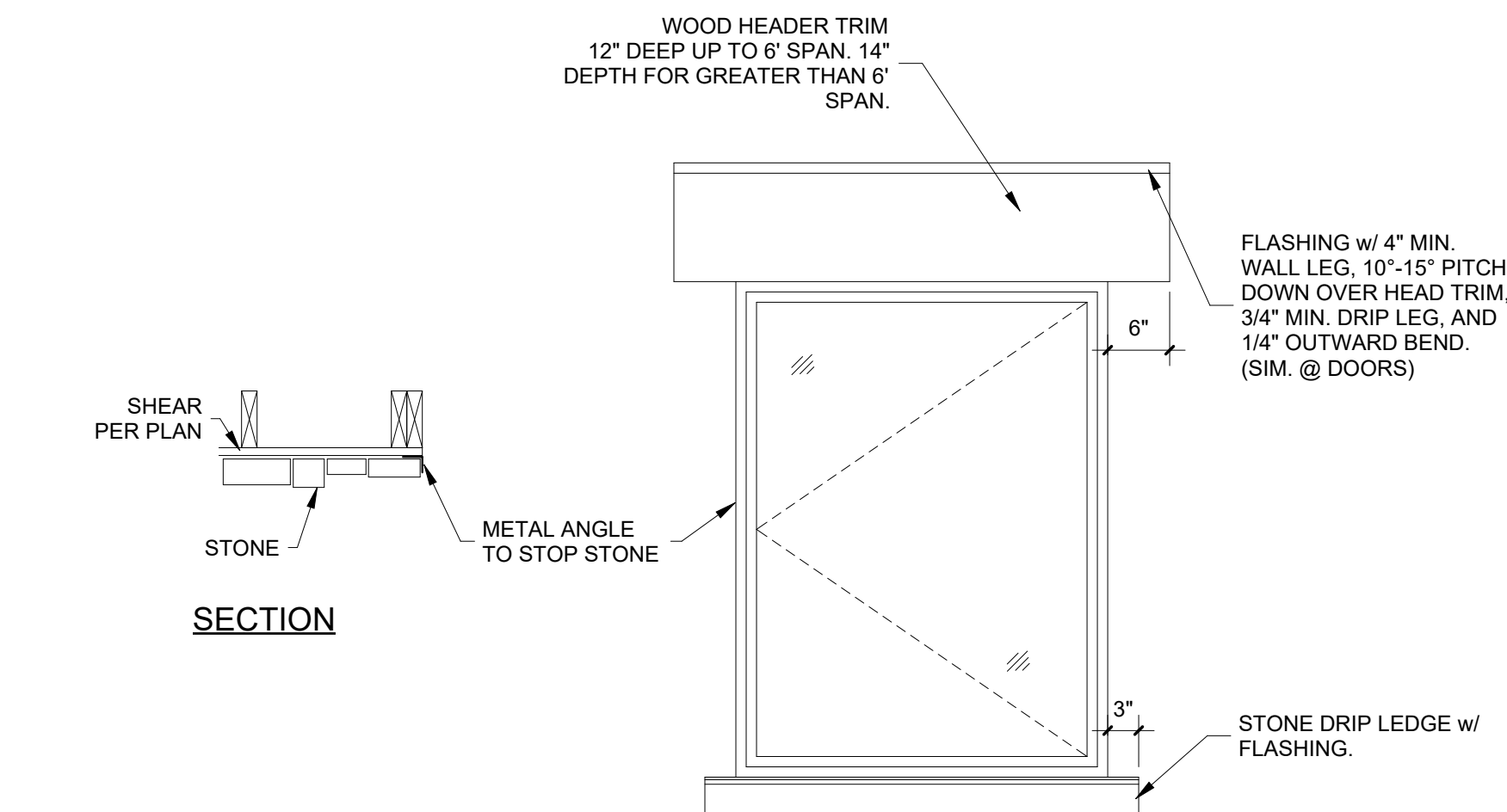
A-4
 PROPOSED ROOF
 SLOPE PLAN,
 SECTION, ARCH.
 DETAILS



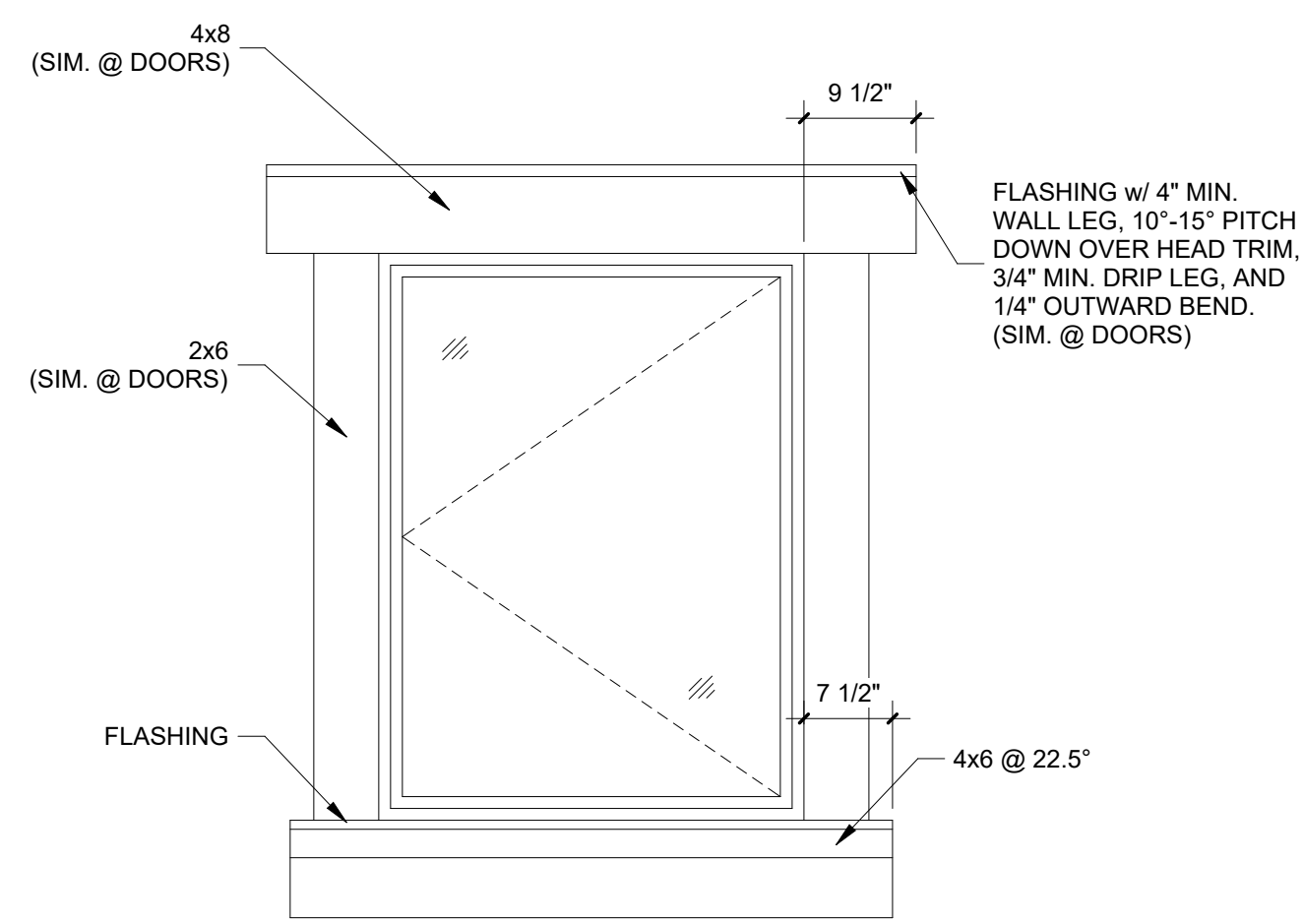
ENTRY ELEVATION
1/4" = 1'-0"



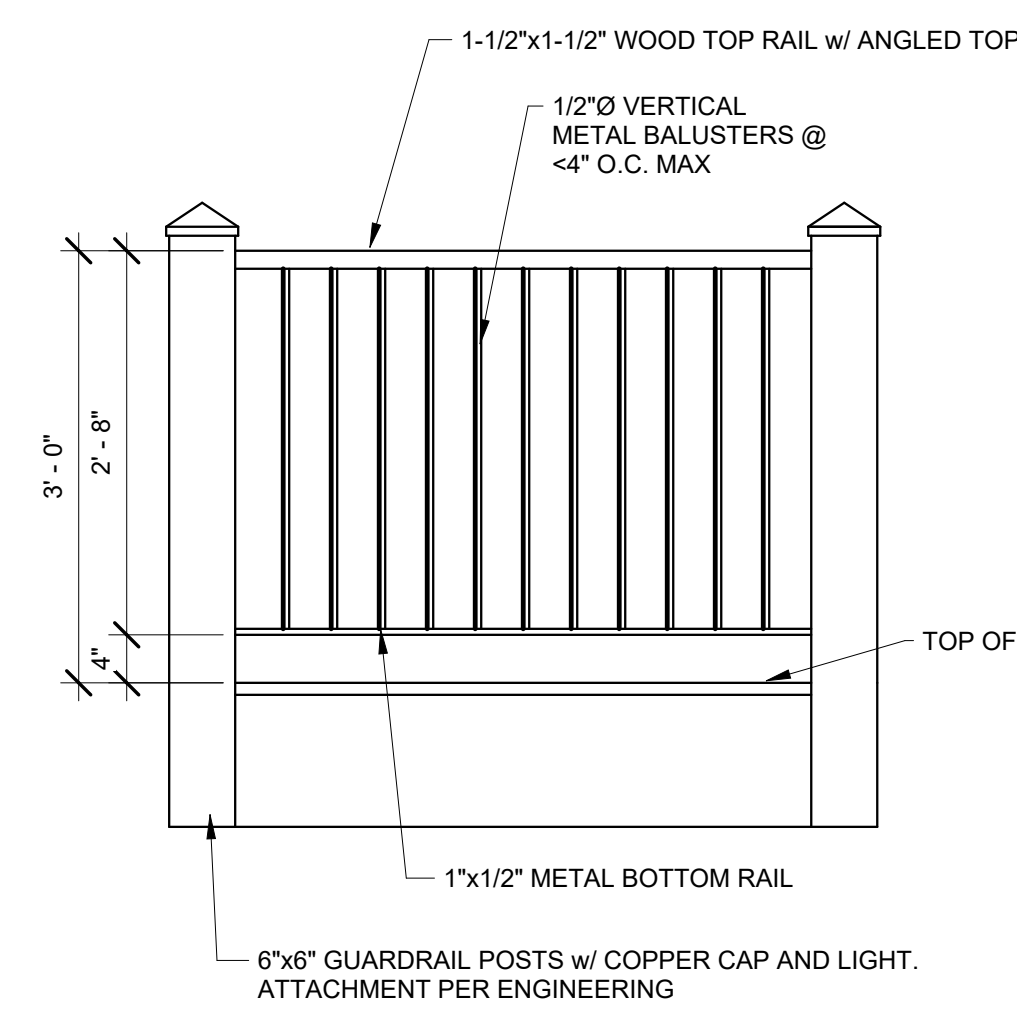
WEST ELEVATION P1
1/4" = 1'-0"



1 A13 DOOR AND WINDOW TRIM @ STONE FINISH
3/4" = 1'-0"



2 A07 DOOR & WINDOW TRIM @ WOOD FINISH
3/4" = 1'-0"



3 A01E DECK RAILING DETAIL - VERTICAL INFILL
3/4" = 1'-0"

TRPA NOTES

COLOR: THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBTLED COLORS IN EARTH TONE AND WOOD TONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST WITH THE EXISTING VEGETATION AND EARTH HUES. EARTH TONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.

ROOFS: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTH TONE OR WOOD TONE MATERIALS THAT MINIMIZE REFLECTIVITY.

FENCES: WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCE MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.

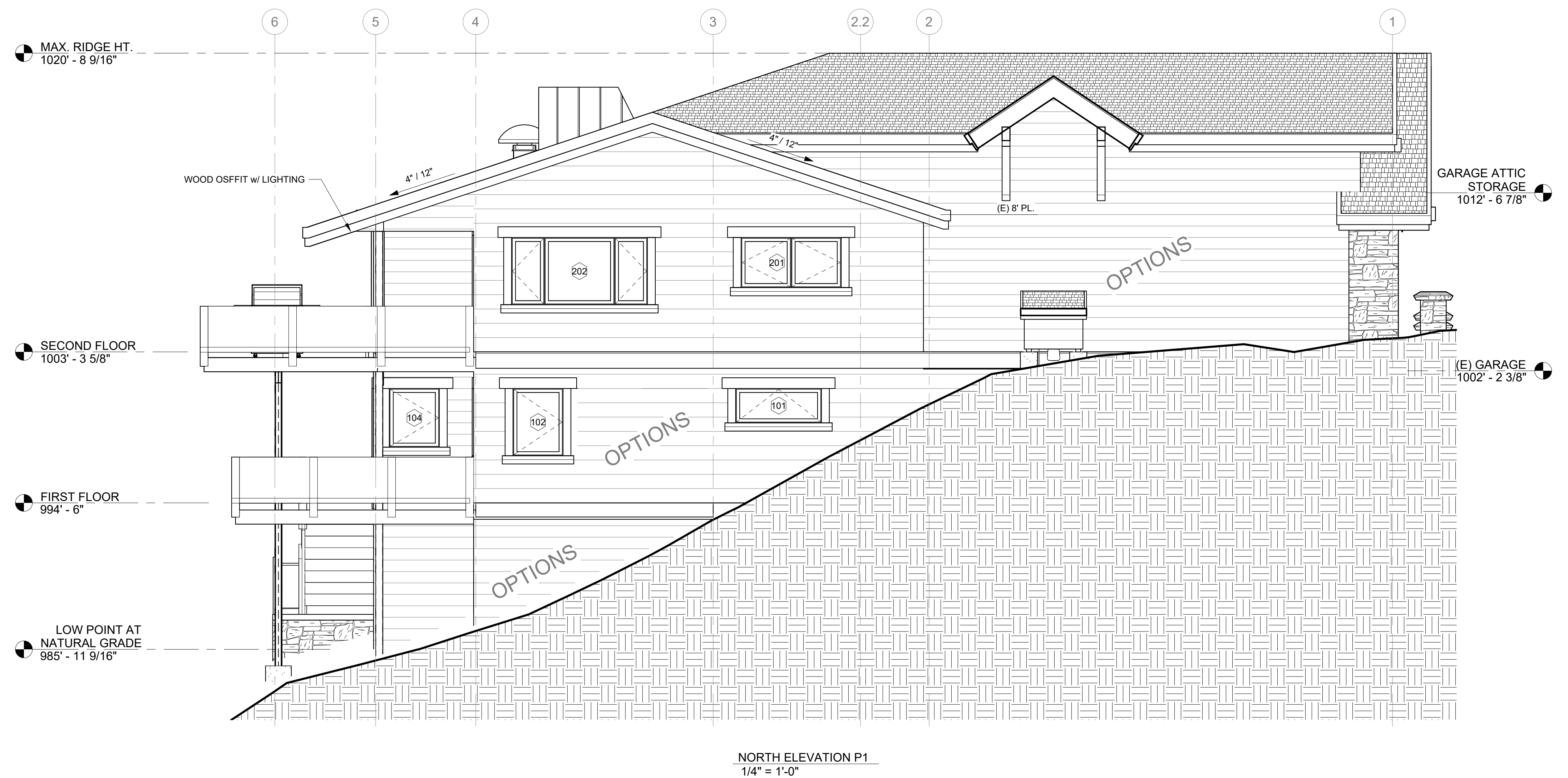
LIGHTING: ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES CHAPTER 36, SECTION 36.8, EXTERIOR LIGHTING STANDARDS AND TRPA DESIGN REVIEW GUIDELINES.

EXTERIOR FINISHES / W.U.I. NOTES

- ROOF: NEW COMPOSITION SHINGLE CLASS "A" ASSEMBLY
- EAVES (SOFFIT) FASCIA: APPROVED 1-HOUR FIRE RESISTANT CONSTRUCTION, IGNITION RESISTANT MATERIAL, 2x LUMBER OR FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE. NO EXPOSED TAILS UNLESS HEAVY TIMBER. 3/4" MINIMUM SOLID MATERIAL.
- VENTS: <144 SQUARE INCHES, <1/4" NON-COMBUSTIBLE CORROSION-RESISTANT MESH, VULCAN, BRANDGUARD, OR SIMILAR APPROVED VENTS
- EXTERIOR WALLS: 10" HORIZONTAL LAP SIDING. IF NEW SIDING AND EXISTING EXTERIOR WALL COMPOSITION MEETS A 1 HOUR RATING, LP FLAMEBLOCK OR SIMILAR IS NOT REQUIRED AT EXISTING EXTERIOR WALL. LP FLAMEBLOCK SHEATHING OR SIMILAR UNDER 10" HORIZONTAL LAP SIDING AT NEW EXTERIOR WALLS TO MEET 1 HOUR RATING.
- STONE AS SHOWN ON ELEVATIONS
- WINDOWS: DOUBLE PANE w/ AT LEAST ONE PANE TEMPERED (MIN)
- EXTERIOR DOORS (EXCLUDING VEHICLE ACCESS DOORS): APPROVED NON-COMBUSTIBLE CONSTRUCTION, SOLID CORE (1-3/4" MIN), MINIMUM 20 MINUTE RATING
- DECKING: UNSOFFITED: HEAVY TIMBER WITH FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE. SOFFITED: PROVIDE 3/4" MINIMUM SOLID MATERIAL. SUPPORT COLS - 6x6 MIN. PER WUI (SIZED PER STRUCTURAL) SUPPORT BEAMS: 6x8 OR 4x10 MIN. PER WUI (SIZED PER STRUCTURAL) DECK JOISTS: 4x8 MIN. IF NOT SOFFITED PER WUI (SIZED PER STRUCTURAL) LEDGERS: 3x MIN. PER WUI (SIZED PER STRUCTURAL)
- GUTTERS & DOWNSPOUTS: GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL. GUTTERS SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

OPTIONAL BIDS FOR:

1. STONE SIDING ON NORTH SIDE OF GARAGE & ALL OF 1ST FLOOR WITH PLASTER ON ALL OF CRAWLSPACE LEVEL
2. PLASTER ON NORTH SIDE OF GARAGE, ALL OF 1ST FLOOR, AND ALL OF CRAWLSPACE LEVEL



NORTH ELEVATION P1
1/4" = 1'-0"

REVISIONS		
#	DATE	BY



• ARCHITECTURE
• ENGINEERING
• INTERIORS
• TRPA

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NEVADA 89450

PRELIMINARY
NOT FOR
CONSTRUCTION

WRIGHT MCKAY REMODEL / ADDITION

490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
CAL-NEVA HIGHLANDS SUB 1 LOT
APN: 123-121-11

SCALE: As indicated

JOB NO: EWJM

PRINT DATE: 11/30/2023

113337

SHEET

A-5

WEST & NORTH
ELEVATIONS

AGENDA ITEM NO. V.A.

NOTE:
THIS PROJECT IS AN ADDITION/REMODEL OF AN EXISTING STRUCTURE. THE STRUCTURAL DESIGN FOR THIS PROJECT HAS BEEN BASED UPON THE BEST AVAILABLE INFORMATION RELATIVE TO THE AS-BUILT LAYOUT, EXISTING FIELD CONDITIONS, AND PROVIDED (E) PLANS AND INFORMATION. ALL ASSUMED EXISTING INFORMATION SHALL BE VERIFIED BY THE CONTRACTORS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER OF RECORD.

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. PROJECTS/ELISE/DESKTOP/EFA PROJECTS/REVISION/MEM/11-17-23.AUT

REVISIONS		
#	DATE	BY



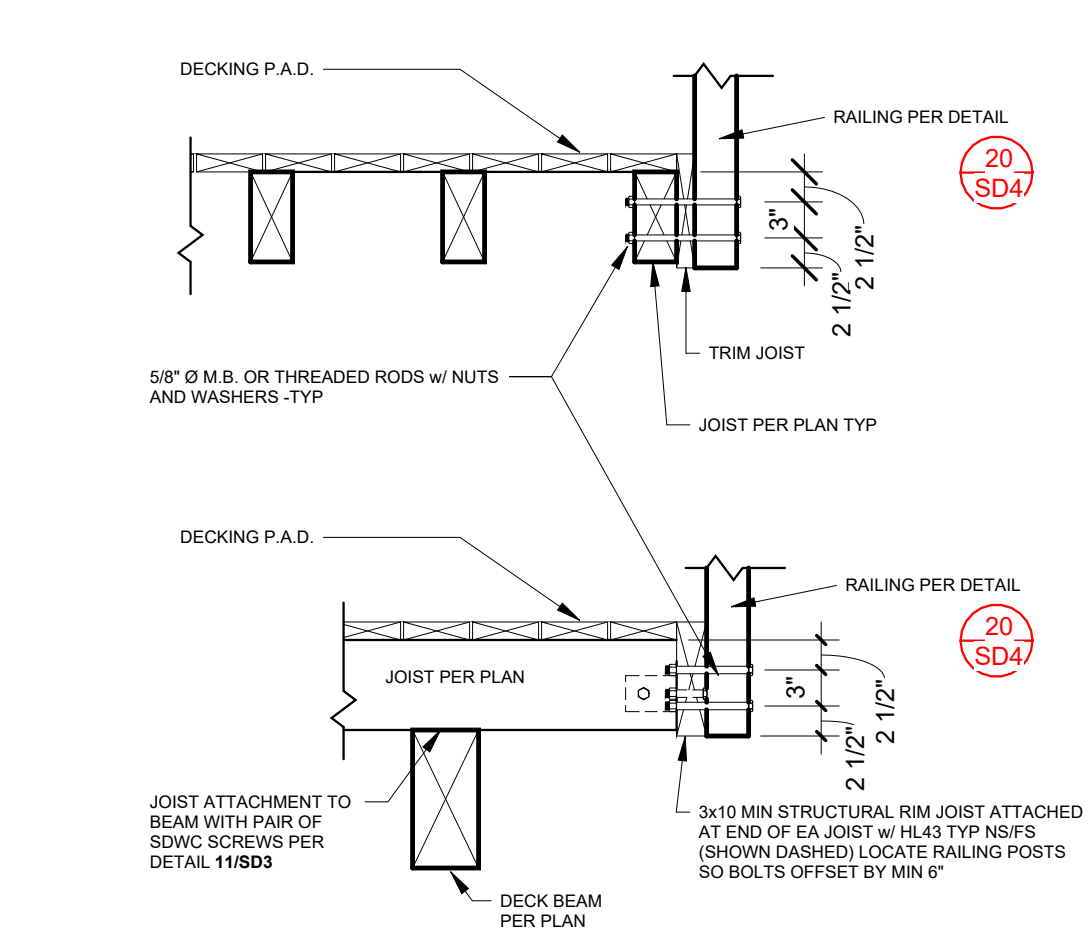
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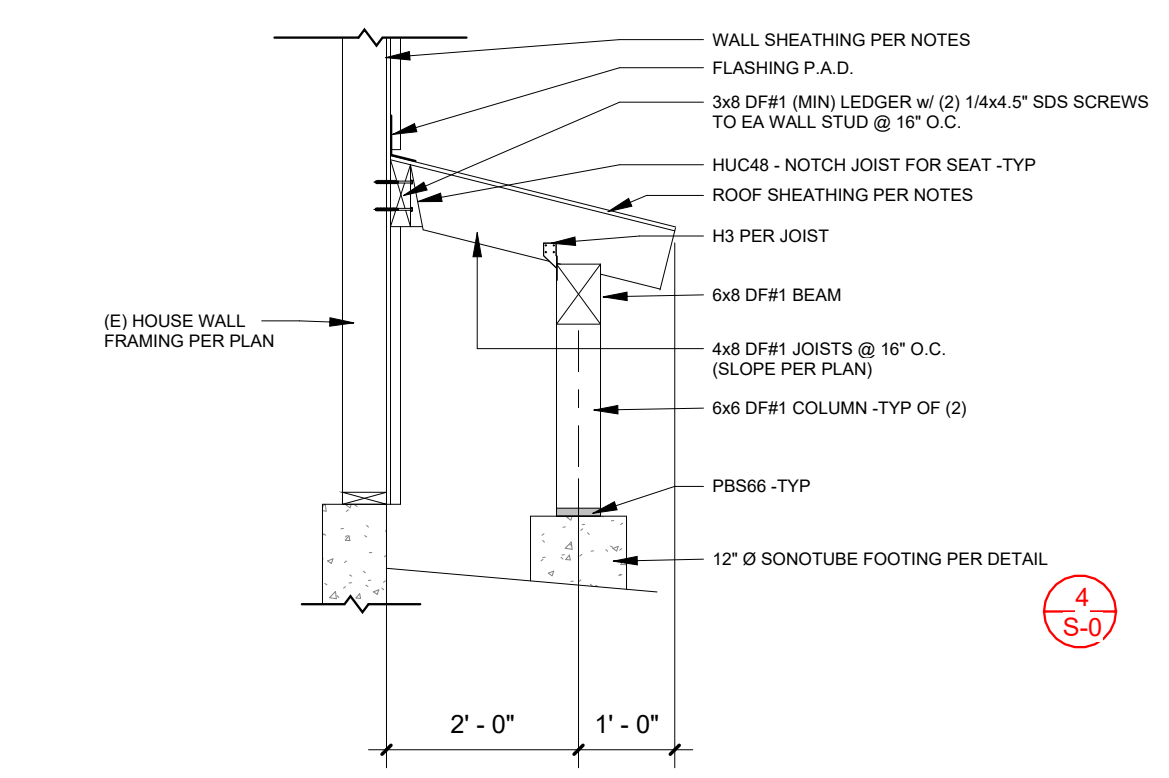
WRIGHT MCKAY REMODEL / ADDITION
 490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
 CAL-NEVA HIGHLANDS SUB 1 LOT
 APN: 123-121-11

SCALE: As indicated
 JOB NO: EWJM
 PRINT DATE: 11/30/2023
 SHEET: 1133.39

A-6
 EAST & SOUTH
 ELEVATIONS



3 DECK RAILING ATTACHMENT DETAIL w/ PAIR DTT2Z
 3/4" = 1'-0"



4 A20 GAS METER SHED DETAIL
 1/2" = 1'-0"

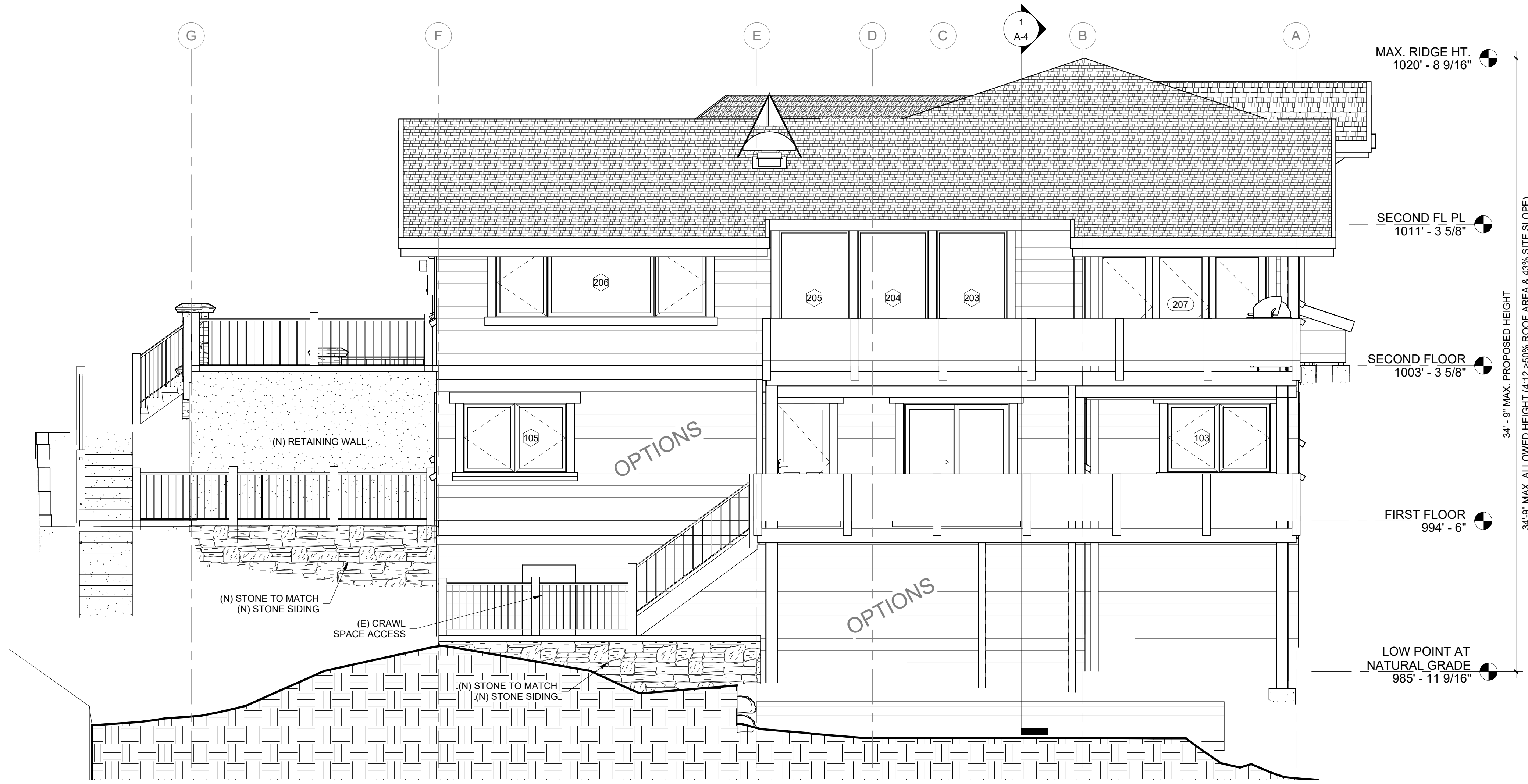
TRPA NOTES

COLOR: THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBTLED COLORS IN EARTH TONE AND WOOD TONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST WITH THE EXISTING VEGETATION AND EARTH HUES. EARTH TONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.

ROOFS: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTH TONE OR WOOD TONE MATERIALS THAT MINIMIZE REFLECTIVITY.

FENCES: WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCE MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POSTS.

LIGHTING: ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES CHAPTER 36, SECTION 36.8, EXTERIOR LIGHTING STANDARDS AND TRPA DESIGN REVIEW GUIDELINES.



EAST ELEVATION P1
 1/4" = 1'-0"

ALLOWABLE BUILDING HEIGHT CALCULATIONS

HOUSE SITE SLOPE	43%
>50% OF ROOF PITCH	4:12
MAX. ALLOWABLE BUILDING HEIGHT	34'-9"
MAX. PROPOSED HEIGHT	34'-9"

REFER TO ROOF PLAN FOR ROOF AREA CALCULATIONS

OPTIONAL BIDS FOR:
 1. STONE SIDING ON NORTH SIDE OF GARAGE & ALL OF 1ST FLOOR WITH PLASTER ON ALL OF CRAWLSPACE LEVEL
 2. PLASTER ON NORTH SIDE OF GARAGE, ALL OF 1ST FLOOR, AND ALL OF CRAWLSPACE LEVEL

EXTERIOR FINISHES / W.U.I. NOTES

- ROOF: NEW COMPOSITION SHINGLE CLASS "A" ASSEMBLY
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- WINDOWS: DOUBLE PANE w/ AT LEAST ONE PANE TEMPERED (MIN)
- EXTERIOR DOORS (EXCLUDING VEHICLE ACCESS DOORS): APPROVED NON-COMBUSTIBLE CONSTRUCTION, SOLID CORE (1-3/4" MIN), MINIMUM 20 MINUTE RATING.
- DECKING: UNSOFFITED: HEAVY TIMBER WITH FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE. SOFFITED: PROVIDE 3/4" MINIMUM SOLID MATERIAL. SUPPORT COLS: 6x8 MIN. PER WUI (SIZED PER STRUCTURAL). SUPPORT BEAMS: 6x8 OR 4x10 MIN. PER WUI (SIZED PER STRUCTURAL). DECK JOISTS: 4x8 MIN. IF NOT SOFFITED PER WUI (SIZED PER STRUCTURAL). LEDGERS: 3x MIN. PER WUI (SIZED PER STRUCTURAL).
- DECKING: AS NOTED ON KEYNOTE PLANS
- GUTTERS & DOWNSPOUTS: GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL. GUTTERS SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

NOTE:

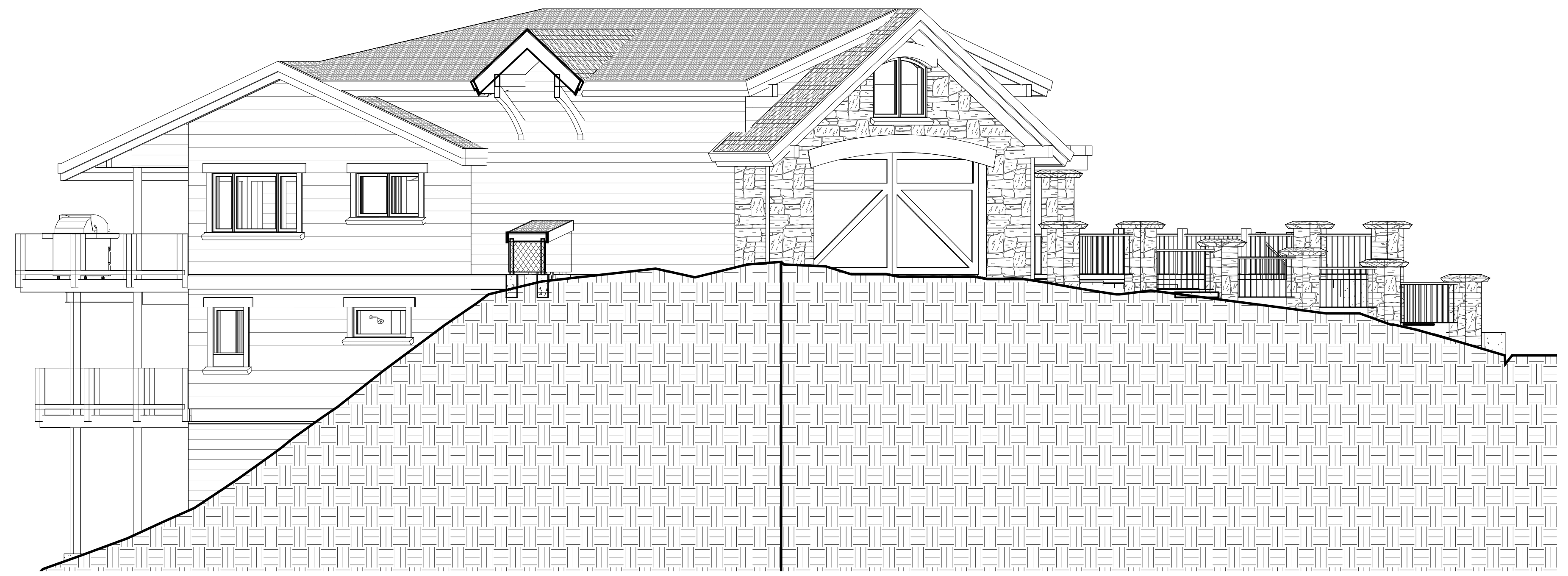
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SOUTH ELEVATION P1
 1/4" = 1'-0"



NE 3D VIEW P1



NW 3D VIEW P1

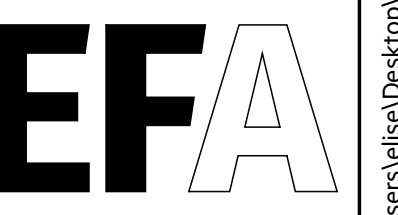


SE 3D VIEW P1



SW 3D VIEW P1

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#	DATE	BY



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PRELIMINARY
 NOT FOR
 CONSTRUCTION

WRIGHT MCKAY REMODEL / ADDITION

490 TUSCARORA RD., CRYSTAL BAY, WASHOE COUNTY, NV
 CAL-NEVA HIGHLANDS SUB 1, LOT 7
 APN: 123-121-11

SCALE:
 JOB NO: **EWJM**
 PRINT DATE: 11/30/2023
 SHEET

A-7

3D VIEWS

Attachment D
Project Review Conformance Checklist and Article V(g) Findings

Residential Project Review Checklist

Property Address: <u>490 Tuscarora</u> APN: <u>123-121-11</u> File Number: <u>ERSP2023-1731</u>	Project Description: SFD <input checked="" type="checkbox"/> MFD <input type="checkbox"/> Plan Revision <input type="checkbox"/>
---	--

Allocation Number: _____	RUU Transfer <input type="checkbox"/> n/a <input checked="" type="checkbox"/>	Deed Restriction Needed <input checked="" type="checkbox"/> Type: Hold Harmless (Avalanche Area)
Year Constructed: 1977/1989	Historic <input type="checkbox"/> Not Historic <input type="checkbox"/> n/a <input checked="" type="checkbox"/>	Level of Review: Staff <input type="checkbox"/> HO <input checked="" type="checkbox"/> GB <input type="checkbox"/> Noticing Required: <input checked="" type="checkbox"/>
Compliant Fireplace/Woodstove <input type="checkbox"/> Flood Zone <input type="checkbox"/> Avalanche <input checked="" type="checkbox"/>		V(g) Checklist Complete <input checked="" type="checkbox"/> Attached in Accela <input checked="" type="checkbox"/>
Local Plan: Washoe Area Plan - Crystal Bay Resi <input checked="" type="checkbox"/> Special Use <input checked="" type="checkbox"/>		Planner Notes Complete <input checked="" type="checkbox"/> Accela Updated <input checked="" type="checkbox"/>

Coverage/Land Capability

IPES Lots (Chapter 53)	Bailey Lots (Chapter 30) (use back if more space needed)
IPES Score: _____ % Allowable Coverage: _____	LCV Complete <input checked="" type="checkbox"/> Coverage Verified <input checked="" type="checkbox"/> Backshore Boundary <input type="checkbox"/>
Lot Size: _____	Bailey Score(s): 1a Lot Size: 17,775
Base Allowable: _____ Max Allowable: _____	Base Allowable: 178 Verified Coverage: 3812
Coverage to be Transferred: _____	Proposed Coverage: 3120 Remaining/Banked: 692
>1/3 acre <input type="checkbox"/> DOAC Complete <input type="checkbox"/> n/a <input type="checkbox"/>	Max Allowable: 3812 Amount Transferred: n/a
Access & Building Site Verified <input type="checkbox"/>	Off-site coverage (E): 616 Off-site Coverage (P): 610
SEZ Delineation Complete <input type="checkbox"/> n/a <input type="checkbox"/> SEZ Setback <input type="checkbox"/>	Excess Coverage: 3634 Previously Mitigated: 35 Remaining Excess: 3599

Coverage Exemptions (Chapter 30.4.6)

 Not Eligible

 No Exemptions Proposed

Misc. Items to Review

Land Capability verified as non-sensitive <input type="checkbox"/>	Deck (A): _____	Exterior Lights Need
BMP cert issued <input type="checkbox"/> BMPs to be installed as part of project <input type="checkbox"/>	Deck (P): _____	Landscape/Reveg Plan Need
All excess coverage mitigated <input type="checkbox"/> Mitigated as part of project <input type="checkbox"/> N/A <input type="checkbox"/>	Temp Structure (A): _____	Tree Removal condition
Total area non-sensitive Land: _____	Temp Structure (P): _____	Staging Areas ok
Max Allowed: _____ Total Proposed: _____	Pervious Coverage (P): _____	Colors/Reflective Materials <input checked="" type="checkbox"/>

Height (Chapter 37)

 No change in height

Scenic (Chapter 66)

 Not visible

% Slope Across Site: 43% Roof Pitch: 4:12	Visible from Lake <input checked="" type="checkbox"/> Unit # 23	In Attainment <input type="checkbox"/> Out of Attainment <input checked="" type="checkbox"/>
Max Allowed Height: 34'-9" Proposed Height: 34'-9"	Visible from Road <input type="checkbox"/> Unit # _____	In Attainment <input type="checkbox"/> Out of Attainment <input type="checkbox"/>
Additional Height Finding Made (> 26') <input checked="" type="checkbox"/> n/a <input type="checkbox"/>	Monitoring Required <input type="checkbox"/> Materials Reviewed <input checked="" type="checkbox"/>	Baseline Photo Received <input checked="" type="checkbox"/>

BMPs (Chapter 60.4)

Excavation/Grading (Chapter 33)

Temp BMPs on plans <input checked="" type="checkbox"/> Permanent BMPs on plans <input checked="" type="checkbox"/>	Grading cut/fill shown on plans <input checked="" type="checkbox"/> Utilities shown on plans <input type="checkbox"/>
Calculation Spreadsheet Reviewed <input checked="" type="checkbox"/> BMP Details Reviewed <input checked="" type="checkbox"/>	Proposed Max Depth of Excavation: 4'-11" <5' <input checked="" type="checkbox"/>
Has Certificate <input type="checkbox"/> Date Issued: _____ Certificate #: _____	Soils/Hydro Max Depth Approved: _____ File #: _____

Fees

HRA: Agate Bay (Nevada)	Cost/sq.ft: 18.00		
<input type="checkbox"/> Water Quality Mitigation	ft ² x \$1.86 =	<input type="checkbox"/> Air Quality Mitigation (NSFD)	\$3,258.40
<input type="checkbox"/> Offsite Coverage Mitigation	ft ² x \$ =	<input checked="" type="checkbox"/> Excess Coverage Mitigation	
<input checked="" type="checkbox"/> Project Security	\$3,000	<input type="checkbox"/> Monitoring Security	\$

Filing fee: (1412 sf x \$1.72) x 1.4 HO = \$3,400.09 Base fee - \$2428.64 pd = \$971.45 add'l filing fee due for Hearing Officer
 Need: landscape/revegetation plan; <+11% reflectivity glass on lakeside (windows and railings); tree removal for new driveway; munsell colors for house;

F:\Current Planning\Forms, 10/18

PROJECT REVIEW CONFORMANCE CHECKLIST & V (g) FINDINGS

(RESIDENTIAL)

Project Name: Wright SFDA

Project Type: Residential - SFD

APN / Project Number: 123-121-11/ERSP2023-1731

Project Review Planner: Theresa Avance Date of Review: 3/25/24

NOTE: if the answer to question b. on any of the following questions is no, please provide a written justification on a separate sheet for making the findings required in subsections 4.4.1 and 4.4.2 of the code. If the answer to question b. is yes or if no answer is required, this checklist shall serve as justifications for making said findings. Any positive impacts of the project on the thresholds that have not been addressed in these questions should also be noted.

CATEGORY: AIR QUALITY

THRESHOLD: CARBON MONOXIDE (CO)

INDICATOR: (CO) 8-hr. avg. Stateline CA station

- 1. a. Does the project generate new vehicle trips? Y N
b. If yes, is the project consistent with Subsection 65.2.4.B.1? Y N
- 2. a. Does the project create new points of vehicular access? Y N
b. If yes, is the project consistent with Subsection 34.3.2? Y N
- 3. a. Does the project include combustion appliances? Y N
b. If yes, is the project consistent with Subsection 65.1.4? Y N
- 4. a. Does the project include a new stationary source of CO? Y N
b. If yes, is the project consistent with Subsection 65.1.6? Y N

THRESHOLD: OZONE

INDICATOR: Ozone, 1-hr. avg. Lk. Tahoe Blvd station

- 1. a. Does the project increase regional VMT? Y N
b. If yes, is the project consistent with Subsection 65.2.4? Y N
- 2. a. Does the project include new gas/oil space/water heaters? Y N
b. If yes, is the project consistent with Subsection 65.1.4? Y N
- 3. a. Does the project include a new stationary source of NO²? Y N
b. If yes, is the project consistent with Subsection 65.1.6? Y N

THRESHOLD: PARTICULATE MATTER

INDICATOR: Part. Matter, 24-hr. avg. Lk. Tahoe Blvd station

- 1. a. Does the project increase airborne dust emissions? Y N
b. If yes, is the project consistent with Subsection 60.4.3? Y N
- 2. a. Does the project include a new stationary source of particulate matter? Y N
b. If yes, is the project consistent with Subsection 65.1.6? Y N

3. a. Refer to question 1, Ozone, above.

THRESHOLD: VISIBILITY

INDICATOR: miles of visibility, veg and subregional path

1. a. Refer to questions 1-3, Particulate Matter, above.

THRESHOLD: TRAFFIC VOLUME
US 50 CORRIDOR, WINTER, 4pm-12am

INDICATOR: traffic volume, US 50 at Park Ave.
Jan.-Mar. avg., 4pm-12am

1. a. Refer to question 1, CO, above.

THRESHOLD: NO² EMISSIONS

INDICATOR: VMT

1. a. Refer to questions 1-2, VMT, below.

THRESHOLD: WOOD SMOKE

INDICATOR: number of wood heaters

1. a. Does the project include any new wood heaters? Y N
b. If yes, is the project consistent with Subsection 65.1.4.B? Y N

THRESHOLD: VMT

INDICATOR: changes in number of trips and avg. trip length

1. a. Does the project increase average trip length? Y N
b. If yes, is the project consistent with Subsection 65.2.4.B? Y N
2. a. refer to question 1, CO, above.

CATEGORY: WATER QUALITY

THRESHOLD: TURBIDITY

INDICATOR: turbidity of indicator stations

1. a. Does the project increase impervious coverage or create permanent soil disturbance? Y N
b. If yes, is the project consistent with Subsection 60.2.3? Y N
2. a. Does the project create temporary soil disturbance? Y N
b. If yes, is the project consistent with Subsection 60.4.3? Y N
3. a. Does the project require the use of fertilizer? Y N
b. If yes, is the project consistent with Subsection 60.1.8? Y N
4. a. Does the project include domestic wastewater discharge to the surface or groundwater? Y N
b. If yes, is the project consistent with Subsection 60.1.3.B? Y N
5. a. Does the project disturb or encroach on an existing SEZ? Y N
b. If yes, is the project consistent with Subsection 30.5? Y N

THRESHOLD: CLARITY, WINTER (IN LAKE)

INDICATOR: secch depth, Dec.-Mar. avg. TRG index station

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: PHYTOPLANKTON PRIMARY PRODUCTIVITY (IN LAKE)

INDICATOR: phyto, primary productivity, ann. Avg., TRG index station

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: DIN LOAD, SURFACE RUNOFF

INDICATOR: DIN x discharge, tributary network annual total 1

1. a. Refer to questions 1, 2, 3 and 5, turbidity, above.

THRESHOLD: DIN LOAD, GROUNDWATER

INDICATOR: DIN x discharge, grndwtr. Network, annual total

1. a. Refer to questions 2 & 3, turbidity, above.

THRESHOLD: DIN LOAD, ATMOSPHERIC

INDICATOR: NO3 + HNO, annual avg. Lake Tahoe Blvd station

1. a. Refer to question 4, turbidity, above.

THRESHOLD: NUTRIENT LOADS, GENERAL

INDICATOR: sol. P x discharge sol. Fe x

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: TOTAL N, P, Fe, (trib.) CA ONLY

INDICATOR: single reading, tributary network

1. a. Refer to questions 1, 2, 3, and 5, turbidity, above.

THRESHOLD: DIN; SOL, P, Fe, SS (trib.) NV ONLY

INDICATOR: single reading tributary network

1. a. Refer to questions 1, 2, 3 and 5, turbidity, above.

THRESHOLD: DIN, SOL, P, Fe, SS, GREASE/OIL DISCHARGED TO SURFACE WATER FROM RUNOFF

INDICATOR: single reading runoff sites

1. a. Does the project route impervious surface runoff directly into Lake Tahoe or a major tributary? Y N
- b. If yes, is the discharge structure consistent with BMP handbook? Y N
2. a. Does the project create large impervious areas (e.g. parking lots) which may serve as a source of airborne pollutants, grease or oil? Y N
- b. If yes, is the project consistent with Subsections 60.4.3, 60.4.6 and 60.4.9? Y N

THRESHOLD: TOTAL N, TOTAL P, TOTAL Fe TURBIDITY, GREASE/OIL DISCHARGE TO GRDWTR FROM RUNOFF

INDICATOR: single reading runoff site

1. a. Does the project include infiltration devices to infiltrate impervious surface runoff directly underground? Y N
- b. If yes, is the project consistent with Subsection 60.4.6? Y N

CATEGORY: SOIL CONSERVATION

THRESHOLD: IMPERVIOUS COVERAGE

INDICATOR: area or coverage

1. a. Does the project include new or relocated coverage? Y N
b. If yes, is the project consistent with Subsection 30.4, 30.5 and 30.6? Y N

THRESHOLD: NATURALLY-FUNCTIONING SEZ

INDICATOR: area of SEZ

1. a. Does the project disturb or encroach on a naturally-functioning SEZ? Y N
b. If yes, is the project consistent with Subsection 30.5? Y N

CATEGORY: VEGETATION

THRESHOLD: PLANT & STRUCTURAL DIVERSITY

INDICATOR: plant & structural diversity

1. a. Does the project create a change in diversity? Y N
b. If yes, does the project include vegetation management techniques to increase diversity (reveg., thinning)? Y N

THRESHOLD: MEADOW & RIPARIAN VEGETATION

INDICATOR: area of meadow & riparian veg.

1. a. Refer to question 5, turbidity, above.

THRESHOLD: DECIDUOUS RIPARIAN VEGETATION

INDICATOR: area of riparian vegetation

1. a. Refer to question 5, turbidity, above.

THRESHOLD: SHRUB ASSOCIATION

INDICATOR: area of shrub association

1. a. Does the project create an increase in the areal extent of the shrub association? Y N
b. If yes, has the additional area been calculated, and a determination been made that the total area is less than or equal to 25%? Y N

THRESHOLD: YELLOW PINE ASSOCIATION (not mature)

INDICATOR: area of yellow pine assoc.

1. a. Does the project create a change in the areal extent of the immature yellow pine association? Y N
b. If yes, has the additional area been calculated, and a determination made that the total area in the Region is between 15 and 25%? Y N

THRESHOLD: RED FIR ASSOCIATION

INDICATOR: area of red fir assoc.

1. a. Does the project create a change in the areal extent of the immature red fir association? Y N
b. If yes, has the additional area been calculated, and a determination made that the total area in the Region is between 15 and 25%? Y N

THRESHOLD: FOREST OPENINGS

INDICATOR: size and location of forest openings

1. a. Does the project create new forest openings? Y N
b. If yes, is the new opening less than 8 acres? Y N

2. a. Does the project create new forest openings adjacent to other openings? Y N
- b. If yes, are the resultant adjacent openings not of the same relative age class or successional stage? Y N

THRESHOLD: UNCOMMON PLANT COMMUNITITES

INDICATOR: habitat sites

1. a. Will the project impact the habitats for the deepwater sphagnum bog, Osgood Swamp, or the Freel Peak Cushing Plant Community? Y N
- b. If yes, have modifications been included in the project to protect these plant communities? Y N

THRESHOLD: SENSITIVE VEGETATION

INDICATOR: number of habitat sites

1. a. Will the project impact the habitats of the Carex paucifructus, the Lewis pyomaea longipetala, the Draba asterophora v., or the Rorippa subumbellata? Y N
- b. If yes, have modifications been included in the project to protect these plant communities? Y N

CATEGORY: WILDLIFE

THRESHOLD: SPECIAL INTEREST SPECIES

INDICATOR: number of habitat sites

1. a. Will the project result in the loss, modification or increased disturbance of habitat site for goshawk, osprey, bald eagle, (winter and nesting), golden eagle, peregrine falcon, waterfowl, or deer, as mapped on official TRPA maps? Y N
- b. If yes, have modifications been included in the project to protect these habitat sites? Y N

CATEGORY: FISHERIES

THRESHOLD: EXCELLENT STREAM HABITAT

INDICATOR: sites of excellent stream habitat

1. a. Does the project include stream channelization, stream dredging, removal of rock or gravel from a stream , culverts, bridges, or water diversions affecting a stream identified as fish habitat? Y N
- b. If yes, have modifications been included in the project to offset impacts on stream habitat and contribute to the upgrading of stream habitat? Y N
2. a. Will the project result in siltation, urban runoff, snow disposal, or litter that may affect water quality in a stream identified as fish habitat? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N

THRESHOLD: GOOD STREAM HABITAT

INDICATOR: miles of good stream habitat

1. a. Refer to questions 1 and 2, above.

THRESHOLD: MARGIANL STREAM HABITAT

INDICATOR: miles of marginal stream habitat

1. a. Refer to questions 1 and 2, above.

THRESHOLD: INSTREAM FLOWS

INDICATOR: increase flows

- 1. a. Does the project include new water diversions? Y N
- b. If yes, is there evidence in the record to indicate that flows will remain within adopted TRPA standards or, in the absence of adopted standards, that flows will not be diminished? Y N
- 2. a. Does the project include new coverage or disturbance that could contribute to uncontrolled runoff reaching a stream identified as fish habitat? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N
- 3. a. Refer to question 5, turbidity, above.

THRESHOLD: LAKE HABITAT

INDICATOR: area of excellent habitat

- 1. a. Does the project include development in the shorezone, removal of rock or gravel from the lake, or removal of vegetation in the shorezone? Y N
- b. If yes, is the project consistent with Chapters 80-86? Y N
- 2. a. Does the project increase the potential for siltation, runoff, or erosion entering Lake Tahoe? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N

CATEGORY: NOISE

THRESHOLD: COMMUNITY NOISE EQUIVALENT LEVEL (CNEL)

INDICATOR: dBA, CNEL

- 1. a. Does the project involve the creation of a new or relocated land use? Y N
- b. If yes, is the project consistent with the applicable plan area statement? Y N
- 2. a. Is the project located within a transportation corridor as mapped on TRPA maps? Y N
- b. If yes, does the project include components to reduce the transmission of noise from the corridor, in accordance with the TRPA Design Review Guidelines? Y N

CATEGORY: SCENIC RESOURCES

THRESHOLD: ROADWAY AND SHORELINE RATINGS

INDICATOR: ratings

- 1. a. Is the project located within, or visible from, a roadway or shoreline unit targeted for scenic upgrading? Y N
- b. If yes, is the project consistent with the TRPA Scenic Quality Implementation Program (SQUIP)? Y N
- 2. a. Is the project located within, or visible from, a roadway or shoreline unit not targeted for scenic upgrading? Y N
- b. If yes, is there evidence in the record that the project will not cause a significant decrease in scenic quality, and is the project consistent with the TRPA Design Review Guidelines? Y N

CATEGORY: RECREATION

THRESHOLD: PRESERVE AND ENHANCE THE HIGH QUALITY RECREATION EXPERIENCE

INDICATOR: dispersed rec. capacity

1. a. Is the project located in a conservation or recreation plan area? Y N
 b. If yes, is the project consistent with the applicable plan area statement? Y N

CATEGORY: CODE/RULES OF PROCEDURE REQUIREMENTS

1. Does the project require Governing Board Review (Chapter 2)? Y N
 5. Does the project require notice to adjacent property owners (Art. XII Rules of Procedure)? Y N

6. Is the project consistent with the following:

Chapter 2	(Project Review)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 6	(Tracking-Data Sheets/Log Book)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 21	(Permissible Uses)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 22	(Temporary Uses)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 30	(Coverage)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 31	(Density)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 32	(Basic Service)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.3	(Grading)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.4	(Special Reports)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.5	(Construction Schedule)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.6	(Vegetation Protection)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 34	(Driveways)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 34	(Parking)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 35	(Natural Hazards-Floodplain)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 36	(Design Standards)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 37	(Height)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 38	(Signs)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 50	(Allocations)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 51	(Transfers)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 52	(Bonus Units-MFD only)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 53	(IPES)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 60	(BMP's)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 60.1	(Water Quality)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 60.2	(Water Quality Mitigation)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.1	(Tree Removal)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.3.6	(Sensitive Plants/Fire Hazard)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.4	(Revegetation)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 62	(Wildlife)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 63	(Fish)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 65.1	(Air Quality)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 65.2	(Traffic/Air Quality Mitigation)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 67	(Historic Resource)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>