



STAFF REPORT

Date: December 7, 2023

To: TRPA Hearings Officer

From: TRPA Staff

Subject: Jerde Single Family Dwelling Addition; 192 Foothill Drive; Zephyr Cove, Douglas County, NV; Assessor's Parcel Number (APN) 1318-10-310-045; TRPA File Number ERSP2023-0906

Staff Recommendation:

Staff recommends the Hearings Officer make the required findings and approve the project subject to the conditions in the draft permit.

Project Description/Background:

The proposed project is for the modification and addition to an existing single family dwelling located within Zephyr Cove Properties Historic District (also known as Zephyr Cove Unit #1) in Douglas County, Nevada. The property has an approximately 800 square foot cabin, deck, compacted gravel driveway, tent platform, and accessory shed. The existing cabin was built in 1928 and is considered a contributing resource to the historic district. The project proposes the reconstruction and expansion of a previous addition to expand the kitchen and add a bathroom. The addition will connect to the northeast side of the original cabin structure, which will remain intact. Other improvements include reduction and reconstruction of the exterior deck, paving of the driveway, and installation of full BMPs for the project area.

The existing single family dwelling has previously been identified as a historic resource by TRPA and the Nevada State Historic Preservation Office under criteria A and C, as documented in the US 50 (Snyder 2001) and Nevada Architectural Inventory (Zeier/Snyder 2011) (TRPA File # HIST2019-0360). The district is listed on the TRPA Historic Resource Map, and is eligible for listing with the National Historic Register of Historic Places. To ensure a more complete record of the historic structure, the permittee will provide archival quality photo documentation of the existing structure and property.

The property is located within Plan Area Statement 67-Marla Bay/Zephyr Heights, which encourages property owners to maintain or upgrade the existing structures consistent with the old Tahoe summer cabin style. The proposed addition has been designed to be similar to the style of the existing cabin, which consists of square log construction and bark-shingle siding. The addition will have similar log-construction siding and color, with a shallower pitch roof. The structure is not visible from any scenic corridor, recreation area, bike trail, or the waters of Lake Tahoe and the addition will conform to TRPA Design Review Guidelines. All building materials and colors will be consistent with the existing structure, and will be within the range of TRPA approved earth tones that blend, rather than contrast with the existing vegetation and earth hues.

Environmental Review:

TRPA staff completed the "Project Review Conformance Checklist and Article V(g) Findings". All responses contained on said checklist indicates compliance with the environmental threshold carrying capacities. A copy of the completed checklist is provided as Attachment D.

Plan Area Statement:

The project is located within Plan Area 67-Marla Bay/Zephyr Heights. The Land Use Classification is Residential and the Management Strategy is Mitigation. Agency staff has reviewed the subject Plan Area and has determined that the project is consistent with the applicable planning statement, planning considerations, and special policies. The proposed use (single family dwelling) is listed as an allowed use.

Regional Plan Compliance:

The proposed project is consistent with all applicable components of the Regional Plan.

Land Coverage:

The property has been verified as Land Capability Class 7. The base allowed land coverage is 3,090 square feet, with 2,599 square feet of verified coverage. The proposed coverage is 2,348 square feet. All land coverage needed for the project will be relocated onsite, and coverage removed as a part of this project will be banked and available for future use or transfer.

Historic Resources:

The residence on the property is considered eligible as a historic resource by TRPA for planning purposes. Additions, reconstruction, or demolition of eligible or designated historic resources requires review and approval by a Hearings Officer in accordance with Section 2.2.2.2.c of the TRPA Code. The addition is designed in accordance with the U.S. Secretary of Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. Of note, the proposed addition is sympathetic to the existing building in scale, mass, and materials. It will not detract or cause adverse effects to the historic integrity or significance of the building. As such, TRPA is not requiring a resource recovery plan as mitigation for the proposed project. The structure is documented within the reports mentioned on page 1 of the staff report. The only mitigation required for the project will be to provide archival quality photo documentation of the existing structure and property. Upon completion of the project the residence will still be considered contributing to the historic district.

Project Application:

The file materials associated with this project are available at: [Parcel Tracker - ERSP2023-0906 \(laketahoeinfo.org\)](https://www.laketahoeinfo.org/ParcelTracker/ERSP2023-0906)

Required Actions:

Staff recommends that the Hearings Officer take the following actions, based on this staff summary and evidence in the record:

1. Approve the findings contained in this staff summary, and a finding of no significant environmental effect (Attachment A).
2. Approve the project, based on the staff summary, and record evidence, subject to the conditions contained in the attached Draft Permit (Attachment B).

Contact Information:

If you have any questions, please contact Theresa Avance via email at tavance@trpa.gov , or via telephone at (775) 589-5224. To submit a written public comment, email publiccomment@trpa.gov with the appropriate agenda item in the subject line. Written comments received by 4 p.m. the day before a scheduled public meeting will be distributed and posted to the TRPA website before the meeting begins.

TRPA does not guarantee written comments received after 4 p.m. the day before a meeting will be distributed and posted in time for the meeting.

Attachments:

- A. Required Findings/Rationale
- B. Draft Permit
- C. Project Plans
- D. Project Review Conformance Checklist and Article V(g) Findings

Attachment A
Required Findings/Rationale

Required Findings/Rationale

The following is a list of the required findings as set forth in Chapter 4, and 30, of the TRPA Code of Ordinances. Following each finding, Agency staff has indicated if there is sufficient evidence contained in the record to make the applicable findings or has briefly summarized the evidence on which the finding can be made.

1. Chapter 4 – Required Findings:

- (a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

All evidence in the file and public record demonstrates that the proposed project will not adversely impact the Regional Plan, is consistent with the Glenbrook Plan Area Statement, complies with the TRPA Code of Ordinances, and will not adversely impact other TRPA plans and programs.

- (b) The project will not cause the environmental threshold carrying capacities to be exceeded.

TRPA staff has completed the “Project Review Conformance Checklist and Article V(g) Findings” in accordance with Chapter 4 of the TRPA Code of Ordinances. All responses contained on said checklist indicate compliance with the environmental threshold carrying capacities.

- (c) Wherever federal, state or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TRPA Compact, the project meets or exceeds such standards.

All potential effects are temporary and shall be mitigated through temporary and permanent Best Management Practices. The applicant will meet or exceed all federal, state, or local water and air quality standards. Upon completion of construction, the projects will have no impact upon water or air quality standards.

3. Chapter 30 – Land Coverage

- (a) The relocation is to an equal or superior portion of the parcel, as determined by reference to the following factors: 1. Whether the area of relocation already has been disturbed; 2. The slope of and natural vegetation on the area of relocation; 3. The fragility of the soil on the area of relocation; 4. Whether the area of relocation appropriately fits the scheme of use of the property; 5. The relocation does not further encroach into a stream environment zone, backshore, or the setbacks established in the Code for the protection of stream environment zones or backshore; 6. The project otherwise complies with the land coverage mitigation program set forth in Section 30.6.

The entire parcel is identified as land capability Class 7 and the relocation will be specifically for the residence addition and to provide paved parking for the residence.

- (b) The area from which the land coverage was removed for relocation is restored in accordance with Subsection 30.5.C.

Any areas where land coverage will be permanently removed will be revegetated and restored in accordance with Code requirements.

- (c) The relocation is not to Land Capability Districts 1a, 1b, 1c, 2 or 3, from any higher numbered land capability district.

All relocated land coverage will be within Class 7.

Attachment B
Draft Permit

DRAFT PERMIT

PROJECT DESCRIPTION: Single Family Dwelling Addition

APN 1318-10-310-045

PERMITTEE(S): Jerde Trust

FILE # ERSP2023-0906

COUNTY/LOCATION: Douglas/ 192 Foothill Dr.

Having made the findings required by Agency ordinances and rules, the TRPA Hearings Officer approved the project on December 14, 2023, subject to the standard conditions of approval attached hereto (Attachment R) and the special conditions found in this permit.

This permit shall expire on December 14, 2026 without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Commencement of construction consists of pouring concrete for a foundation and does not include grading, installation of utilities or landscaping. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action which delayed or rendered impossible the diligent pursuit of the permit.

NO CONSTRUCTION OR GRADING SHALL COMMENCE UNTIL:

- (1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
- (2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
- (3) THE PERMITTEE OBTAINS A COUNTY BUILDING PERMIT. TRPA'S ACKNOWLEDGEMENT IS NECESSARY TO OBTAIN A COUNTY BUILDING PERMIT. THE COUNTY PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
- (4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

TRPA Executive Director/Designee

Date

PERMITTEE'S ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of Permittee(s)

Date

PERMIT CONTINUED ON NEXT PAGE

APN 1318-10-310-045
FILE NO. ERSP2023-0906

Security Posted (1): Amount \$ _____ Type _____ Paid _____ Receipt No. _____

Security Administrative Fee (2): Amount \$ _____ Paid _____ Receipt No. _____

Notes:

- (1) See Special Condition 3.F., below.
- (2) To be determined. See current TRPA fee schedule at the time of permit acknowledgement.

Required plans determined to be in conformance with approval: Date: _____

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date:

TRPA Executive Director/Designee

Date

SPECIAL CONDITIONS

1. This permit specifically authorizes a single-story addition to an existing house located at 192 Foothill Drive in Zephyr Cove, Nevada. The addition adds ~ 90 sq. ft. to the residence, reconstructing and adding to the kitchen. The project also includes the reconstruction of the existing deck, reconfiguration and paving of the driveway, and installation of all necessary BMPs for the property. All proposed land coverage will come from relocated coverage available onsite. Based on a survey prepared by a licensed surveyor, the parcel size has been refined, and the final project area excludes the area of the existing encroaching public road. The existing residence has previously been determined to be a contributing structure within a TRPA-recognized historic district.

Upon completion of the project the residence will still be considered contributing to the historic district.

Upon completion of the project and passing a TRPA final inspection, the parcel will be issued a BMP Certificate.

2. The Standard Conditions of Approval listed in Attachment R shall apply to this permit.
3. Prior to permit acknowledgement, the following conditions of approval must be satisfied.
 - A. The site plan shall be revised to include:
 - (1) The following revised proposed land coverage calculations:

Main House	900 sf
Deck w/3:1 Height Reduction	370 sf
Wood Platform & Steps	192 sf
Shed	120 sf

Concrete Pad/Patio	76 sf
<u>Concrete Driveway</u>	<u>690 sf</u>
Total Proposed Coverage	2,348 sf
Banked Coverage	251 sf
Remaining Potential Coverage	491 sf

- (2) Slope calculation across the building site, as described in TRPA Code Section 37.3.3 and Figure 37.3.3-A.
 - (3) Location and elevation of the proposed low point of the structure for calculation of proposed height.
 - (4) Location of all existing/proposed utility lines.
 - (5) No trees are approved to be removed with this project. Revise plan to remove indication of trees to be removed.
 - (6) Proposed permanent BMPs and BMP infiltration calculations for the existing shed and tent platform.
 - (7) Vegetation protective fencing around the entire construction site. The fencing shall be no more than 12 feet from any footprint, driveway, or area of approved disturbance. Trees located within the construction area that are to be retained shall be individually protected by fencing beyond the drip-line of the outermost branches, or by other means if approved by the TRPA Inspector. No equipment, personnel or disturbance is allowed within the areas protected by the vegetation fencing.
 - (8) Parking barriers to restrict parking to approved parking surfaces only.
- B. The elevations shall be revised to include corrected allowed and proposed height calculations based on the revised slope across the building site and the identified new low point of the structure.
 - C. Provide a lighting plan for the project area with light fixtures that are consistent with TRPA Code of Ordinances, Section 36.8, Exterior Lighting Standards, including proposed fixture details. Fixtures that meet these requirements are generally dark sky friendly; examples can be found at www.darksky.org.
 - D. The final plan set shall include the existing conditions survey prepared by Turner and Associates in 2020.
 - E. Provide good, clear black and white photographs of the project area. The photographs must show all façades of the property in their entirety, views of the property in its setting and significant exterior and interior features. Digital photos must be in JPEG, RAW or TIFF format (minimum resolution 2 megapixels, 1200x1600 image size.) Photo prints must be printed on inkjet paper intended for photographs, minimum print size 5"x7". Photographs (digital or printed) should be numbered, dated, and labeled with the property name, the view (e.g., east side, camera facing west), a brief description, and

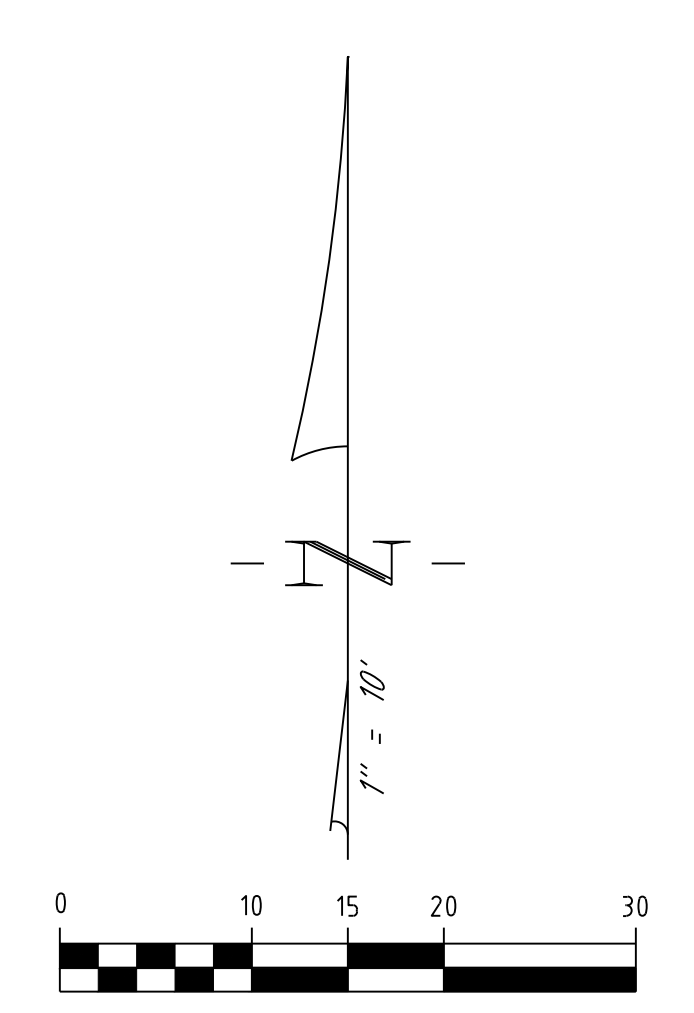
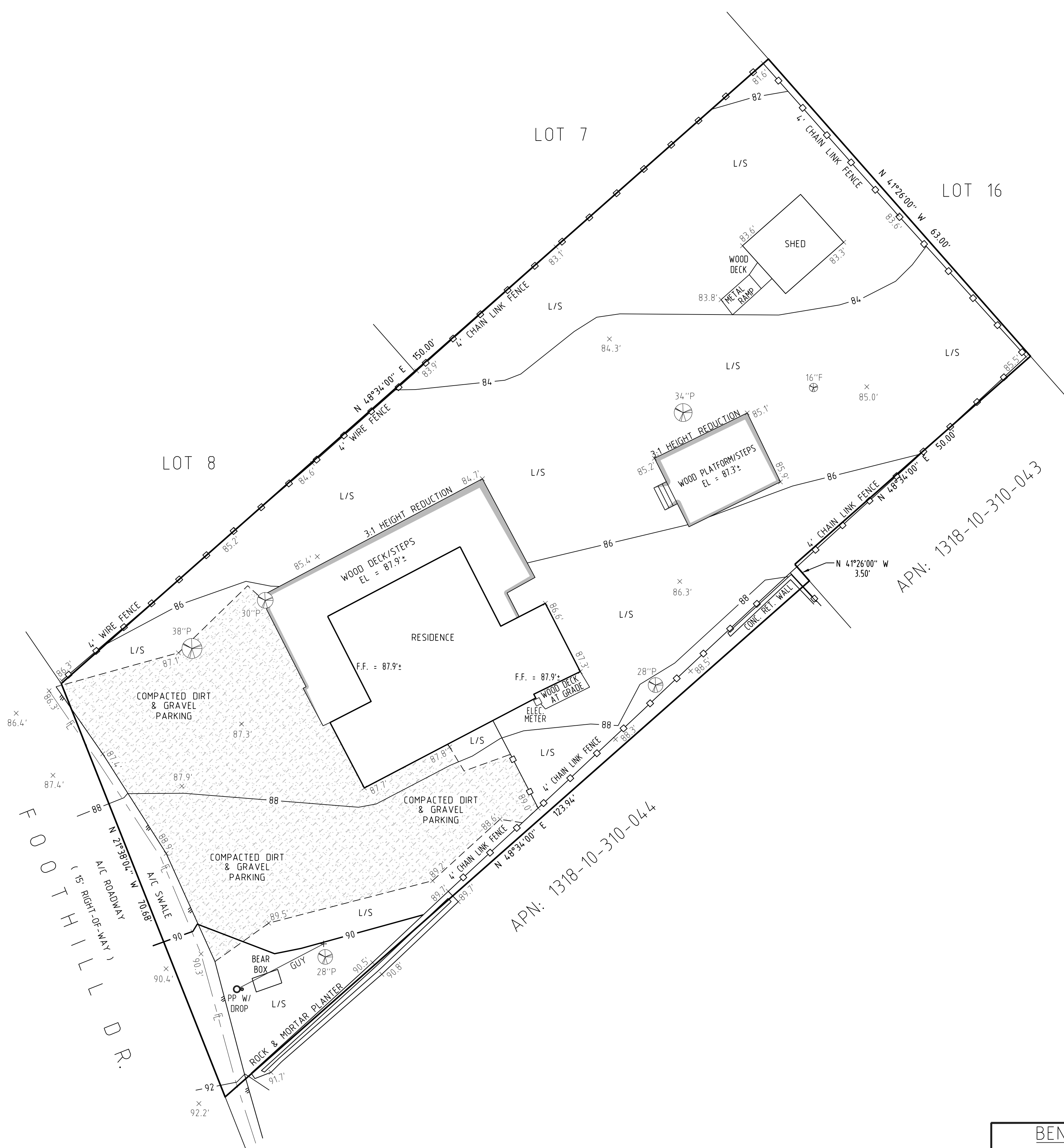
name of photographer, in pencil or archival ink, or printed on whitespace on digital photo prints. 35mm prints are acceptable.

- F. The security required under Standard Condition A.3 of Attachment R shall be \$3000.00, plus the security administration fee that is current at the time of acknowledgment. Please see Attachment J, Security Procedures, for appropriate methods of posting the security.
 - G. The permittee shall submit one electronic set of all required documents and plans to TRPA.
4. Temporary and permanent BMPs may be field-fit as appropriate by the TRPA inspector.
 5. The permittee shall prepare and provide photographs to the TRPA Compliance Inspector that have been taken during construction that demonstrate any subsurface BMPs or trenching and backfilling proposed on the project have been constructed correctly (depth, fill material, etc.).
 6. All Best Management Practices shall be maintained in perpetuity to ensure effectiveness which may require BMPs to be periodically reinstalled or replaced.
 7. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board (including individual members), its Planning Commission (including individual members), its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, administrative appeal, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

Attachment C
Project Plans



LEGEND

A/C	ASPHALTIC CONCRETE
CD	COMPACTED DIRT
F	FIR TREE
FL	FLOW LINE
L/S	LANDSCAPE/NATURAL GROUND
P	PINE TREE
PP	POWER POLE
R&M	ROCK AND MORTAR
SSCO	SANITARY SEWER CLEANOUT
x77.7'	SPOT ELEVATION
---	EDGE OF PAVEMENT

COVERAGE W/ 3:1 HEIGHT REDUCTION WHERE APPLICABLE

CATEGORY	SQUARE FEET
RESIDENCE	821
CD & GRAVEL PARKING	1958
WOOD DECK/STEPS	509
WOOD PLATFORM/STEPS	176
SHED	126
METAL RAMP	18
TOTAL	3,608

COVERAGE USED BY OTHERS (FOOTHILL DR.)

CATEGORY	SQUARE FEET
A/C ROADWAY/SWALE	295
TOTAL	295

OWNER & MAILING ADDRESS

JERDE TRUST
P.O. BOX 66736
SCOTTS VALLEY, CA 95067

LAND AREA
10,596 SQUARE FEET

TURNER & ASSOCIATES, INC.
LAND SURVEYING
(775) 588-5658
FAX (775) 588-9296
308 DORLA COURT, SUITE 203 - ROUND HILL, NEVADA 89448
P.O. BOX 5067 - STATELINE, NEVADA 89449

NOTES
---THIS SURVEY HAS BEEN PREPARED WITHOUT USE OF A TITLE REPORT UNLESS REFERENCED HEREON.
TURNER AND ASSOCIATES INC. ASSUMES NO RESPONSIBILITY FOR ANY EASEMENTS WHICH MAY AFFECT THIS PROPERTY
---PROPERTY OWNER AND/OR DESIGNER MUST VERIFY BUILDING SETBACKS AND ANY OTHER BUILDING RESTRICTIONS BEFORE ANY DESIGN OR CONSTRUCTION.
---ONLY VISIBLE UTILITIES AND FEATURES HAVE BEEN LOCATED.
---THIS DRAWING OR MAP IS THE PROPERTY OF TURNER & ASSOCIATES INC., AND MAY NOT BE USED OR REPRODUCED WITHOUT THE CONSENT OF TURNER & ASSOCIATES INC.

BENCH MARK NUMBER _____ ELEVATION 100.00' DATUM ASSUMED DESCRIPTION SET MAG NAIL IN A/C ROADWAY		TOPOGRAPHIC SURVEY PROPERTY PER DOC. NO. 2020-948764 APN: 1318-10-310-045, 192 FOOTHILL DR. DOUGLAS CO., NV SCALE HORIZ. 1"=10' VERT. 2"=1'				FOR EXAMINATION PURPOSES ONLY		DATE AUG 2022
FIELD SW-JF-GT	DRAWN JF	FILE NAME 22135-192_FOOTHILL.DWG	CHECKED JTW	JOB NO. 22135				
REVISION NO.	DATE	DESCRIPTION	BY	CHKD				

- THE INFORMATION CONTAINED IN THIS SITE PLAN IS FROM TURNER & ASSOCIATES INC., LAND SURVEYING, TITLED "TOPOGRAPHIC SURVEY - PROPERTY PER DOC NO. 2020-948764", DATED AUG 2022.
- THE BOUNDARY SHOWN HEREON IS TAKEN FROM RECORD DATA. THERE HAS BEEN NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE OR ANY OTHER FACTS WHICH AN ACCURATE & CURRENT TITLE SEARCH MAY DISCLOSE.
- NO INVESTIGATION CONCERNING THE LOCATION OF OR EXISTENCE OF UNDERGROUND UTILITY SERVICE LINES TO THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
- ALL UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY DESIGN OR CONSTRUCTION.
- SEE ORIGINAL SURVEY FOR ALL ASSUMPTIONS, LIMITATIONS, REFERENCES, AND DETAILS.

DEFENSIBLE SPACE NOTES

- REMOVE ALL DEAD VEGETATION AND DEAD TREE LIMBS, TYP.
- REMOVE LADDER FUELS BENEATH TREE DRIFTLINES WITHIN 10' VERTICALLY OF TREE LIMBS.
- REMOVE TREE LIMBS WITHIN 10' OF GROUND OR 1/2 OF TREE HEIGHT, WHICHEVER IS LESS.
- CREATE A 5' WIDE NONCOMBUSTIBLE AREA AROUND THE BASE OF STRUCTURE, TYP.
- REMOVE ALL DRY GRASS AND WEEDS UP TO 30' AWAY FROM STRUCTURE, TYP. (IRRIGATED AREAS NOT INCLUDED)
- FIRE DEPARTMENT DEFENSIBLE SPACE APPROVAL IS REQUIRED PRIOR TO ISSUANCE OF BUILDING DEPARTMENT CERTIFICATE OF OCCUPANCY.
- REFER TO THE NORTH TAHOE FIRE DISTRICT "LIVING WITH FIRE" DOCUMENT FOR ADDITIONAL INFORMATION.

TRPA NOTES

- ALL COVERAGE REMOVED AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.
- DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 35 FEET OF STRUCTURES.
- A 3" LAYER OF 3/4" CRUSHED GRAVEL SHALL BE PLACED BENEATH ALL RAISED DECKS.
- SEE SHEET C1.2 FOR TRPA BMP DETAILS
- STRAW BALES ARE NO LONGER ACCEPTABLE FOR TEMPORARY EROSION CONTROL OR MULCH MATERIAL IN THE LAKE TAHOE BASIN. THE USE OF STRAW HAS CONTRIBUTED TO THE SPREAD OF NOXIOUS WEEDS THROUGHOUT THE BASIN. THE USE OF ALTERNATIVES TO STRAW BALES, SUCH AS PINE NEEDLE BALES, FILTER FABRIC, COIR LOGS AND PINE NEEDLE OR WOOD MULCHES FOR EROSION CONTROL PURPOSES IS REQUIRED.
- ALL AREAS OF REMOVED COVERAGE AND AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-VEGETATED IN ACCORDANCE WITH TRPA'S BMP HANDBOOK & "LIVING WITH FIRE" TAHOE BASIN, LATEST EDITION.
- EXCAVATIONS AND CUTS GREATER THAN 5 FEET DEEP NOT PERMITTED - TRPA SOILS/HYDROLOGY APPROVAL IS REQUIRED.

BMP CALCULATIONS

Contributing Surface	CONC	DRIVE	ROOF 1	ROOF 2	ROOF 3	ROOF 4
# of Stories	0	0	1	1	1	1
Length (ft.)						
Width (ft.)						
Area (ft ²)	76	690	160	236	200	230
Area (ft ²)	76	690	160	236	200	230
Runoff (ft ³)	6.3	57.5	13.3	19.7	16.7	19.2
Treatment Label:	1.0	2.0	3.0	4.0	5.0	6.0
Length (ft.)	6.0	26.0	9.0	9.0	9.0	9.0
Width (in.)	18	18	18	18	18	18
Depth (in.)	6	6	6	6	6	6
On-Site Ksat (ft/hr)						
mapped Ksat (ft/hr)	12.8	12.8	12.8	12.8	12.8	12.8
Prefab Void Space (%)						
Average Void Space (%)	40%	40%	40%	40%	40%	40%
Effective Volume (yd ³)	0.2	0.7	0.3	0.3	0.3	0.3
Treatment Capacity (ft ³)	13.5	58.5	20.2	20.2	20.2	20.2
Drain Rock Quantity (yd ³)	0.2	0.7	0.3	0.3	0.3	0.3
Excess Runoff (ft ³)	0.0	0.0	0.0	0.0	0.0	0.0
Excess Capacity (ft ³)	7.2	1.0	6.9	0.6	3.6	1.1

ALLOWABLE COVERAGE

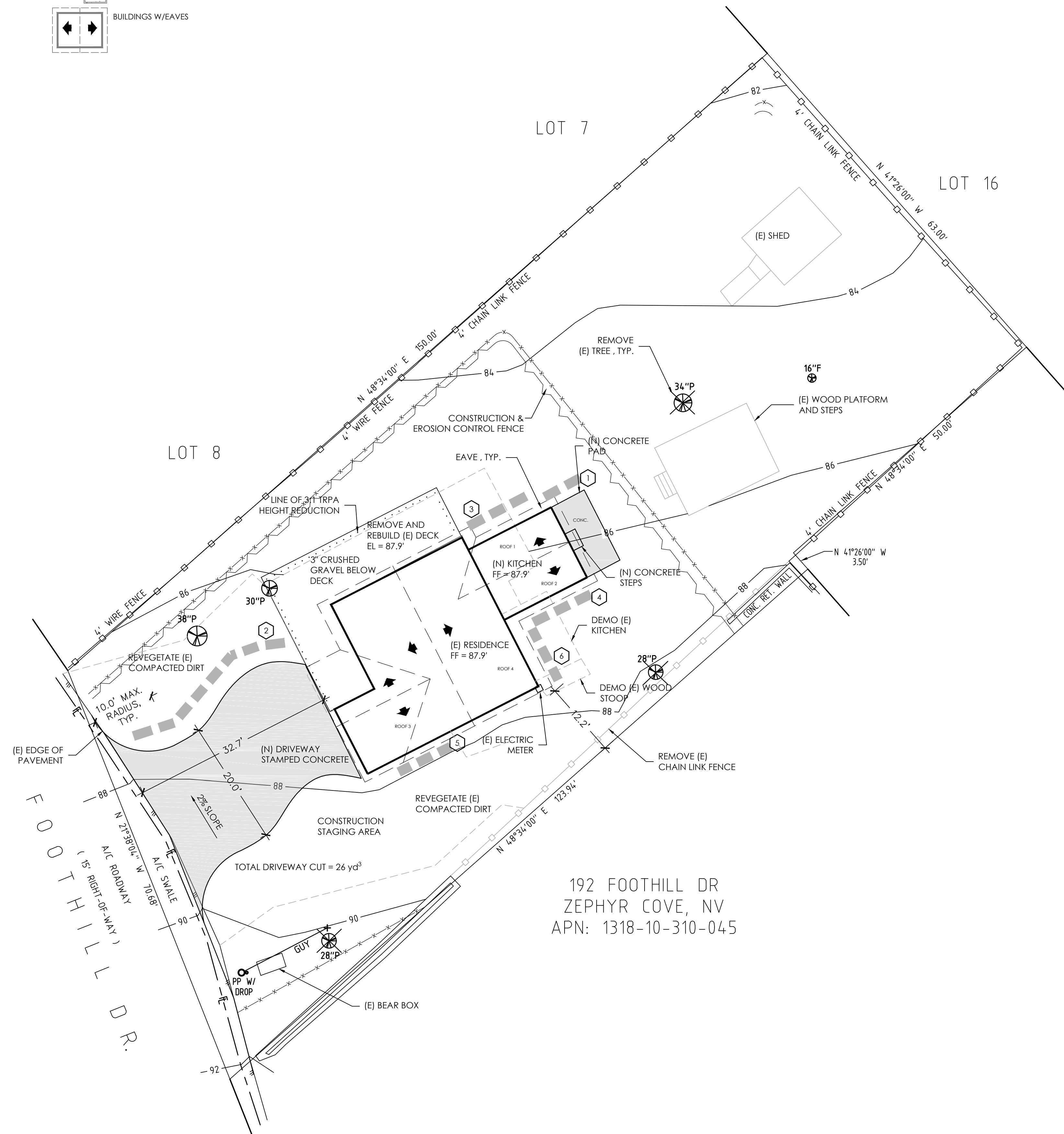
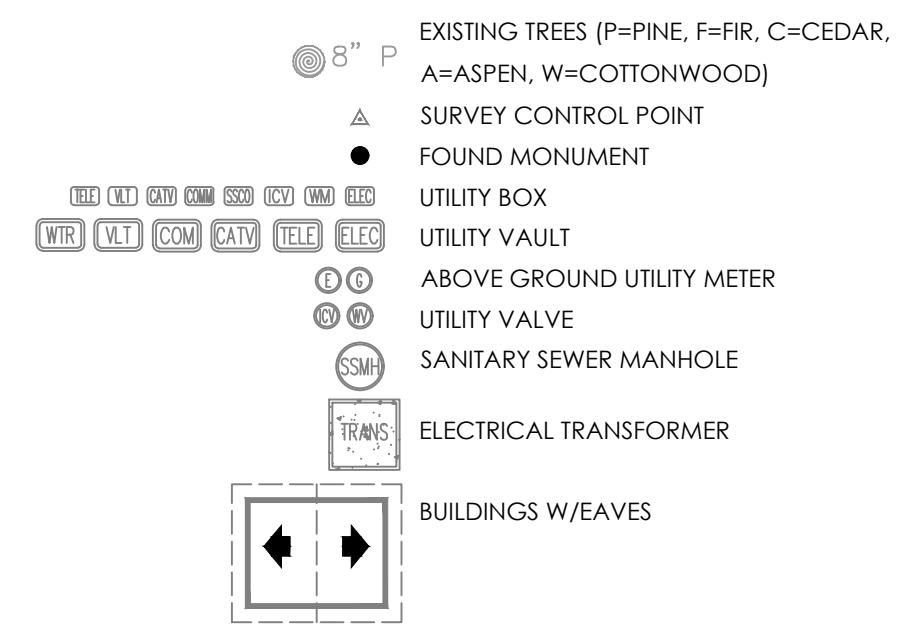
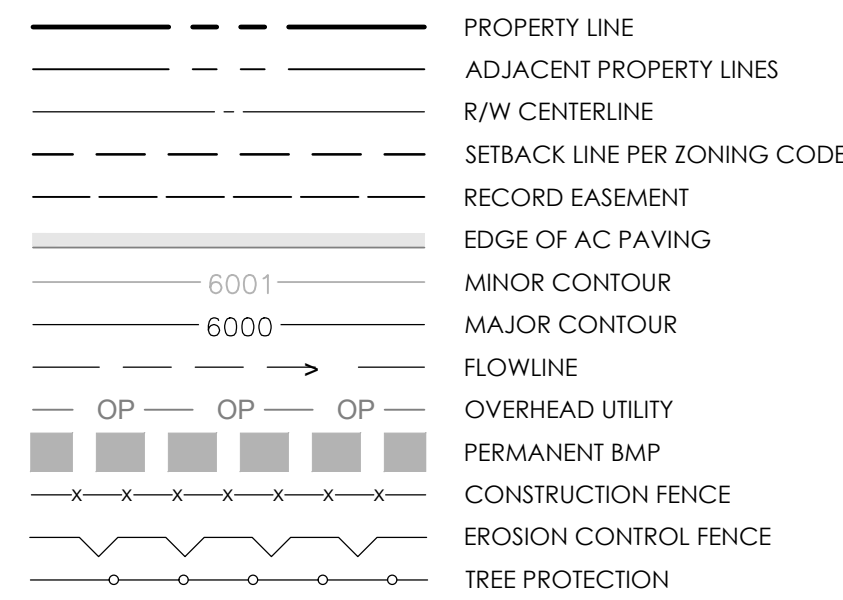
TOPOGRAPHIC SURVEY - PROPERTY PER DOC NO. 2020-948764
 APN: 1318-10-310-045, 192 FOOTHILL DR, DOUGLAS CO., NV., DATED 08/2022.
 TOTAL LOT AREA 10,596 S.F.
 COVERAGE BY OTHERS (AC ROADWAY/SWALE) 295 S.F.
 LAND CAPABILITY DISTRICT CLASS 7 30%(10,301 S.F.) 3,090 S.F.
 TOTAL BASE ALLOWABLE COVERAGE 3,090 S.F.

EXISTING VERIFIED COVERAGE

TRPA SITE ASSESSMENT, DATED 12/21/2016
 MAIN HOUSE 804 S.F.
 DECK 459 S.F.
 WOOD PLATFORM & STEPS ("ACCESSORY CABIN" ON SITE ASSESSMENT) 192 S.F.
 SHED 120 S.F.
 WOOD STOOP 24 S.F.
 COMPACTED DIRT & GRAVEL PARKING 1,000 S.F.
 TOTAL VERIFIED COVERAGE 2,599 S.F.

PROPOSED COVERAGE

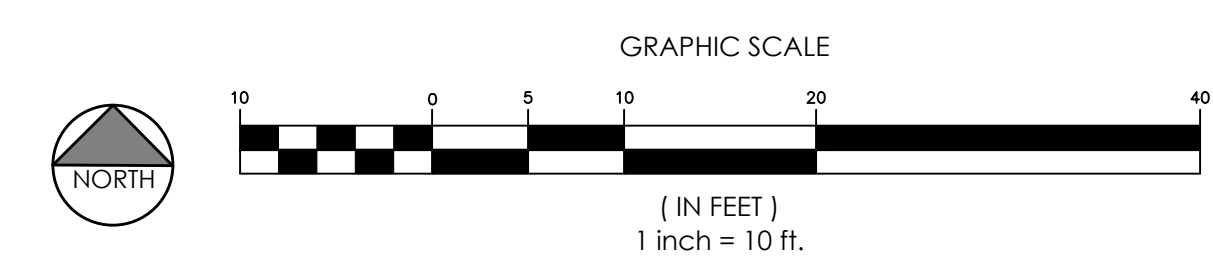
MAIN HOUSE 900 S.F.
 DECK W/ TRPA 3:1 HEIGHT REDUCTION 370 S.F.
 WOOD PLATFORM & STEPS 192 S.F.
 SHED 120 S.F.
 COMPACTED DIRT 310 S.F.
 CONCRETE PAD 76 S.F.
 DRIVEWAY 690 S.F.
 TOTAL COVERAGE 2,658 S.F.
 BANKED COVERAGE 432 S.F.



192 FOOTHILL DR
 ZEPHYR COVE, NV
 APN: 1318-10-310-045

SITE PLAN

SCALE: 1" = 10'



PO Box 7586
 3080 N. Lake Blvd, Suite 203
 Tahoe City, CA 96145
 530.412.1328, 530.318.0001
 www.evolvedesignworks.com

stamp

Copyright 2022
 all drawings and written material
 appearing herein constitute original and
 unpublished work of the designer and may
 not be duplicated, used or disclosed
 without written consent of the designer.

project number	2022.043	
drawn by	JJ checked by BA	
ISSUES & REVISIONS		
no.	description	date
1	Douglas County Submittal	2023.07.06
2	TRPA Submittal	2023.07.06

project location

Remodel & Addition for:
Kevin Jerde
 192 Foothill Drive
 Zephyr Cove NV
 Douglas County
 APN: 1318-10-310-045

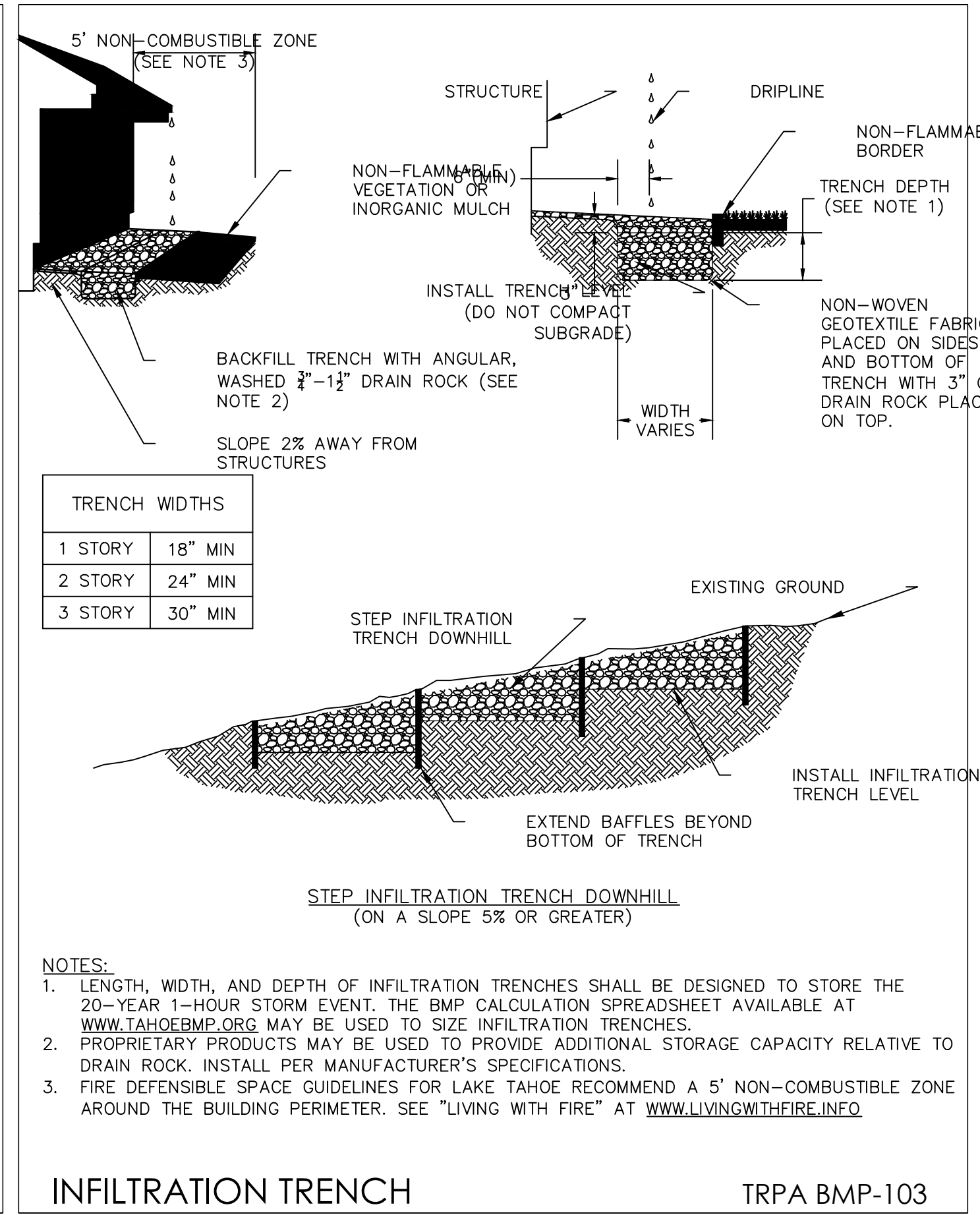
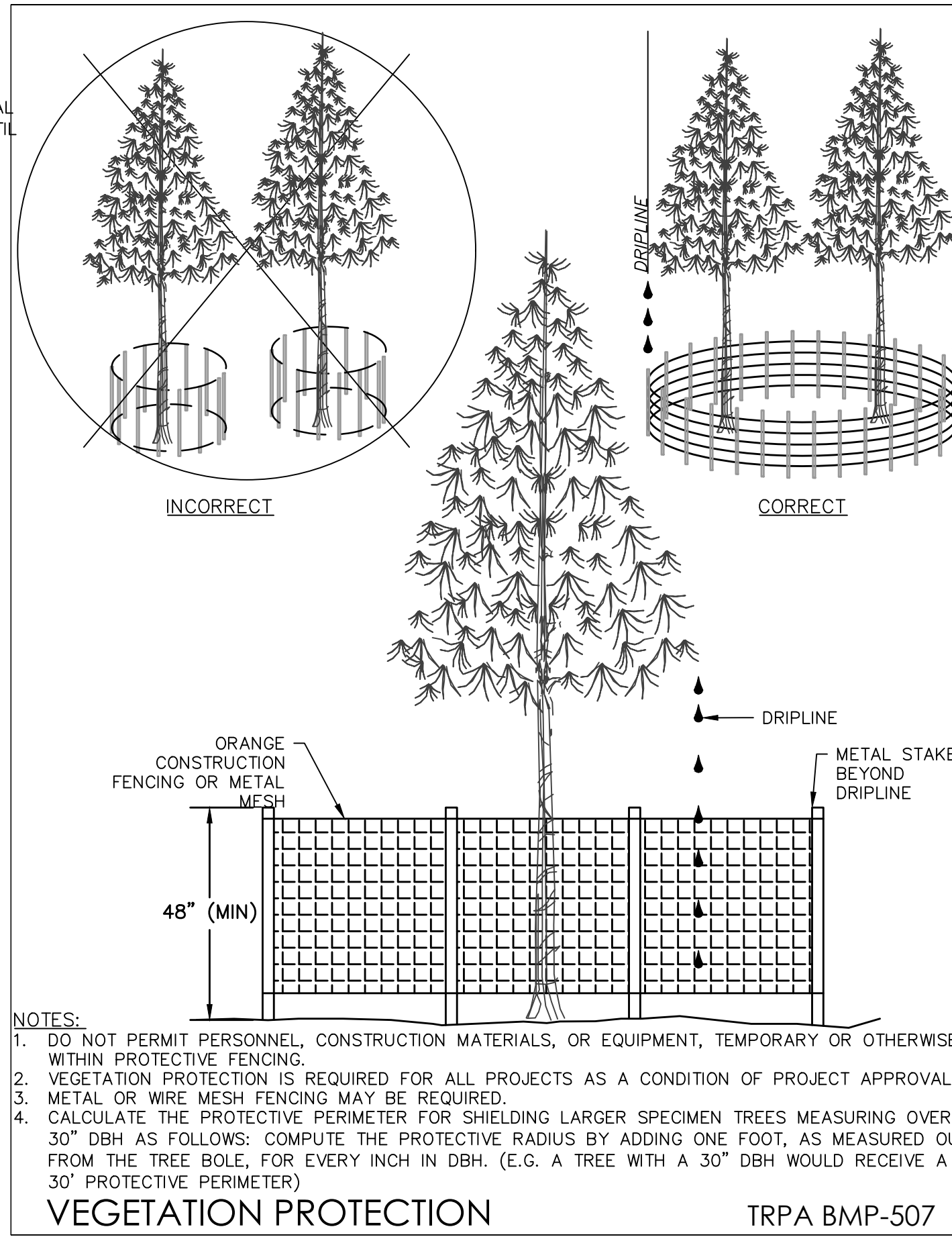
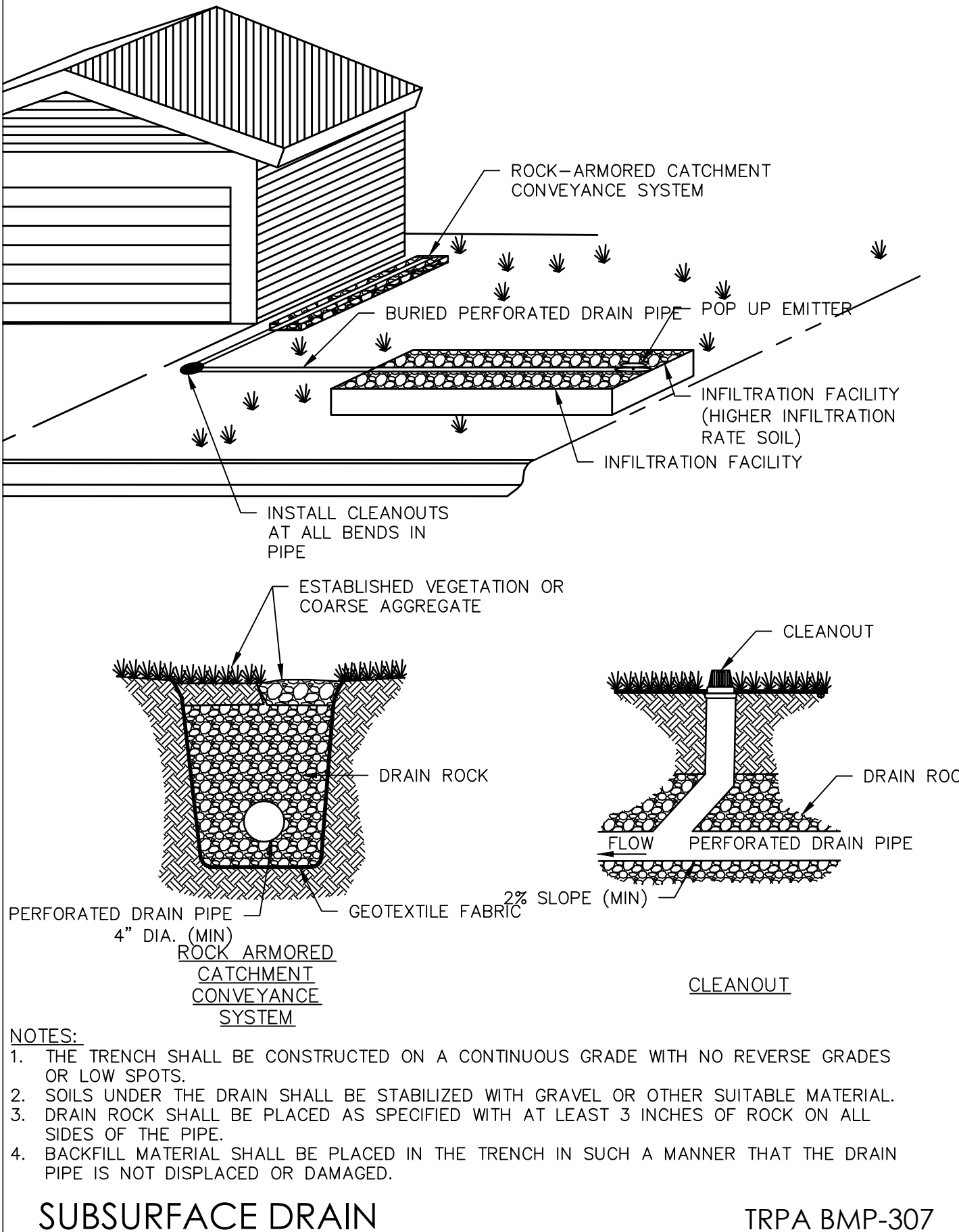
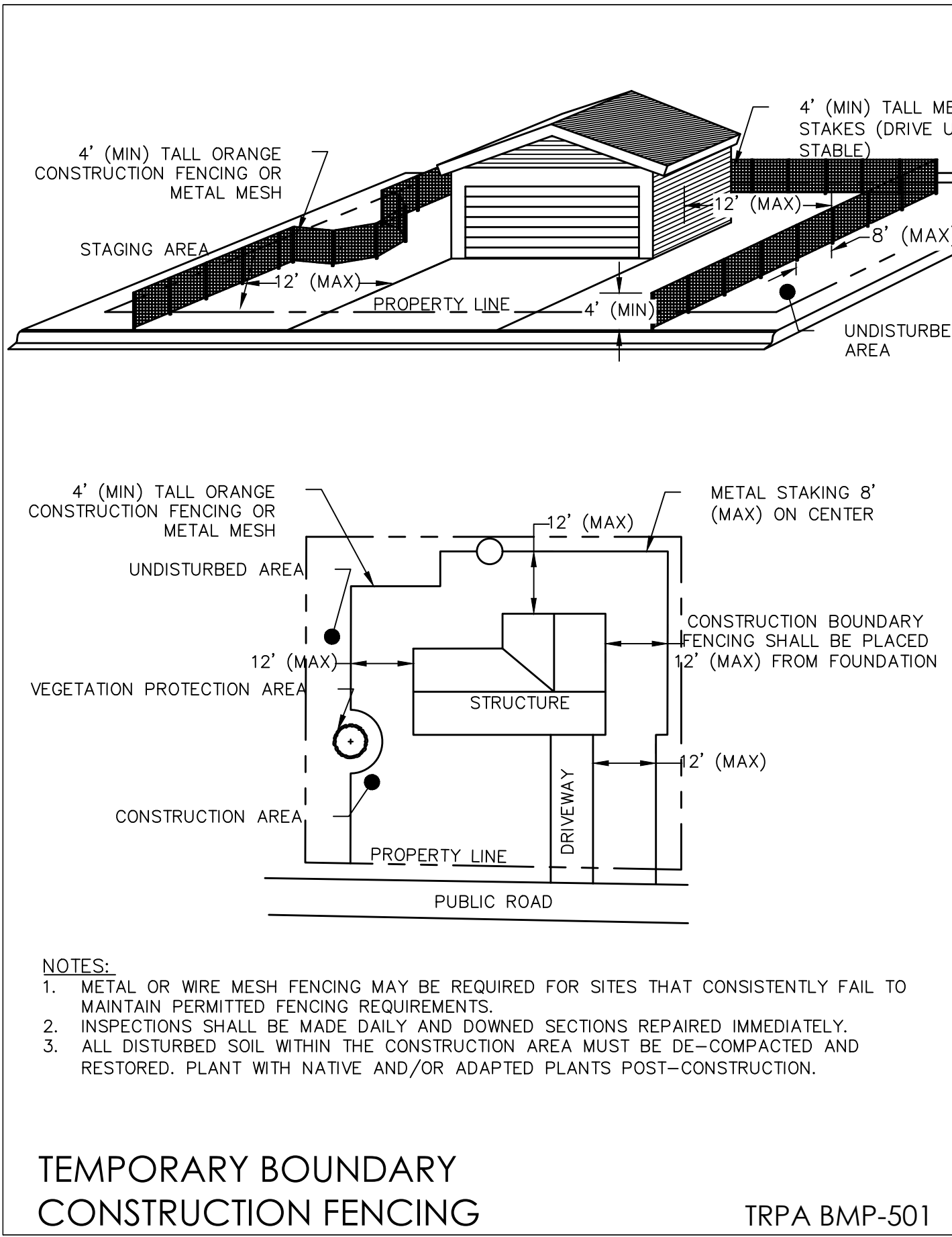
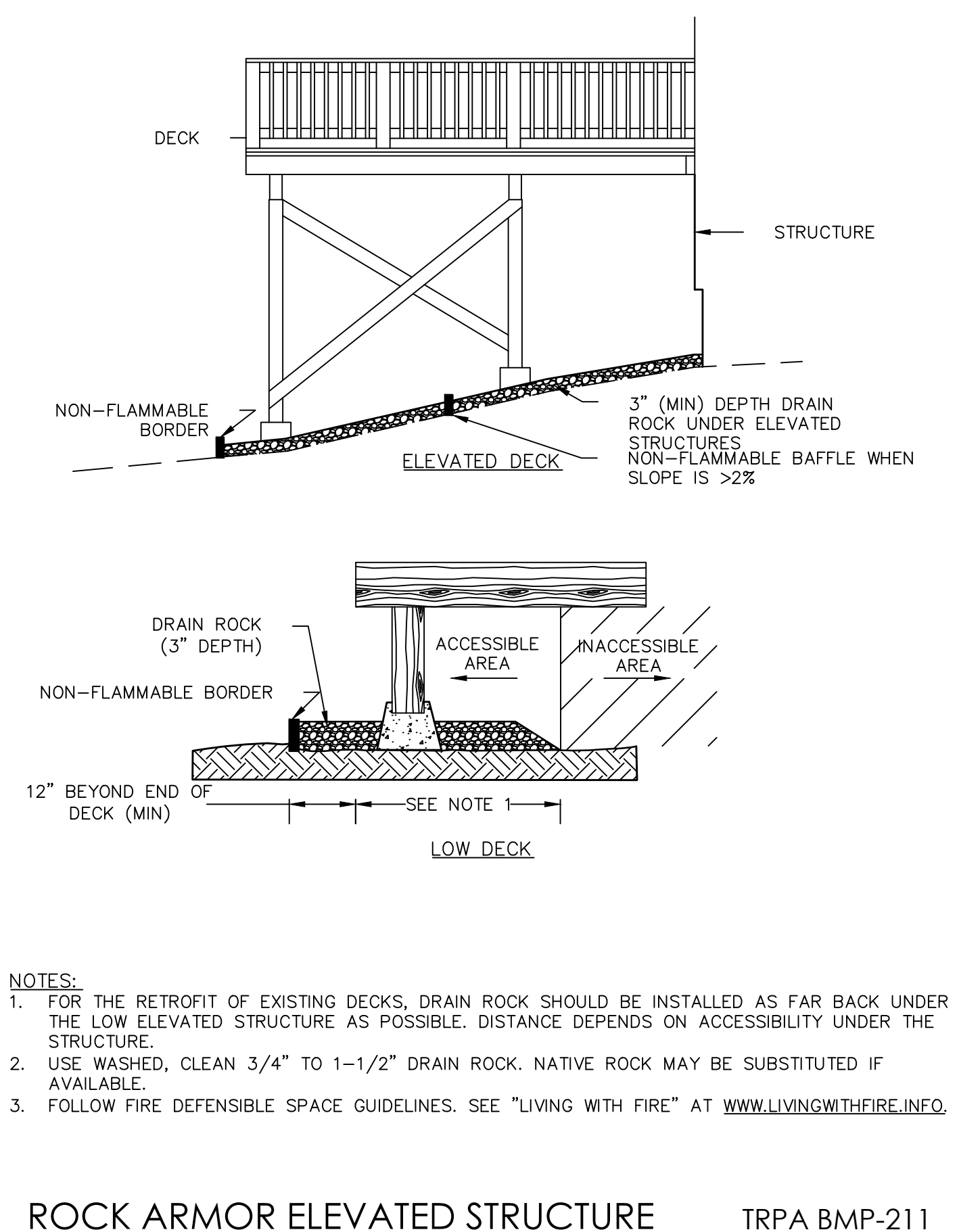
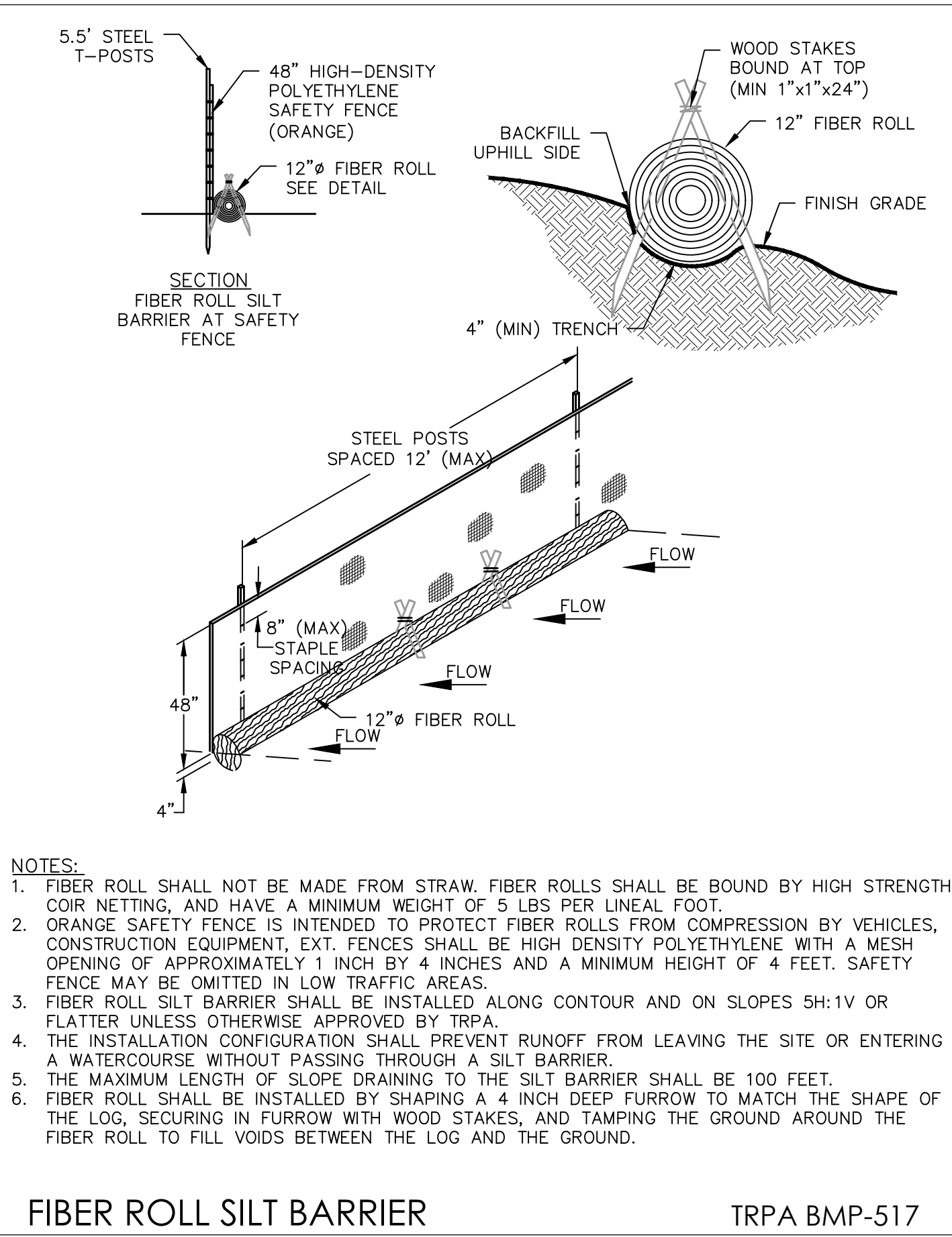
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Site Plan

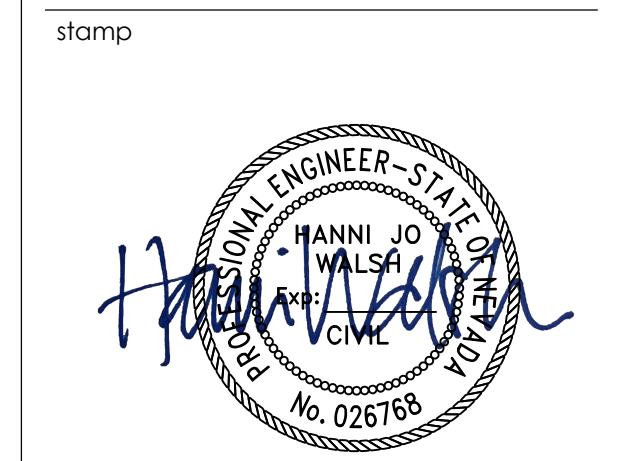
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C1.1

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3080 N. Lake Blvd, Suite 203
Tahoe City, CA 96145
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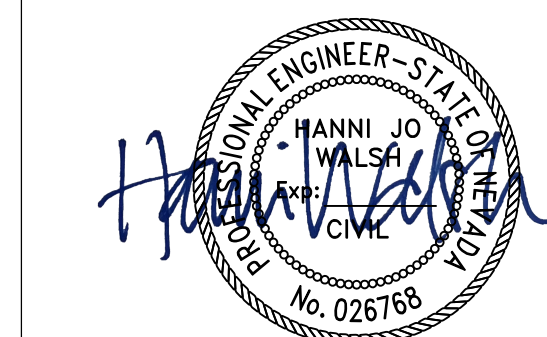
project number	2022.043	
drawn by	JJ checked by BA	
ISSUES & REVISIONS		
no.	description	date
1	Douglas County Submittal	2023.07.06
2	TRPA Submittal	2023.07.06

project location

Remodel & Addition for:
Kevin Jerde
192 Foothill Drive
Zephyr Cove NV
Douglas County APN: 1318-10-310-045

description
BMP Details

stamp



07/06/2023

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project number 2022.043

drawn by SS checked by BA

ISSUES & REVISIONS

no.	description	date
1	Douglas County Submittal	2023.07.06
2	TRPA Submittal	2023.07.06

project location

Remodel & Addition for:

Thorsten Renovations LLC
192 Foothill Drive
Zephyr Cove Nevada
Douglas County 1318-10-310-045

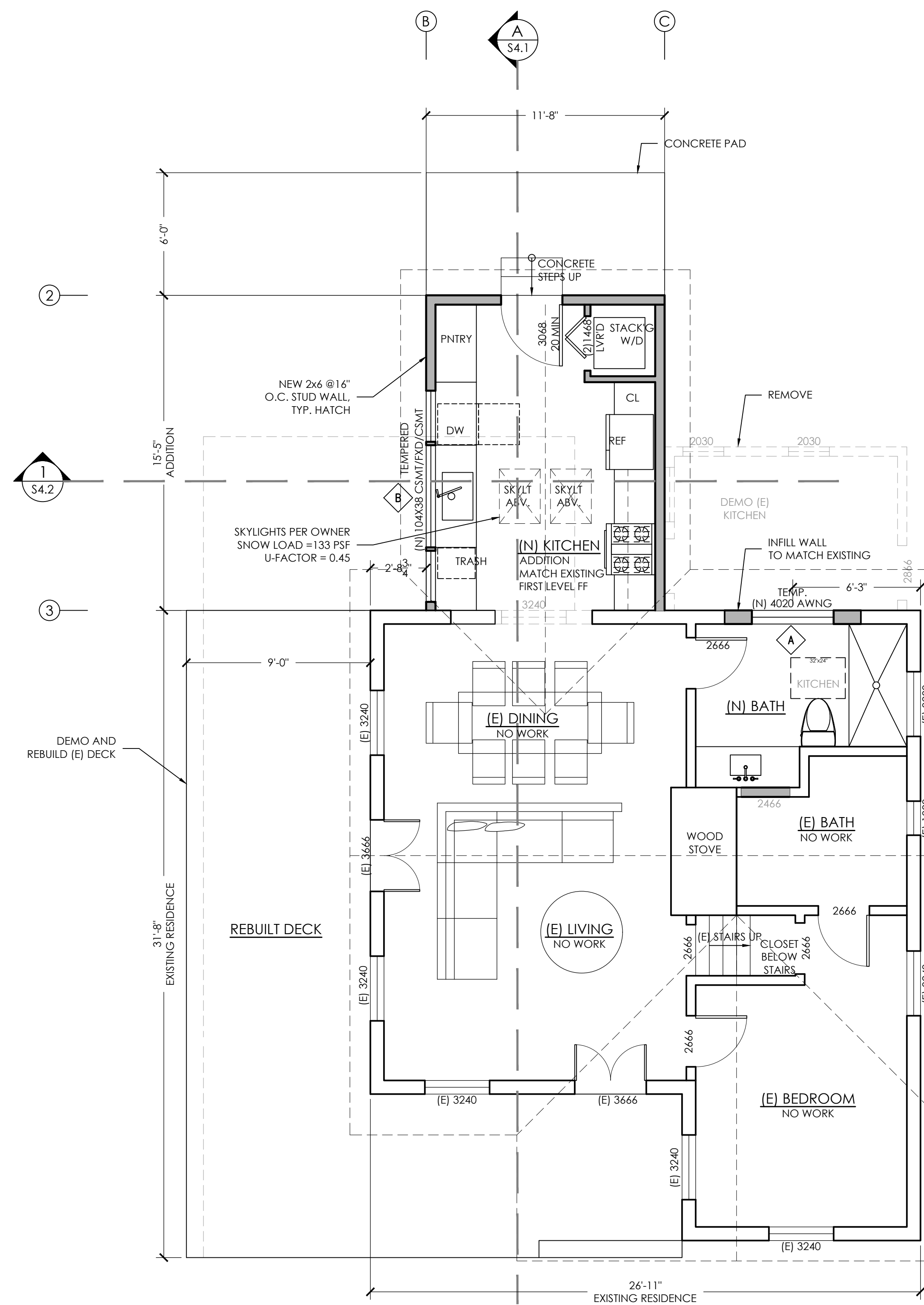
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**Proposed
Floor Plans**



sheet

A2.1



FIRST LEVEL FLOOR PLAN

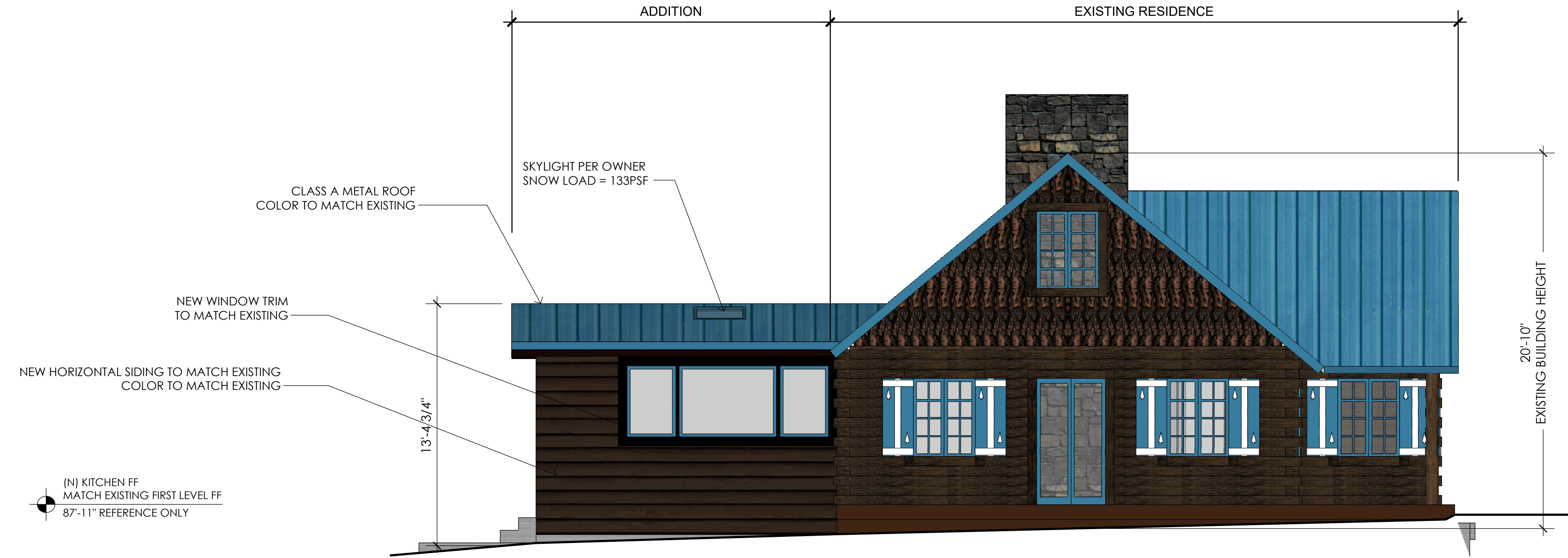
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES:

- SLOPE GRADE A MINIMUM OF 5% FOR 10' AWAY FROM ALL EXTERIOR WALLS.
- ALL DECK RAILINGS TO BE 42" TALL MINIMUM. ALL OPENINGS SHALL BE CONSTRUCTED TO PREVENT A 4" DIAMETER SPHERE FROM PROJECTING THROUGH THE OPENING.
- ALL EXTERIOR WINDOWS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOOR ASSEMBLIES TO BE CONSTRUCTED OF MULTI-PANE GLAZING WITH MIN. OF (1) TEMPERED PANE MEETING THE REQUIREMENTS OF IBC 2406 & U-FACTOR 0.32 OR LESS AND SHGC = 0.25 OR LESS.
- ALL EXTERIOR FINISHES SHALL COMPLY WITH SECTION R337 MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE. SEE SHEET A0.3
- VENTING SYSTEMS SHALL TERMINATE NOT LESS THAN FOUR (4) FEET BELOW, FOUR (4) FEET HORIZONTALLY FROM, AND NOT LESS THAN ONE (1) FOOT ABOVE A DOOR, AN OPERABLE WINDOW, OR A GRAVITY AIR INLET INTO A BUILDING.
- EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF AND TERMINATE AT 2-INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.
- UNDERFLOOR VENTS SHALL EQUAL 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDERFLOOR AREA AND MUST PROVIDE CROSS VENTILATION. IBC SECTION 1203.3.1. OPENINGS MUST BE COVERED WITH A PROTECTIVE NON CORROSIVE MESH WITH NO OPENINGS EXCEEDING 1/8"
- STONE AND MASONRY VENEER SHALL BE INSTALLED IN ACCORDANCE WITH IRC SECTION R703.8. THESE VENEERS INSTALLED OVER A BACKING OF WOOD OR COLD-FORMED STEEL SHALL BE LIMITED TO THE FIRST STORY ABOVE-GRADE AND SHALL NOT EXCEED 5" IN THICKNESS. STONE AND MASONRY VENEER SHALL BE PERMITTED TO A HEIGHT AS SPECIFIED IN TABLE 703.8(2). TIE ATTACHMENT AND AIR SPACE REQUIREMENTS PER TABLE R703.8.4
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ADDRESS IDENTIFICATION NOTE

- BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. CRC SECTION R319.1



North Elevation

1/4" = 1'-0"

TRPA HEIGHT CALCULATIONS:

ROOF PITCH: 6:12
 SITE SLOPE: 3%
 MAX ALLOWABLE BUILDING HEIGHT: 31'-11"
 EXISTING BUILDING HEIGHT: 20'-10"

(N) KITCHEN FF
 MATCH EXISTING FIRST LEVEL FF
 87'-11" REFERENCE ONLY

(N) KITCHEN FF
 MATCH EXISTING FIRST LEVEL FF
 87'-11" REFERENCE ONLY



East Elevation

1/4" = 1'-0"

stamp



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project number: 2023.043

drawn by: SS checked by: BA

issues & revisions

no	description	date
1	Douglas County Submittal	2023.07.06
2	TRPA Submittal	2023.07.06

project location

Remodel & Addition for:

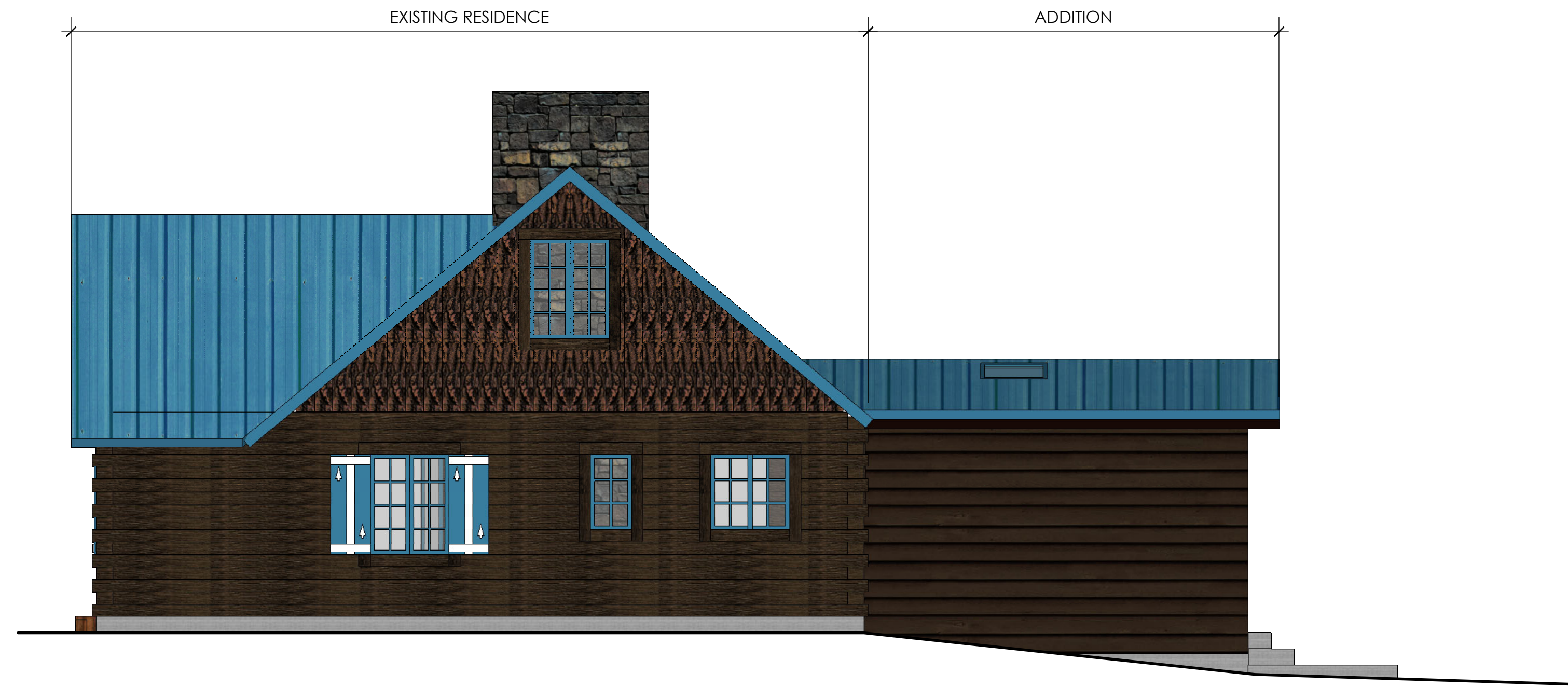
Thorsten Renovations LLC
 192 Foothill Blvd
 Zephyr Cove, Nevada
 Douglas County
 APN: 1318-10-310-045

description

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(N) KITCHEN FF
MATCH EXISTING FIRST LEVEL FF
87'-11" REFERENCE ONLY



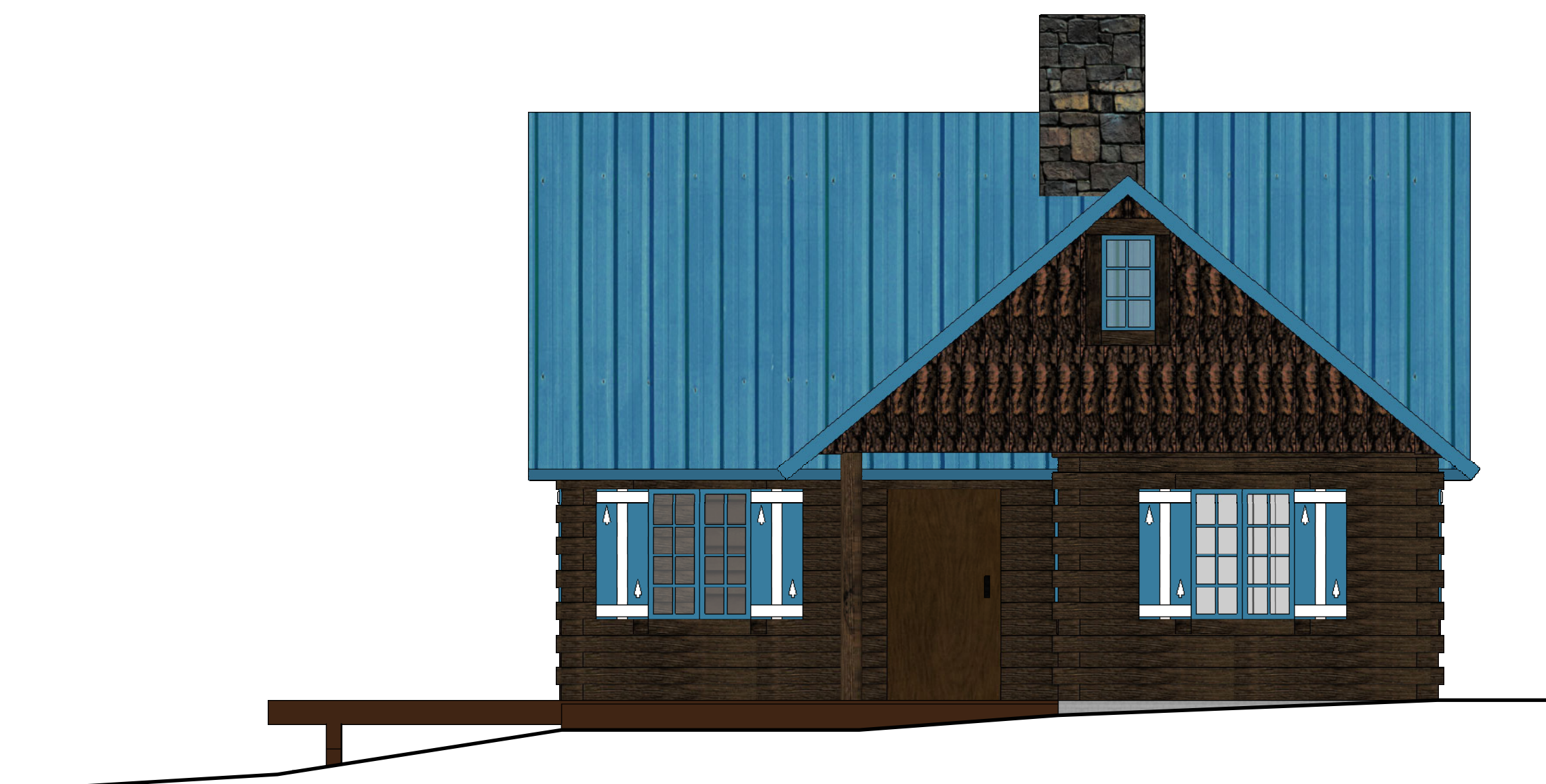
South Elevation

1/4" = 1'-0"

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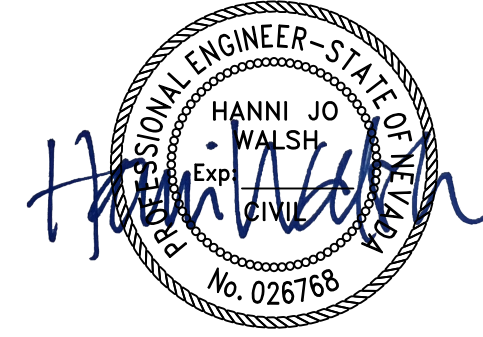
(N) KITCHEN FF
MATCH EXISTING FIRST LEVEL FF
87'-11" REFERENCE ONLY



West Elevation

1/4" = 1'-0"

stamp



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project number: 2023.043

drawn by: SS checked by: BA

issues & revisions

no	description	date
1	Douglas County Submittal	2023.07.05
2	TRPA Submittal	2023.07.05

project location

Remodel & Addition for:

Thorsten Renovations LLC
192 Foothill Blvd
Zephyr Cove, Nevada
Douglas County
APN: 1318-10-310-045

description

Attachment D
Project Review Conformance Checklist and Article V(g) Findings

PROJECT REVIEW CONFORMANCE CHECKLIST & V (g) FINDINGS

(RESIDENTIAL)

Project Name: Jerde Single Family Dwelling Addition

Project Type: Residential - SFD

APN / Project Number: 1318-10-310-045/ ERSP2023-0906

Project Review Planner: Theresa Avance Date of Review: 11/28/23

NOTE: if the answer to question b. on any of the following questions is no, please provide a written justification on a separate sheet for making the findings required in subsections 4.4.1 and 4.4.2 of the code. If the answer to question b. is yes or if no answer is required, this checklist shall serve as justifications for making said findings. Any positive impacts of the project on the thresholds that have not been addressed in these questions should also be noted.

CATEGORY: AIR QUALITY

THRESHOLD: CARBON MONOXIDE (CO)

INDICATOR: (CO) 8-hr. avg. Stateline CA station

- 1. a. Does the project generate new vehicle trips? Y N
b. If yes, is the project consistent with Subsection 65.2.4.B.1? Y N
- 2. a. Does the project create new points of vehicular access? Y N
b. If yes, is the project consistent with Subsection 34.3.2? Y N
- 3. a. Does the project include combustion appliances? Y N
b. If yes, is the project consistent with Subsection 65.1.4? Y N
- 4. a. Does the project include a new stationary source of CO? Y N
b. If yes, is the project consistent with Subsection 65.1.6? Y N

THRESHOLD: OZONE

INDICATOR: Ozone, 1-hr. avg. Lk. Tahoe Blvd station

- 1. a. Does the project increase regional VMT? Y N
b. If yes, is the project consistent with Subsection 65.2.4? Y N
- 2. a. Does the project include new gas/oil space/water heaters? Y N
b. If yes, is the project consistent with Subsection 65.1.4? Y N
- 3. a. Does the project include a new stationary source of NO²? Y N
b. If yes, is the project consistent with Subsection 65.1.6? Y N

THRESHOLD: PARTICULATE MATTER

INDICATOR: Part. Matter, 24-hr. avg. Lk. Tahoe Blvd station

- 1. a. Does the project increase airborne dust emissions? Y N
b. If yes, is the project consistent with Subsection 60.4.3? Y N
- 2. a. Does the project include a new stationary source of particulate matter? Y N
b. If yes, is the project consistent with Subsection 65.1.6? Y N

3. a. Refer to question 1, Ozone, above.

THRESHOLD: VISIBILITY

INDICATOR: miles of visibility, veg and subregional path

1. a. Refer to questions 1-3, Particulate Matter, above.

THRESHOLD: TRAFFIC VOLUME
US 50 CORRIDOR, WINTER, 4pm-12am

INDICATOR: traffic volume, US 50 at Park Ave.
Jan.-Mar. avg., 4pm-12am

1. a. Refer to question 1, CO, above.

THRESHOLD: NO² EMISSIONS

INDICATOR: VMT

1. a. Refer to questions 1-2, VMT, below.

THRESHOLD: WOOD SMOKE

INDICATOR: number of wood heaters

1. a. Does the project include any new wood heaters? Y N
b. If yes, is the project consistent with Subsection 65.1.4.B? Y N

THRESHOLD: VMT

INDICATOR: changes in number of trips and avg. trip length

1. a. Does the project increase average trip length? Y N
b. If yes, is the project consistent with Subsection 65.2.4.B? Y N
2. a. refer to question 1, CO, above.

CATEGORY: WATER QUALITY

THRESHOLD: TURBIDITY

INDICATOR: turbidity of indicator stations

1. a. Does the project increase impervious coverage or create permanent soil disturbance? Y N
b. If yes, is the project consistent with Subsection 60.2.3? Y N
2. a. Does the project create temporary soil disturbance? Y N
b. If yes, is the project consistent with Subsection 60.4.3? Y N
3. a. Does the project require the use of fertilizer? Y N
b. If yes, is the project consistent with Subsection 60.1.8? Y N
4. a. Does the project include domestic wastewater discharge to the surface or groundwater? Y N
b. If yes, is the project consistent with Subsection 60.1.3.B? Y N
5. a. Does the project disturb or encroach on an existing SEZ? Y N
b. If yes, is the project consistent with Subsection 30.5? Y N

THRESHOLD: CLARITY, WINTER (IN LAKE)

INDICATOR: secch depth, Dec.-Mar. avg. TRG index station

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: PHYTOPLANKTON PRIMARY PRODUCTIVITY (IN LAKE)

INDICATOR: phyto, primary productivity, ann. Avg., TRG index station

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: DIN LOAD, SURFACE RUNOFF

INDICATOR: DIN x discharge, tributary network annual total 1

1. a. Refer to questions 1, 2, 3 and 5, turbidity, above.

THRESHOLD: DIN LOAD, GROUNDWATER

INDICATOR: DIN x discharge, grndwtr. Network, annual total

1. a. Refer to questions 2 & 3, turbidity, above.

THRESHOLD: DIN LOAD, ATMOSPHERIC

INDICATOR: NO3 + HNO, annual avg. Lake Tahoe Blvd station

1. a. Refer to question 4, turbidity, above.

THRESHOLD: NUTRIENT LOADS, GENERAL

INDICATOR: sol. P x discharge sol. Fe x

1. a. Refer to questions 1-5, turbidity, above.

THRESHOLD: TOTAL N, P, Fe, (trib.) CA ONLY

INDICATOR: single reading, tributary network

1. a. Refer to questions 1, 2, 3, and 5, turbidity, above.

THRESHOLD: DIN; SOL, P, Fe, SS (trib.) NV ONLY

INDICATOR: single reading tributary network

1. a. Refer to questions 1, 2, 3 and 5, turbidity, above.

THRESHOLD: DIN, SOL, P, Fe, SS, GREASE/OIL DISCHARGED TO SURFACE WATER FROM RUNOFF

INDICATOR: single reading runoff sites

1. a. Does the project route impervious surface runoff directly into Lake Tahoe or a major tributary? Y N
- b. If yes, is the discharge structure consistent with BMP handbook? Y N
2. a. Does the project create large impervious areas (e.g. parking lots) which may serve as a source of airborne pollutants, grease or oil? Y N
- b. If yes, is the project consistent with Subsections 60.4.3, 60.4.6 and 60.4.9? Y N

THRESHOLD: TOTAL N, TOTAL P, TOTAL Fe TURBIDITY, GREASE/OIL DISCHARGE TO GRDWTR FROM RUNOFF

INDICATOR: single reading runoff site

1. a. Does the project include infiltration devices to infiltrate impervious surface runoff directly underground? Y N
- b. If yes, is the project consistent with Subsection 60.4.6? Y N

CATEGORY: SOIL CONSERVATION

THRESHOLD: IMPERVIOUS COVERAGE

INDICATOR: area or coverage

1. a. Does the project include new or relocated coverage? Y N
b. If yes, is the project consistent with Subsection 30.4, 30.5 and 30.6? Y N

THRESHOLD: NATURALLY-FUNCTIONING SEZ

INDICATOR: area of SEZ

1. a. Does the project disturb or encroach on a naturally-functioning SEZ? Y N
b. If yes, is the project consistent with Subsection 30.5? Y N

CATEGORY: VEGETATION

THRESHOLD: PLANT & STRUCTURAL DIVERSITY

INDICATOR: plant & structural diversity

1. a. Does the project create a change in diversity? Y N
b. If yes, does the project include vegetation management techniques to increase diversity (reveg., thinning)? Y N

THRESHOLD: MEADOW & RIPARIAN VEGETATION

INDICATOR: area of meadow & riparian veg.

1. a. Refer to question 5, turbidity, above.

THRESHOLD: DECIDUOUS RIPARIAN VEGETATION

INDICATOR: area of riparian vegetation

1. a. Refer to question 5, turbidity, above.

THRESHOLD: SHRUB ASSOCIATION

INDICATOR: area of shrub association

1. a. Does the project create an increase in the areal extent of the shrub association? Y N
b. If yes, has the additional area been calculated, and a determination been made that the total area is less than or equal to 25%? Y N

THRESHOLD: YELLOW PINE ASSOCIATION (not mature)

INDICATOR: area of yellow pine assoc.

1. a. Does the project create a change in the areal extent of the immature yellow pine association? Y N
b. If yes, has the additional area been calculated, and a determination made that the total area in the Region is between 15 and 25%? Y N

THRESHOLD: RED FIR ASSOCIATION

INDICATOR: area of red fir assoc.

1. a. Does the project create a change in the areal extent of the immature red fir association? Y N
b. If yes, has the additional area been calculated, and a determination made that the total area in the Region is between 15 and 25%? Y N

THRESHOLD: FOREST OPENINGS

INDICATOR: size and location of forest openings

1. a. Does the project create new forest openings? Y N
b. If yes, is the new opening less than 8 acres? Y N

2. a. Does the project create new forest openings adjacent to other openings? Y N
- b. If yes, are the resultant adjacent openings not of the same relative age class or successional stage? Y N

THRESHOLD: UNCOMMON PLANT COMMUNITITES

INDICATOR: habitat sites

1. a. Will the project impact the habitats for the deepwater sphagnum bog, Osgood Swamp, or the Freel Peak Cushing Plant Community? Y N
- b. If yes, have modifications been included in the project to protect these plant communities? Y N

THRESHOLD: SENSITIVE VEGETATION

INDICATOR: number of habitat sites

1. a. Will the project impact the habitats of the Carex paucifructus, the Lewis pyomaea longipetala, the Draba asterophora v., or the Rorippa subumbellata? Y N
- b. If yes, have modifications been included in the project to protect these plant communities? Y N

CATEGORY: WILDLIFE

THRESHOLD: SPECIAL INTEREST SPECIES

INDICATOR: number of habitat sites

1. a. Will the project result in the loss, modification or increased disturbance of habitat site for goshawk, osprey, bald eagle, (winter and nesting), golden eagle, peregrine falcon, waterfowl, or deer, as mapped on official TRPA maps? Y N
- b. If yes, have modifications been included in the project to protect these habitat sites? Y N

CATEGORY: FISHERIES

THRESHOLD: EXCELLENT STREAM HABITAT

INDICATOR: sites of excellent stream habitat

1. a. Does the project include stream channelization, stream dredging, removal of rock or gravel from a stream , culverts, bridges, or water diversions affecting a stream identified as fish habitat? Y N
- b. If yes, have modifications been included in the project to offset impacts on stream habitat and contribute to the upgrading of stream habitat? Y N
2. a. Will the project result in siltation, urban runoff, snow disposal, or litter that may affect water quality in a stream identified as fish habitat? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N

THRESHOLD: GOOD STREAM HABITAT

INDICATOR: miles of good stream habitat

1. a. Refer to questions 1 and 2, above.

THRESHOLD: MARGIANL STREAM HABITAT

INDICATOR: miles of marginal stream habitat

1. a. Refer to questions 1 and 2, above.

THRESHOLD: INSTREAM FLOWS

INDICATOR: increase flows

- 1. a. Does the project include new water diversions? Y N
- b. If yes, is there evidence in the record to indicate that flows will remain within adopted TRPA standards or, in the absence of adopted standards, that flows will not be diminished? Y N
- 2. a. Does the project include new coverage or disturbance that could contribute to uncontrolled runoff reaching a stream identified as fish habitat? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N
- 3. a. Refer to question 5, turbidity, above.

THRESHOLD: LAKE HABITAT

INDICATOR: area of excellent habitat

- 1. a. Does the project include development in the shorezone, removal of rock or gravel from the lake, or removal of vegetation in the shorezone? Y N
- b. If yes, is the project consistent with Chapters 80-86? Y N
- 2. a. Does the project increase the potential for siltation, runoff, or erosion entering Lake Tahoe? Y N
- b. If yes, is the project consistent with Subsections 60.4.3 and 60.4.6? Y N

CATEGORY: NOISE

THRESHOLD: COMMUNITY NOISE EQUIVALENT LEVEL (CNEL)

INDICATOR: dBA, CNEL

- 1. a. Does the project involve the creation of a new or relocated land use? Y N
- b. If yes, is the project consistent with the applicable plan area statement? Y N
- 2. a. Is the project located within a transportation corridor as mapped on TRPA maps? Y N
- b. If yes, does the project include components to reduce the transmission of noise from the corridor, in accordance with the TRPA Design Review Guidelines? Y N

CATEGORY: SCENIC RESOURCES

THRESHOLD: ROADWAY AND SHORELINE RATINGS

INDICATOR: ratings

- 1. a. Is the project located within, or visible from, a roadway or shoreline unit targeted for scenic upgrading? Y N
- b. If yes, is the project consistent with the TRPA Scenic Quality Implementation Program (SQUIP)? Y N
- 2. a. Is the project located within, or visible from, a roadway or shoreline unit not targeted for scenic upgrading? Y N
- b. If yes, is there evidence in the record that the project will not cause a significant decrease in scenic quality, and is the project consistent with the TRPA Design Review Guidelines? Y N

CATEGORY: RECREATION

THRESHOLD: PRESERVE AND ENHANCE THE HIGH QUALITY RECREATION EXPERIENCE

INDICATOR: dispersed rec. capacity

- 1. a. Is the project located in a conservation or recreation plan area? Y N
- b. If yes, is the project consistent with the applicable plan area statement? Y N

CATEGORY: CODE/RULES OF PROCEDURE REQUIREMENTS

- 1. Does the project require Governing Board Review (Chapter 2)? Y N
- 5. Does the project require notice to adjacent property owners (Art. XII Rules of Procedure)? Y N

6. Is the project consistent with the following:

Chapter 2	(Project Review)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 6	(Tracking-Data Sheets/Log Book)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 21	(Permissible Uses)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 22	(Temporary Uses)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 30	(Coverage)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 31	(Density)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 32	(Basic Service)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.3	(Grading)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.4	(Special Reports)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.5	(Construction Schedule)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 33.6	(Vegetation Protection)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 34	(Driveways)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 34	(Parking)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 35	(Natural Hazards-Floodplain)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 36	(Design Standards)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 37	(Height)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 38	(Signs)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 50	(Allocations)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 51	(Transfers)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 52	(Bonus Units-MFD only)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 53	(IPES)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 60	(BMP's)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 60.1	(Water Quality)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 60.2	(Water Quality Mitigation)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.1	(Tree Removal)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.3.6	(Sensitive Plants/Fire Hazard)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 61.4	(Revegetation)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 62	(Wildlife)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 63	(Fish)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 65.1	(Air Quality)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
Chapter 65.2	(Traffic/Air Quality Mitigation)	N/A	<input checked="" type="checkbox"/>	Y <input type="checkbox"/>	N <input type="checkbox"/>
Chapter 67	(Historic Resource)	N/A	<input type="checkbox"/>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>