TAHOE REGIONAL PLANNING AGENCY

Mail
PO Box 5310
Stateline, NV 89449-5310

Location
128 Market Street
Stateline, NV 89449

Contact
Phone: 775-588-4547
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www.trpa.gov

Date: September 7, 2023

To: TRPA Hearings Officer

From: TRPA Staff

Subject: Single-Family Residential Rebuild for North Shore TVCA LLC, 6650 North Lake Boulevard, Tahoe Vista, Placer County, CA; Assessor's Parcel Number (APN): 117-072-006; TRPA File No.: ERSP2023-0707

Requested Action:
Hearings Officer action on the proposed project and a finding of no significant environmental effect.

Staff Recommendation:
Staff recommends the Hearings Officer make the required findings (Attachment A) and approve the proposed project based on this staff summary and the evidence contained in the project record. The recommended conditions of approval are contained in the attached Draft Permit (see Attachment B).

Project Description/Background:
The subject property is a 36,585 square foot littoral parcel located primarily in a stream environment zone (Class 1b - SEZ). The existing development includes a residence, two accessory buildings, lakefront deck and gravel driveway. A retaining wall / breakwater, stairs, and pier extend into the shorezone.
The project proposes demolition and reconstruction of the residence and accessory structures. New improvements include a single-story residence, small detached garage/studio, utility shed, and sauna. The driveway will be paved and reconfigured to address fire department standards. The existing retaining wall / breakwater will be repaired, with the rock veneer replaced. Best Management Practices will be installed for the property as part of this project.

Staff Analysis:

A. Environmental Documentation: TRPA staff has completed the "Project Review Conformance Checklist and Article V (g) Findings" in accordance with Subsection 4.4.2 of the TRPA Code of Ordinances. All responses contained on said checklist indicate compliance with the environmental threshold carrying capacities. A copy of the completed checklist will be made available at the Hearings Officer meeting and at TRPA.

B. Plan Area Statement: The project is located within the Mixed-Use Gateway West (MU-GW) subdistrict of the Placer County Tahoe Basin Area Plan. Agency staff has reviewed the subject Area Plan and has determined that the project, with conditions of approval, is consistent with the applicable development standards, guidelines, and special policies. Conditions of approval require a 6-foot sidewalk, landscaping, and pedestrian lighting consistent with Area Plan standards.

C. Land Use: The land use (Single Family Dwelling) requires a Minor Use Permit in the MU-GW subdistrict. For lakefront properties requiring TRPA review, the equivalent process is special use permit review and approval by a Hearings Officer in accordance with Section 2.2.2.2.a of the TRPA Code. It should be noted that the Area Plan discourages, but does not prohibit, ground floor residential uses along Highway 28. In this case, the single family residential use is long-standing, the project is improving environmental conditions, and the narrow lot would complicate design options for non-residential projects.

C. Land Coverage*:* This project complies with land coverage requirements of the TRPA Code of Ordinances. The parcel is located on Class 1b and Class 5 land, per TRPA file LCAP2010-0344. The parcel is 36,585 square feet in size. The 31,620 square feet of Class 1b land has 316 square feet of base allowable coverage and 10,311 square feet of coverage verified as legally existing. The 4,965 square feet of Class 5 land has 1,241 square feet of base allowable coverage and 746 square feet of coverage verified as legally existing. Coverage resulting from this project includes 10,311 square feet on Class 1b land and 1,153 square feet on Class 5 land. New Class 5 coverage is subject to water quality mitigation fees. No new coverage is being created in Class 1b and the total includes 1,304 square feet being retired for relocation mitigation. Excess coverage mitigation is required based on 9,995 square feet of excess class 1b coverage.

D. Density: This project complies with residential density requirements of the TRPA Code of Ordinances and Area Plan.

E. Historic: The original construction of the structures occurred around 1948. The structures have been significantly modified and are considered not historically significant (historic determination file HIST2023-0887).

F. Scenic: This property is visible from Shoreline Unit 21 (Agate Bay), which is currently in attainment with scenic thresholds. The project has been reviewed under Level 5, Option 2 of the visual magnitude system. The project will result in 890 square feet of visible area (maximum allowed visible area is 900 square feet). Required scenic mitigation includes additional vegetative screening, 11 percent maximum window reflectivity, and use of TRPA approved non-reflective colors and materials. Post-construction monitoring is proposed as a special condition of the permit, to ensure that the project meets the required scenic mitigation. The property is also visible from Scenic Highway Unit 20A (Tahoe Vista), which is not in attainment with threshold standards. The project is in conformance with applicable scenic highway standards.

G. Tree Removal: Four trees sized between 14” diameter and 24” diameter are proposed to be removed to accommodate the residence, driveway modification, and shed. Over 30 small trees and saplings under 14 inches diameter are also proposed for removal. At least 50 trees remain on site, including most of the larger trees, all of the trees between the home and Lake Tahoe, and all of the trees along the highway 28 frontage.

Contact Information:

If you have any questions, please contact Julie Roll, Senior Planner at jroll@trpa.gov or (775) 589-5247.

Required Actions: Staff recommends that the Hearings Officer take the following actions:

I. Approve the findings contained in this staff summary, and a finding of no significant environmental effect.

II. Approve the project, based on the staff summary, and record evidence, subject to the conditions contained in the attached Draft TRPA Permit (Attachment B).

Attachments:

A. Required Findings/Rationale
B. Draft Permit
C. Vicinity Map
D. Proposed Project Plans
E. Photos

Attachment A
Required Findings/Rationale

Attachment A: Required Findings/Rationale

The following is a list of the required findings as set forth in Chapters 4, 21, 30, and 37 of the TRPA Code of Ordinances. Following each finding, Agency staff has indicated if there is sufficient evidence contained in the record to make the applicable findings or has briefly summarized the evidence on which the finding can be made.

1. Chapter 4 – Required Findings:

   (a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

   Based on the findings provided on the Article V(g) Findings Checklist, there is sufficient evidence in the project file to make this finding.

   (b) The project will not cause the environmental threshold carrying capacities to be exceeded.

   The project meets the provisions of the TRPA Code of Ordinances; no significant environmental impacts will occur, and it will not cause the environmental threshold carrying capacities to be exceeded.

   (c) Wherever federal, state or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TPRA Compact, the project meets or exceeds such standards.

   All potential effects are temporary and shall be mitigated through temporary and permanent Best Management Practices (BMPs). The applicant will meet or exceed all federal, state, or local water quality standards. Upon completion of construction, the project will have no impact upon water quality standards.

2. Chapter 21 – Special Use Findings:

   (a) The project, to which the use pertains, is of such a nature, scale, density, intensity and type to be an appropriate use for the parcel on which, and surrounding area in which, it will be located.

   A single family dwelling requires a minor use permit in the MU-GW Area Plan subdistrict. For lakefront properties requiring TRPA review, the equivalent process is special use permit review and approval by a Hearings Officer in accordance with Section 2.2.2.2.a of the TRPA Code. This is required despite the residence already existing.

   The Area Plan identifies the MU-GW subdistrict as a TDR receiving area. A variety of residential, commercial, and lodging uses are allowed. Street frontage improvements are a priority and are required for significant projects. Along highway 28, ground floor residential uses are discouraged, but not prohibited.

In this case, the single family residential use is long-standing and is appropriate for the parcel. The adjoining property to the west is also developed with a single family residence. The larger parcel to the east has a cabin-style lodging development. The subject parcel is narrow and deep, which would complicate design options for a non-residential project.

The existing development pattern is not ideal, with extensive land alteration and coverage in class 1b land and extending to the retaining wall / breakwater near the high water line. The home was originally built around 1948 and has been significantly modified since then. The home and accessory structures are considered not historically significant per historic determination file HIST2023-0887.

The proposed project retains the existing retaining wall / breakwater (with repairs) and the same general building site. As proposed, the remodel will remain single-story, and will blend in the with the existing tree canopy.

Design non-conformances will be reduced and compatibility enhanced by converting the lakeside deck to landscaping, relocating buildings and other coverage to be outside the 10 foot backshore setback, retiring class 1b coverage, limiting building height to one story, color and material improvements, retaining existing trees, street frontage improvements, dark sky lighting, BMPs, and additional scenic mitigation.

The proposed project is a significant improvement to the existing single family home, does not change or intensify land uses, and is appropriate for the site and compatible with the surrounding area.

(b) The project to which the use pertains, will not be injurious or disturbing to the health, safety, enjoyment of property, or general welfare of persons or property in the neighborhood, or general welfare of the region, and the applicant has taken reasonable steps to protect against any such injury and to protect the land, water, and air resources of both the applicant's property and that of surrounding property owners.

The project will comply with all TRPA and Placer County rules and regulations.

The project retains and enhances the current development site and improvements. No health, safety, or general welfare impacts have been identified. Existing non-conformities are reduced with the improvements listed above. Water Quality Best Management Practices will be installed on the entire site.

(c) The project, to which the use pertains, will not change the character of the neighborhood or detrimentally affect or alter the purpose of the applicable planning area statement, community plan and specific or master plan, as the case may be.

The proposed project retains existing land use patterns and neighborhood character. The project is a permissible use, utilizes small scale structures similar to those in the surrounding area, and provides streetscape improvements consistent with area plan

standards. For these reasons, the project will not change the character of the neighborhood or detrimentally affect the purpose of this Area Plan subdistrict.

3. Chapter 30 – Coverage Relocation

A. The relocation is to an equal or superior portion of the parcel or project area, as determined by reference to the following factors:

(1) Whether the area of relocation already has been disturbed;

(2) The slope of and natural vegetation on the area of relocation;

(3) The fragility of the soil on the area of relocation;

(4) Whether the area of relocation appropriately fits the scheme of use of the property;

(5) The relocation does not further encroach into a stream environment zone, backshore, or the setbacks established in the Code for the protection of stream environment or backshore;

(6) The project otherwise complies with the land coverage mitigation program set forth in Section 30.6.

Small amounts of coverage along the driveway edge are relocated within Class 5 areas of comparable capability. Relocations are consistent with factors 1-6 and do not encroach into SEZ setbacks.

Significant amounts of coverage are relocated within Class 1b areas. The relocations eliminate encroachments into backshore setbacks, reduce the driveway size, and reduce coverage near Lake Tahoe. Receiving areas are located further from Lake Tahoe in the front yard and along the driveway edge. See additional discussion below.

B. The area from which the land coverage was removed for relocation is restored in accordance with subsection 30.5.3

The project will restore all coverage removal areas.

C. The relocation shall not be to Land Capability Districts 1a, 1b, 1c, 2, or 3 from any higher numbered land capability district.

No coverage is relocated into class 1b land.

D. If the relocation is from one portion of a stream environment zone to another portion, there is a net environmental benefit to the stream environment zone. "Net environmental benefit to a stream environment zone" is defined as an improvement in the functioning of the stream environment zone and includes, but is not limited to:

(1) Relocation of coverage from a less disturbed area to a more disturbed area or to an area further away from the stream channel or water body, as applicable;

(2) Retirement of land coverage in the affected stream environment zone in the amount of 1.5:1 of the amount of land coverage being relocated within a stream environment zone; or

(3) For projects involving the relocation of more than 1,000 square feet of land coverage within a stream environment zone, a finding, based on a report prepared by a qualified professional, that the relocation will improve the functioning of the stream environment zone and will not negatively affect the

2,607 square feet of class 1b coverage is relocated to other class 1b land.

Relocated coverage is moved further from Lake Tahoe and is entirely removed from the backshore setback area (except for pier/beach access). Driveway coverage is reduced to the minimum necessary by replacing the gravel loop drive with a paved y-turn design. An alternative materials and methods request was approved by the North Tahoe Fire Protection District to minimize driveway coverage.

Relocated coverage is mitigated at a 1:1.5 ratio, resulting in the retirement of 1,304 square feet of class 1b coverage with this project.

The project involves more than 1,000 square feet of relocated class 1b coverage. A Stream Environment Zone Analysis Report was prepared by Geoff Cline, the Principal Biologist for Provost & Prichard Consulting Group. The report documented improved functioning of the stream environmental zone resulting from reduced coverage in the backshore setback, 1,304 square feet of retired class 1b coverage, and site plan enhancements.

For these reasons, the proposed coverage transfers are expected to result in a net environmental benefit and the findings for coverage relocation are satisfied.

4. Chapter 37- Height

(a) When viewed from major arterials, scenic turnouts, public recreation areas or the waters of Lake Tahoe, from a distance of 300 feet, the additional height will not cause a building to extend above the forest canopy, when present, or a ridgeline.

The slope across the building site is about 4 percent. With a predominate roof pitch of 10:12, the maximum allowed height is 37’ 0”. The residence will remain single-story, and the proposed height is 26’ 4”, within the maximum allowed per TRPA Code Section 37.7. The home will not extend beyond the forest canopy or ridgeline when viewed from a distance of 300 feet from any designated scenic viewpoint. Photos taken from 300-feet off the shore have been provided as part of the application.

(b) When outside a community plan, the additional height is consistent with the surrounding uses.

The surrounding area is a mix of single-story and multi-story buildings. The residence will remain as a single-story building, which is consistent with other homes in the surrounding area.

(c) The maximum building height at any corner of two exterior walls of the building is not greater than 90 percent of the maximum building height. The maximum height at the corner of two exterior walls is the difference between the point of lowest natural ground elevation along an exterior wall of the building and point at which the corner of the same exterior wall meets the roof.

The maximum building height at any corner of two exterior walls is not greater than 90 percent of the maximum building height (33.2 feet).

Attachment B
Draft Permit

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September 14, 2023

Ogilvy Consulting
Post Office Box 6315
Tahoe City, CA 96145

SINGLE FAMILY RESIDENTIAL REBUILD, 6650 NORTH LAKE BLVD, APN 117-072-006, PLACER COUNTY, CALIFORNIA, TRPA FILE NUMBER ERSP2023-0707

Dear Ogilvy Consulting:

Enclosed please find the Tahoe Regional Planning Agency (TRPA) permit and attachments for the project referenced above. If you accept and agree to comply with the Permit conditions as stated, please make a copy of the permit, sign the "Permittee's Acceptance" block on the first page the Permit, and return the signed copy to TRPA within twenty-one (21) calendar days of issuance. Should the permittee fail to return the signed permit within twenty-one (21) calendar days of issuance, the permit will be subject to nullification. Please note that signing the permit does not in itself constitute acknowledgement of the permit, but rather acceptance of the conditions of the permit.

TRPA will acknowledge the original permit only after all standard and special conditions of approval have been satisfied. Please schedule an appointment with me to finalize your project or submit final documents electronically via email.

Pursuant to Rule 11.2 of the TRPA Rules of Procedure, this permit may be appealed within twenty-one (21) days of the date of this correspondence.

Thank you very much for your assistance in this matter. Please feel free to call me if you have any questions regarding this letter or your permit in general.

Sincerely,

Julie Roll
Senior Planner

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Draft
PERMIT

PROJECT DESCRIPTION: Single-Family Residential Rebuild APN: 117-072-006

PERMITTEE(S): North Shore TVCA LLC FILE #: ERSP2023-0707

COUNTY/LOCATION: Placer County/6650 North Lake Blvd.

Having made the findings required by Agency ordinances and rules, the TRPA Hearings Officer approved the project on September 14, 2023 subject to the standard conditions of approval attached hereto (Attachment R) and the special conditions found in this permit.

This permit shall expire on September 14, 2026 without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Commencement of construction consists of pouring concrete for a foundation and does not include grading, installation of utilities or landscaping. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action which delayed or rendered impossible the diligent pursuit of the permit.

NO DEMOLITION, TREE REMOVAL, CONSTRUCTION OR GRADING SHALL COMMENCE UNTIL:

(1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
(2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
(3) THE PERMITTEE OBTAINS A COUNTY BUILDING PERMIT. TRPA'S ACKNOWLEDGEMENT IS NECESSARY TO OBTAIN A COUNTY BUILDING PERMIT. THE COUNTY PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
(4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

_____ 9/14/2023
TRPA Executive Director/Designee Date

PERMITTEE'S ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of Permittee(s)_____ Date_____

PERMIT CONTINUED ON NEXT PAGE

APN 117-072-006
FILE NO. ERSP2023-0707

Water Quality Mitigation Fee:	Amount $757.02	Paid _____	Receipt _____
Excess Coverage Mitigation Fee (1):	Amount $_____	Paid _____	Receipt _____
Security Posted (2):	Amount $3,300	Paid _____	Receipt _____
Security Administrative Fee (3):	Amount _____	Paid _____	Receipt _____
Scenic Security Posted (4):	Amount $5,000	Paid _____	Receipt _____
Security Administrative Fee (3):	Amount _____	Paid _____	Receipt _____
Scenic Inspection Fee (4):	Amount $141	Paid _____	Receipt _____

Notes:
(1) To be Determined, See Special Condition 3.L below
(2) See Special Condition 3.M below
(3) Security Administrative fee subject to changes; see filing fee schedule for current fee amount.
(4) See Special Condition 3.N below

Required plans determined to be in conformance with approval: Date:_____

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date:

_____ _____
TRPA Executive Director/Designee Date

SPECIAL CONDITIONS

1. This permit specifically authorizes the demolition and reconstruction of an existing lakefront single-family residence and accessory structures within the Mixed-Use Gateway West subdistrict of the Placer County Tahoe Basin Area Plan, along with breakwater repairs extending into the shorezone. This approval is based on the revised plan set that was submitted on August 16, 2023. The property is verified as Class 1b and Class 5. Verified land coverage totals 10,311 square feet in Class 1b and 746 square feet in Class 5. The proposed project will use 10,311 square feet of Class 1b coverage (including 1,304 square feet permanently retired) and 1,153 square feet of Class 5 coverage. As a result of the project, 88 square feet of Class 5 coverage will be available for future use or transfer. New water quality Best Management Practices (BMPs) will be installed

as part of this project and the parcel will be issued a BMP Certificate upon passing the final inspection.

The subject parcel is visible from Shoreline Unit 21, Agate Bay, which is currently in attainment with scenic thresholds. The visual assessment for the proposed project was evaluated under and complies with Level 5, Option 2. (Section 66.3.3.E.2. of the TRPA Code of Ordinances). The project proposes a contrast rating score of 23 points. The total square feet of the visible area allowed for this project area is 900 square feet. The total proposed visible area is 890 square feet.

2. The Standard Conditions of Approval listed in Attachment R shall apply to this permit.

3. Prior to permit acknowledgement, the following conditions of approval must be satisfied:

- Expand the final plan set to include information contained in the scenic visibility sheet (sheet L1.0), planting plan (sheet L1.1), and exterior materials exhibit.

- Provide a landscaping and/or restoration plan that at a minimum includes the Highway 28 frontage, the area between the residence and Lake Tahoe, and all coverage removal areas.

- Provide street frontage improvements consistent with special policy 2 of the Area Plan standards (subsection 2.04.C.2.b.ii) and the design standards for street frontage improvements (subsection 2.04.C.4). Improvements shall include curb and 6 foot wide sidewalk for the entire street frontage, enhanced landscaping within the 20 foot front setback area (including screening of the new utility shed), and pedestrian street lights consistent with one of the Area Plan design options. Special policy 10 also requires undergrounding of overhead utilities, with exceptions. For this property, undergrounding on-site utilities is required, but the existing powerline along the highway 28 street frontage may remain overhead. This waiver is appropriate because the power line is not underground on nearby properties, is not interfering with views of Lake Tahoe, and the additional pole required to underground utilities for this property may offset scenic benefits.

- Provide product information, noise reducing design features, and/or a noise analysis as needed to demonstrate that noise from the proposed generator will not exceed 55 dB at the front property line during regular generator operations.

- The civil improvement plans (Sheets C1.1 through C2.3) shall be revised to include the following:

    (1) Label the vegetation protection detail drawings on sheet C2.1 consistent with the labels on plan sheet C1.1.

    (2) Label additional locations for tree trunk protection in constrained areas (detail 2/C2.0). Include protections for the lakefront trees, the 26 inch tree along the east building elevation, the 26 inch tree near the entry gate, and the retained front yard trees within the construction boundary fencing.

    (3) Extend the temporary erosion control barrier to follow the entire length of the construction area boundary fence.

(4) Indicate staging areas for construction equipment and materials.

(5) Modify drawings and notes for shorezone improvements. Depict and label existing and planned beach stairs. Depict and label the relocated opening in the retaining wall / breakwater that will be required. Add a prominent note for shorezone improvements: "Note: Plans depict shorezone improvements including relocated pier, beach stairs, and opening in the retaining wall / breakwater. These improvements reflect property owner plans for a future shorezone permit application and are not approved with this permit. A pier relocation or demolition/banking permit shall be issued prior to final inspection. Separate permits are required for any improvements in the shorezone, except repair of the existing retaining wall / breakwater." Add the same note on the site plan (sheet A1.1).

(6) Provide BMPs and calculations for the sauna coverage area.

(7) Provide ground armor (3 inch deep by 12 inch wide drain rock or suitable alternative) beneath the roof driplines that have gutters in lieu of dripline trenches.

(8) Remove the perforated pipe from BMP treatments C and D. Reference detail 9/C2.1 for treatment D.

(9) Modify BMP treatments E and K to use shallow infiltration facilities that do not extend below elevation 6,230.1' (the high water elevation of Lake Tahoe plus 1 foot). Also modify treatment M to not extend below elevation 6,230.1'.

(10) Enhance driveway BMPs with 3 cleanable sediment traps (detail 2/C2.2) located at 2 points along treatment P and where treatments P and M meet. Provide driveway edge armor (3 inch deep by 12 inch wide infiltration trench or suitable alternative) adjacent to the driveway edges that do not have BMP treatments. Expand armor width to the toe of slopes adjacent to the driveway.

(11) Correct inconsistencies for treatments M, N, O, and P; including contributing areas, BMP treatments, labels and calculations. Contributing areas for the driveway BMPs (areas M and P) are less than proposed driveway coverage. Treatment N is included in calculations but not in plan drawings. There are two surface O areas not fully reflected in calculations.

(12) Specify materials and appropriate BMPs for the path to the proposed pier and the adjacent stairs. If the path is impervious, drain to an extension of treatment L.

(13) Add a note indicating: "All areas disturbed by construction shall be revegetated in accordance with the TRPA Handbook of Best Management Practices and Living with Fire, Lake Tahoe Basin, Second Edition."

(14) Add a note indicating: "Dust control measures shall be in place during construction. Broadcast mulch shall not be permitted as a dust control measure within 35 feet of structures."

(15) Special provisions are required for tree protection in the rear yard. Update plans to reflect the following:

(a) Note that demolition of the existing rear yard deck, fencing, and tree surrounds shall be completed by hand. No construction equipment (excavators, backhoes, etc) are allowed to the south of the proposed building and deck.

(b) Where tree exists within the construction area, the vegetation protection fencing must be placed beyond the drip-line of the outermost branches or, in limited instances, at the limit of the residential foundation. No equipment, personnel or disturbance is allowed within the vegetation fencing. The vegetation protection fencing required for the four rear yard trees shall be located to the driplines of the tree to the fullest extent possible until excavation for the lakefront building elevation and deck commences. This will block access to the rear yard. Only the portion of the vegetation fencing necessary to access the rear yard may be removed while rear yard work is occurring. A second row of temporary fencing is required around construction areas in the rear yard. Please note this condition on the site plan and ensure the contractors working on site are notified and aware of this permit condition.

(16) Special provisions are required for erosion control in the backshore and shorezone. Update plans to reflect the following:

(a) Note that all repairs on the rear yard retaining wall / breakwater shall be completed by hand. No construction equipment (excavators, backhoes, etc) is allowed to the south of the proposed building and deck.

(b) Note that the lakefront retaining wall / breakwater will be repaired, not reconstructed, and the rock veneer will be replaced consistent with the exterior materials exhibit.

(c) Add a note to verify completion of a Tahoe Yellow Cress survey, and mitigation if required, prior to work on the retaining wall.

(d) Provide shorezone BMPs for the retaining wall work.

- The coverage plan (sheet A1.2) shall be revised to include the following:

    (1) Updated coverage calculations as follows:

        (a) Round coverage totals to the nearest whole number. 10,311 square feet of class 1 coverage is used, with none banked.

        (b) Change "coverage to be banked" section to "coverage available for future use" and update class 1b to have 0 square feet available.

        (c) Add excess coverage information. There is 9,995 square feet of excess class 1b coverage, with none previously mitigated.

- The floor plans shall be revised to include the following:

    (1) TRPA-approved wood stove, fireplace, space and water heaters.

- The building elevations shall be revised to include the following:

    (1) Show elevations of the bottom of foundations and support footings. Locate and label the maximum depth of excavation. Excavations shall not exceed 5 feet in depth and shall not extend below elevation 6,230,1'.

    (2) Provide additional material and color specifications for non-reflective (matte) paint or unfinished/weathering surfaces for the metal fence, metal roofing, exposed metal flashings/trim, metal chimney, and metal gutters/downspouts.

    (3) Specify 11 percent maximum reflectivity for the south elevation windows.

    (4) Add notes on the garage and utility shed elevation sheets "Materials and colors for accessory buildings shall match materials and colors for the main house (see sheet A3.1)."

- Provide a lighting plan for the project area with light fixtures that are consistent with TRPA Code of Ordinances, Section 36.8, Exterior Lighting Standards, including proposed fixture details. Fixtures that meet these requirements are generally dark sky friendly; examples can be found at www.darksky.org.

- The Permittee shall conduct a Tahoe Yellow Cress survey for the subject property. Surveys shall be conducted during the growing season of June 15th through September 30th prior to commencement of proposed work on the retaining wall extending into the shorezone. If TYC or TYC habitat are present, the Permittee shall submit a TYC avoidance and protection plan to TRPA prior to work in the shorezone.

- A water quality mitigation fee of $757.02 shall be paid to TRPA. This fee is based on the creation of 407 square feet of Class 5 land coverage at a rate of $1.86/sq. ft.

- The affected property has 9,995 square feet of excess Class 1b land coverage. The permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within Hydrologic Transfer Area #9 Agate Bay CA or by submitting an excess coverage mitigation fee.

  To calculate the amount of excess coverage to be removed, use the following formula:

  Estimated project construction cost multiplied by the fee percentage of 2.25% (as identified in Table A of Subsection 30.6.1.C, Chapter 30 of the TRPA Code of Ordinances) divided by the mitigation factor of 8. If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

  An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

  Coverage reduction square footage (as determined by formula above) multiplied by the coverage mitigation cost fee of $8.50 for projects within Hydrologic Transfer Area #9 Agate Bay CA. Please provide a construction cost estimate by your licensed contractor, architect or engineer. In no case should the mitigation fee be less than $200.00.

- The security required under Standard Condition I.B of Attachment R shall be $3,300. Please see Attachment J, Security Procedures, for appropriate methods of posting the security and for calculation of the required security administration fee.

- The shorezone scenic security of $5,000 shall be required per TRPA Code of Ordinances Section 5.9. Please see Attachment J, Security Procedures, for appropriate methods of posting the security and for calculation of the required security administration fee. A $141 non-refundable inspection/review fee is due at permit acknowledgement.

- The permittee shall submit an electronic version of the plan set for electronic stamping.

4. By acceptance of this permit, the permittee agrees that the scenic mitigation authorized under this permit shall be maintained in perpetuity. Failure to meet scenic mitigation requirements is a violation of the permit and TRPA Code of Ordinance Section 5.4 and is subject to enforcement actions.

   A contrast rating score of 23 will be achieved to comply with the required scenic mitigation and qualify for security return. The project has a maximum of 5 years from final inspection to meet the necessary requirements. When the scenic mitigation requirements have been met, the following documentation shall be submitted at https://www.trpa.gov/inspections-and-securities/

   - evidence of the installation of 9-11% reflectivity glass windows

- Post construction photos taken from 300 feet and one quarter mile offshore, with at least one photo from center and perpendicular to the project area, and photos of onsite existing conditions.

5. By acceptance of this permit, the permittee agrees that the scenic mitigation authorized under this permit shall be maintained in perpetuity. Failure to meet scenic mitigation requirements is a violation of the permit and TRPA Code of Ordinance Section 5.4 and is subject to enforcement actions.

6. Tree roots must be protected during excavation to prevent damage to the tree. The following practices are recommended:

   - Tree roots four inches in diameter or greater shall not be severed, if avoidable. Hand dig around roots if necessary.

   - If roots cannot be avoided, cut as far away from the trunk as possible.

   - A clean, vertical cut will provide more protection for the tree than leaving roots torn or crushed.

   - Construction materials shall not be stored within the dripline of the tree.

7. No trees shall be removed (other than those shown on the approved site plan) or trimmed for view enhancement purposes without prior TRPA written approval as per the conditions of the Landscape and Revegetation Plan.

8. Maximum excavation depths shall not exceed 5 feet.

9. All waste resulting from the saw-cutting of pavement shall be removed using a vacuum (or other TRPA approved method) during the cutting process or immediately thereafter. Discharge of waste material to surface drainage features is prohibited and constitutes a violation of this permit.

10. Prior to security release, photos shall be provided to TRPA taken during the construction of any subsurface BMP's or of any trenching and backfilling with gravel.

11. Temporary and permanent BMPs may be field fit by the Environmental Compliance Inspector where appropriate.

12. All exterior lighting shall be consistent with TRPA Code of Ordinances Section 36.8 Exterior Lighting Standards. Specifically, all exterior lighting shall be fully shielded and directed downward so as not to produce obtrusive glare onto the public right-of-way or adjoining properties. Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures projected above the horizontal is prohibited.

13. Disturbance of the lakebed materials shall be kept to the minimum necessary for project construction.

14. This approval is based on the permittee's representation that all plans and information contained in the subject application are true and correct. Should any information or representation submitted in connection with the project application be incorrect or untrue, TRPA may rescind this approval, or take other appropriate action.

15. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board (including individual members), its Planning Commission (including individual members), its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, administrative appeal, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

    Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

Attachment C
Vicinity Map

ERSP2023-0707 6650 North Lake Blvd

8/29/2023

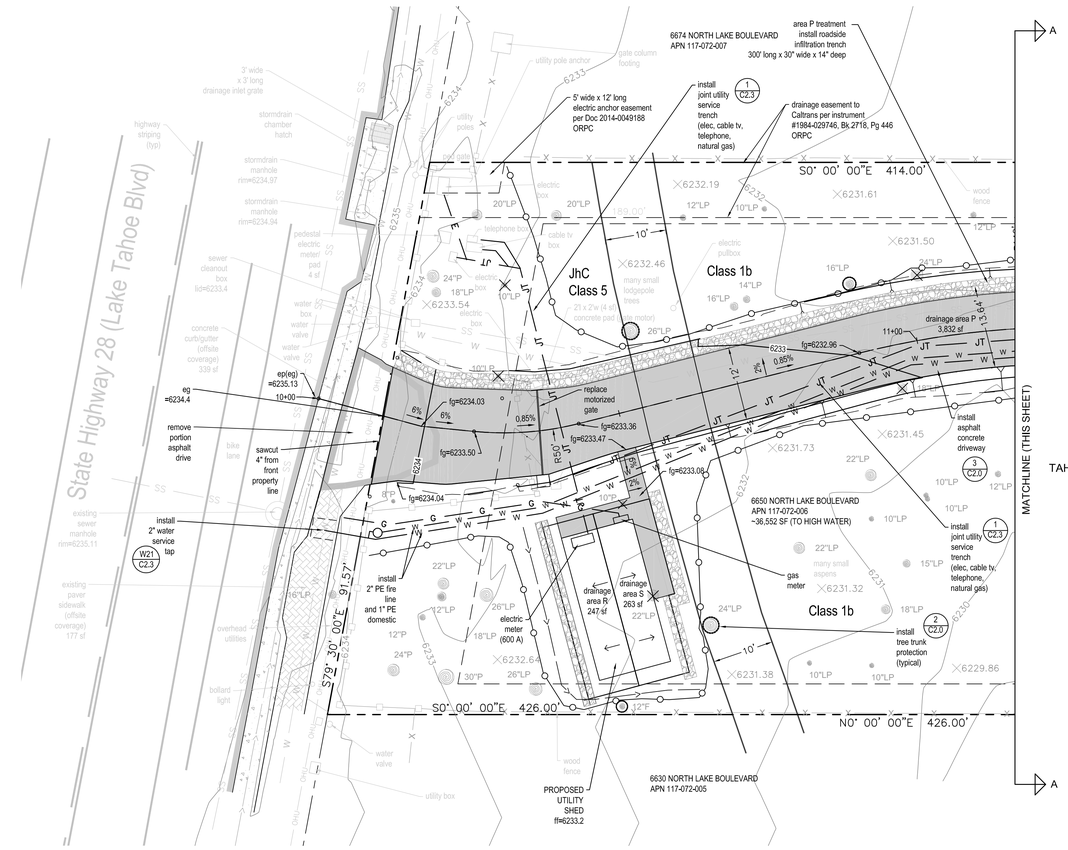
1:12,000

0 0.07 0.15 0.3 mi

0 0.13 0.25 0.5 km

- Parcels
- Local Plan
- County
- TRPA Boundary

Attachment D
Proposed Project Plans



NOTES:

1. PLAN GENERATED FROM TOPOGRAPHIC SURVEY BY TIESLAU CIVIL ENGINEERING, INC..

VICINITY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- 30"P — EXISTING TREE AS NOTED (P=PINE, F=FIR, A=ASPEN, LP=LODGEPOLE)
- EXISTING CONTOURS (1' & 5')
- EDGE OF PAVEMENT
- CONCRETE
- ROCK BORDER

2 working days **Call before you Dig.**
1-800-227-2600
AVOID CUTTING UNDERGROUND UTILITIES

NOTE: HAND DIGGING WILL BE REQUIRED FOR ALL TRENCHES THAT AREA LOCATED WITHIN THE DRIPLINES OF EXISTING TREES.

GRADING QUANTITIES:
CUT = 455 C.Y.
FILL = 485 C.Y.

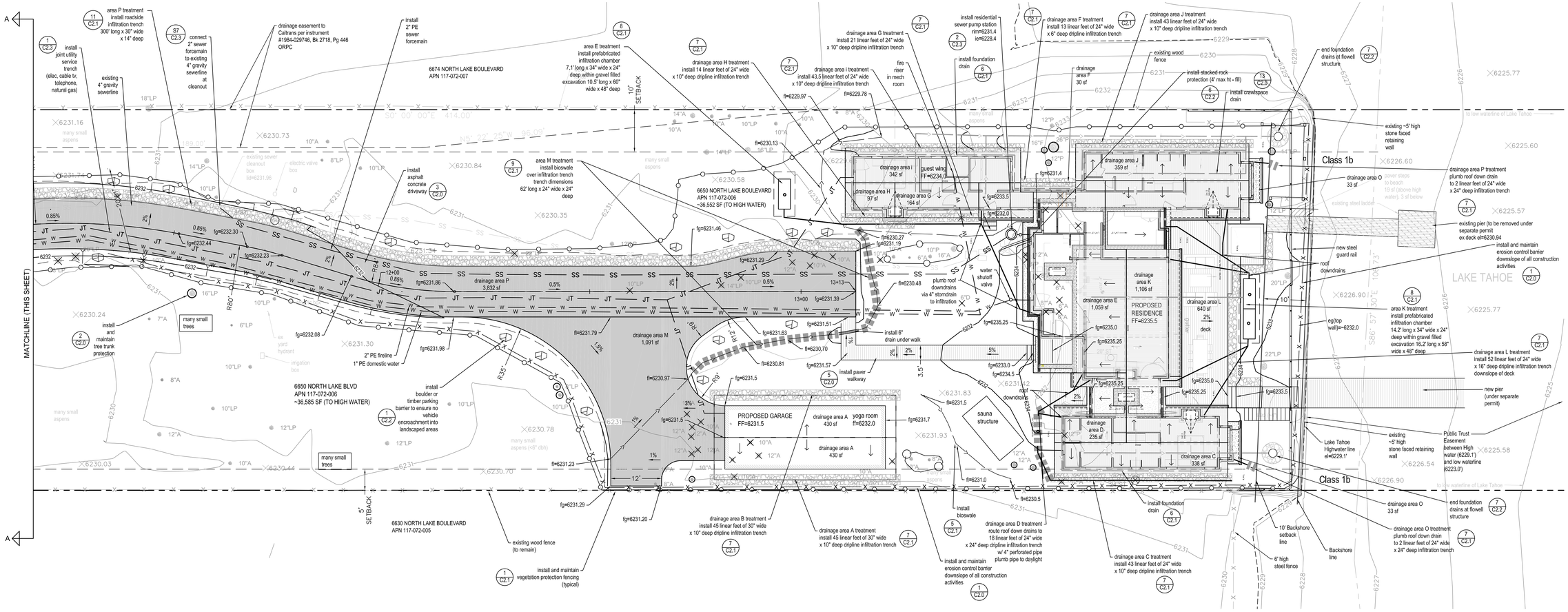
SURVEY NOTES

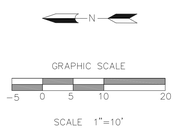
1. UNDERGROUND UTILITIES SHOWN HEREON ARE FOR REFERENCE ONLY AND THEIR LOCATIONS SHOULD BE VERIFIED BY CONTACTING THE VARIOUS UTILITY COMPANIES.
2. LOT SQUARE FOOTAGE = ~36,552 SF (~.8339 AC) TO HIGH WATER.
3. PROPERTY LINES SHOWN HEREON ARE BASED ON RECORD INFORMATION.
4. EASEMENTS AFFECTING THIS PROPERTY MAY NOT ALL BE SHOWN.

BASIS OF BEARINGS
BEARINGS SHOWN HEREON ARE BASED ON THE SUBDIVISION MAP OF THE AGATE BAY SUBDIVISION, BOOK D, MAPS, PAGE 25, PLACER COUNTY RECORDS.

BENCHMARK DATUM
ELEVATIONS SHOWN HEREON ARE BASED ON LAKE TAHOE DATUM, HIGH WATER ELEVATION=6229.1'

LEGAL DESCRIPTION:
PORTION LOT 13 A, AGATE BAY SUBDIVISION, FILED IN BOOK D, MAPS, PAGE 25, PLACER COUNTY RECORDS.





REV.	DATE	DESCRIPTION	APPROVED	DATE

TIESLAU CIVIL ENGINEERING, INC.
6883 NORTH LAKE BLVD
P.O. BOX 412
TAHOE VISTA, CA 96148
TCETAHOE.COM
(530) 546-4825

REGISTERED PROFESSIONAL ENGINEER
JORDAN TIESLAU
60325
EXP. 6/24
CIVIL
STATE OF CALIFORNIA
8/4/23

CIVIL GRADING, DRAINAGE, BMP AND UTILITY PLAN
ROADSTER, LLC
6650 NORTH LAKE BOULEVARD
APN 117-072-006

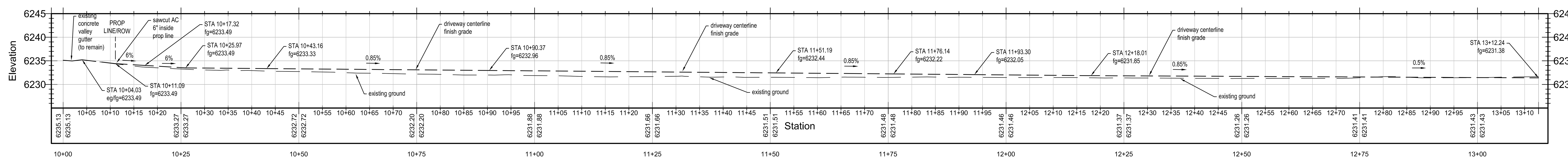
PLACER COUNTY
TAHOE VISTA

COMP:_____ DESIGN:
DRWN: PRJ.ENG: AT

PROJECT #: 23.020
SCALE: 1" = 10'
HORIZONTAL: N/A
VERTICAL: N/A

DATE: 8-4-23

C1.1



DRIVEWAY CENTERLINE PROFILE

1"=10' HORIZONTAL
1"=10' VERTICAL

BMP Calculation Spreadsheet

Estimated Soil Erosion Savings of 55.7 pounds per year by doing your BMPs. Soil erosion is estimated by the treatement volume multiplied by a 250 mg/l concentration plus contributions of source control and deck treatments calculated with the USLE.

Property Address: 6650 N LAKE BL
(Start here) **APN:** 117-072-006 APN lookup
Date: 8/2/23
Designed By: at

MAP DATA / ON-SITE DEPTHS
Water Table: 60in.
Restriction: None noted
Max. Depth of Install: 48 in.
Map Unit: 7161

Total Drain Rock Quantity (yd^3) 35.6
Total Runoff (ft^3) 382.5 Amount Treated 382.5
Total Excavation (yd^3) 27.2

Contributing Surface	A	B	C	D	E	F	G	H	i	J	K
# of Stories											
Length (ft.)											
Width (ft.)											
Area (ft2)	430	430	338	235	1059	30	164	97	342	359	1106
Area (ft^2)	430	430	338	235	1059	30	164	97	342	359	1106
Runoff (ft^3)	35.8	35.8	28.2	19.6	88.3	2.5	13.7	8.1	28.5	29.9	92.2
Treatment Label:	A1	B1	C1	D1	E1	F1	G1	H1	i1	J1	K1
Length (ft.)	45.0	45.0	43.0	18.0	10.5	13.0	21.0	14.0	43.5	43.0	16.2
Width (in.)	30	30	24	24	60	24	24	24	24	24	58
Depth (in.)	10	10	10	24	48	6	10	10	10	10	48
On-Site Ksat (in/hr)											
mapped Ksat (in/hr)	0.0	0.0	0.0	0.0	0.0	0.4	0.0	0.0	0.0	0.4	0.0
Prefab Void Space (%)											
Average Void Space (%)	40%	40%	40%	40%	44%	40%	40%	40%	40%	40%	45%
Effective Volume (yd^3)	3.5	3.5	2.7	2.7	7.8	0.5	1.3	0.9	2.7	2.7	11.6
Treatment Capacity (ft^3)	37.8	37.8	28.9	29.0	92.6	6.2	14.1	9.4	29.3	32.2	141.2
Drain Rock Quantity (yd^3)	3.5	3.5	2.7	2.7	8.6	0.5	1.3	0.9	2.7	2.7	13.1
Excess Runoff (ft^3)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Excess Capacity (ft^3)	2.0	2.0	0.8	9.4	4.4	3.7	0.5	1.3	0.8	2.3	49.1

Basin: 2:1 (rock lined or vegetated) / 5:1 (mowable)

Notes

Deck Treatments / Source Control Treatments / Reviewer Comments

Sheet: 1 of: 1

This worksheet is intended to provide an estimate of proper dimensions of infiltration structures and represents no guarantee of the adequacy of overall system design.

STORMWATER CALCULATIONS (20 YEAR-1 HOUR STORM)

BMP Calculation Spreadsheet

Estimated Soil Erosion Savings of 81.4 pounds per year by doing your BMPs. Soil erosion is estimated by the treatement volume multiplied by a 250 mg/l concentration plus contributions of source control and deck treatments calculated with the USLE.

Property Address: 6650 N LAKE BL
(Start here) **APN:** 117-072-006 APN lookup
Date: 7/15/23
Designed By: at

MAP DATA / ON-SITE DEPTHS
Water Table: 60in.
Restriction: None noted
Max. Depth of Install: 48 in.
Map Unit: 7161

Total Drain Rock Quantity (yd^3) 54.9
Total Runoff (ft^3) 570.8 Amount Treated 558.9
Total Excavation (yd^3) 54.9

Contributing Surface	L	M	N	O	P	Q	R	S			
# of Stories											
Length (ft.)											
Width (ft.)											
Area (ft2)	640	1091	710	33	3832	33	247	263			
Area (ft^2)	640	1091	710	33	3832	33	247	263	0	0	0
Runoff (ft^3)	53.3	90.9	59.2	2.8	319.3	2.8	20.6	21.9	0.0	0.0	0.0
Treatment Label:	L1	M1	N1	O1	P1	Q1	R1	S1			
Length (ft.)	52.0	62.0	37.0	2.0	300.0	13.0	31.0	33.0			
Width (in.)	24	24	24	24	30	24	24	18			
Depth (in.)	16	24	24	24	14	6	10	6			
On-Site Ksat (in/hr)											
mapped Ksat (in/hr)	0.0	0.0	0.0	0.0	0.0	0.4	0.0	0.0	0.0	0.4	0.0
Prefab Void Space (%)											
Average Void Space (%)	40%	40%	40%	40%	40%	40%	40%	40%			
Effective Volume (yd^3)	5.1	9.2	5.5	0.3	32.4	0.5	1.9	0.9	0.0	0.0	0.0
Treatment Capacity (ft^3)	55.8	99.7	59.5	3.2	352.5	6.2	20.9	10.1	0.0	0.0	0.0
Drain Rock Quantity (yd^3)	5.1	9.2	5.5	0.3	32.4	0.5	1.9	0.9	0.0	0.0	0.0
Excess Runoff (ft^3)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	11.9	0.0	0.0	0.0
Excess Capacity (ft^3)	2.5	8.8	0.3	0.5	33.2	3.4	0.3	0.0	0.0	0.0	0.0

Basin: 2:1 (rock lined or vegetated) / 5:1 (mowable)

Notes

Deck Treatments / Source Control Treatments / Reviewer Comments

Sheet: 1 of: 1

This worksheet is intended to provide an estimate of proper dimensions of infiltration structures and represents no guarantee of the adequacy of overall system design.

STORMWATER CALCULATIONS (20 YEAR-1 HOUR STORM) - cont'd

Void % is Determined by: [(Overall Volume - Prefab Volume) x 40% + (Prefab Volume x Prefab Void Space)] / Overall

Treatment Label	Prefab Dimensions		Overall Dimensions	
K	Length (ft.) or Cubic Inches	14.2	Length (ft.) or Cubic Inches	16.2
Prefab Type	Width (in.) or Cross Sectional Area (in^2)	297.3	Width (in.) or Cross Sectional Area (in^2)	58
	Depth (in.) or # of Units		Depth (in.)	48
	Prefab Void %	95%	Average Void %	45%

Treatment Label	Prefab Dimensions		Overall Dimensions	
E	Length (ft.) or Cubic Inches	7.1	Length (ft.) or Cubic Inches	10.5
Prefab Type	Width (in.) or Cross Sectional Area (in^2)	297.3	Width (in.) or Cross Sectional Area (in^2)	60
	Depth (in.) or # of Units		Depth (in.)	48
	Prefab Void %	95%	Average Void %	44%

Conversion columns: Inches to Feet; Radius (in) to Cross Sectional Area; Feet to Inches; Gallons to In^3

VOID SPACE CALCULATIONS

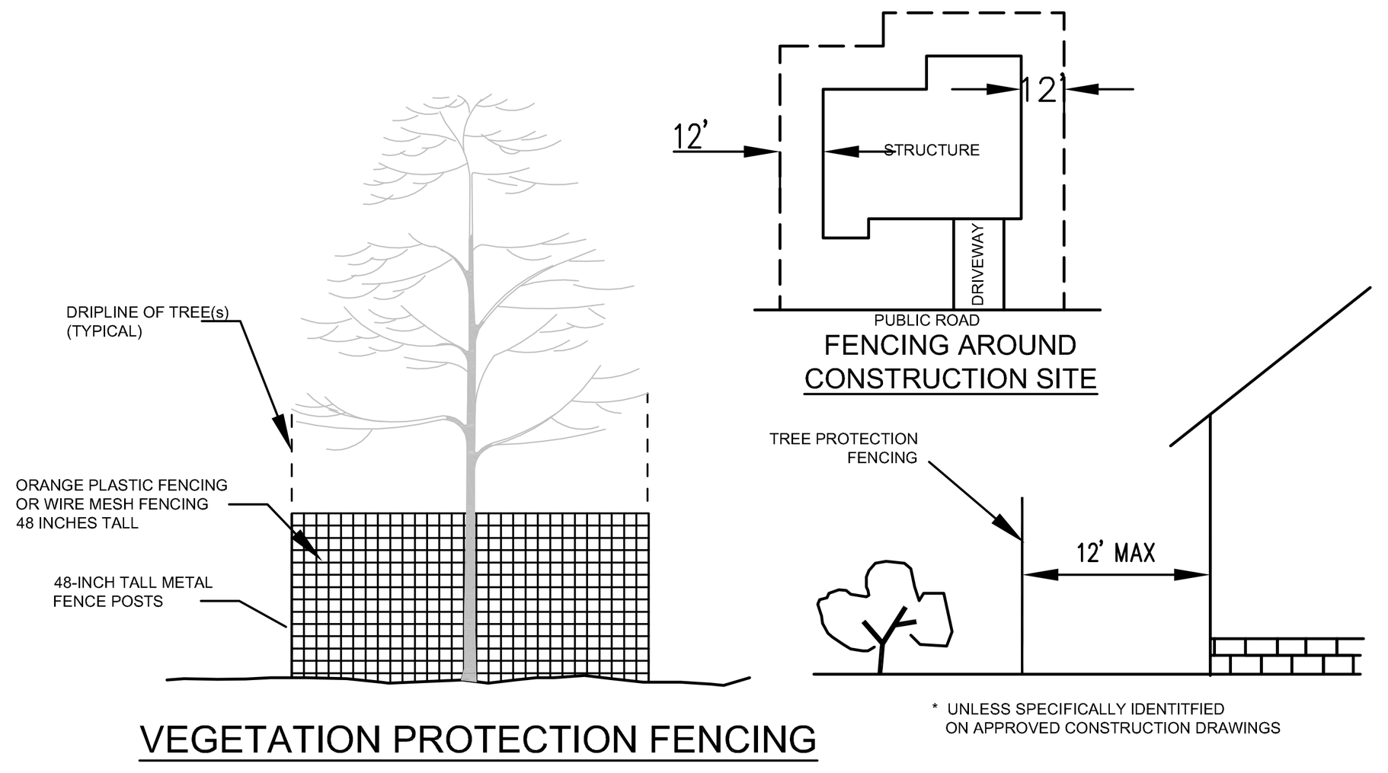
TIESLAU CIVIL ENGINEERING, INC.
6883 NORTH LAKE BLVD
P.O. BOX 412
TAHOE VISTA, CA 96148
TCETAHOE.COM
(530) 546-4805

CIVIL DRIVEWAY PROFILE AND BMP CALCULATIONS
ROADSTER, LLC
6650 NORTH LAKE BOULEVARD
APN 117-072-006
TAHOE VISTA PLACER COUNTY CA

REV. | DATE | DESCRIPTION | APPROVED | DATE

COMP: DESIGN:
DRWN: PRJ.ENG: AT
PROJECT #: 23.020
SCALE: HORIZONTAL: N/A VERTICAL: N/A
DATE: 8-4-23

C1.2



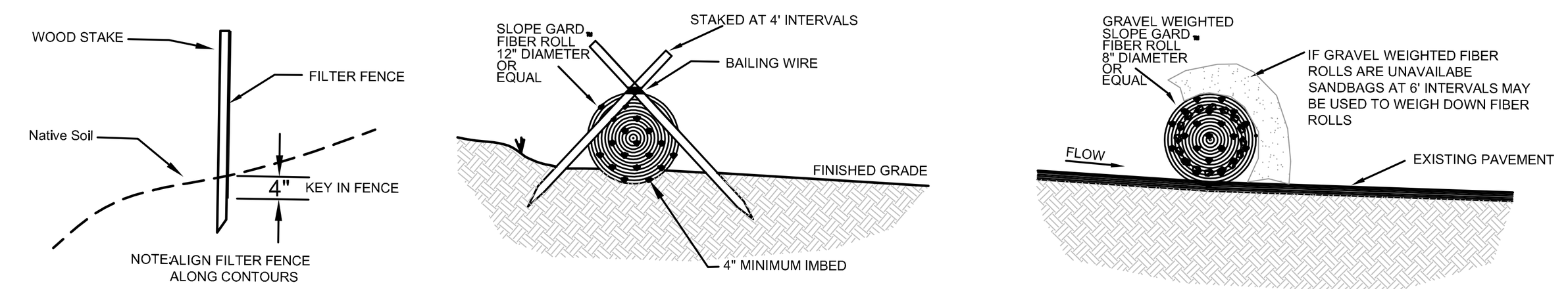
VEGETATION PROTECTION FENCING

1. DUST CONTROL PRACTICES ARE REQUIRED FOR ANY GRADING ACTIVITY AND ARE APPLICABLE TO MOST CONSTRUCTION SITES. ALL EXPOSED AREAS OF THE APPROVED CONSTRUCTION SITE SHALL BE MULCHED WITH A 2 TO 3 INCH LAYER OF PINE NEEDLES OR WOOD CHIPS. MULCHING TO A DEPTH, WHICH APPROACHES OR EXCEEDS 4 INCHES NEGATIVELY EFFECTS SOIL PROPERTIES AND CAN INHIBIT REVEGETATION. STRAW MULCH WILL NOT BE ACCEPTABLE. OTHER TECHNIQUES SUCH AS EROSION CONTROL BLANKETS CAN BE SUBSTITUTED FOR MULCH IF THEY ARE INSTALLED AND MAINTAINED ACCORDING TO MANUFACTURERS SPECIFICATIONS.

2. FENCING OF "NON-APPROVED" CONSTRUCTION AREAS SHALL BE SPECIFIED TO BE AT LEAST 48 INCHES HIGH AND SHALL BE CONSTRUCTED OF METAL POSTS AND EITHER ORANGE CONSTRUCTION FENCING OR METAL MESH FENCING ALSO AT LEAST 48 INCHES HIGH.

3. NO MATERIAL OR EQUIPMENT SHALL ENTER OR BE PLACED IN THE AREAS PROTECTED BY FENCING OR OUTSIDE THE APPROVED CONSTRUCTION AREA WITHOUT PRIOR APPROVAL.

4. TO REDUCE SOIL DISTURBANCE AND DAMAGE TO VEGETATION, THE AREA OF DISTURBANCE DURING THE CONSTRUCTION OF A STRUCTURE SHALL BE LIMITED TO THE AREA BETWEEN THE FOOTPRINT OF THE BUILDING AND THE PUBLIC ROAD. FOR THE REMAINDER OF THE SITE, THE DISTURBANCE AREA SHALL NOT EXCEED 12 FEET FROM THE FOOTPRINT OF THE STRUCTURE, PARKING AREA OR CUT/FILL SLOPE. THIS FENCING SHALL BE CLEARLY SHOWN ON THE APPROVED PLANS. ALL CHANGES OR EXCEPTIONS SHALL BE SHOWN ON A REVISED SET OF PLANS FOR APPROVAL. ANY "IN-THE-FIELD" CHANGES SHALL BE APPROVED BY THE ENGINEER.

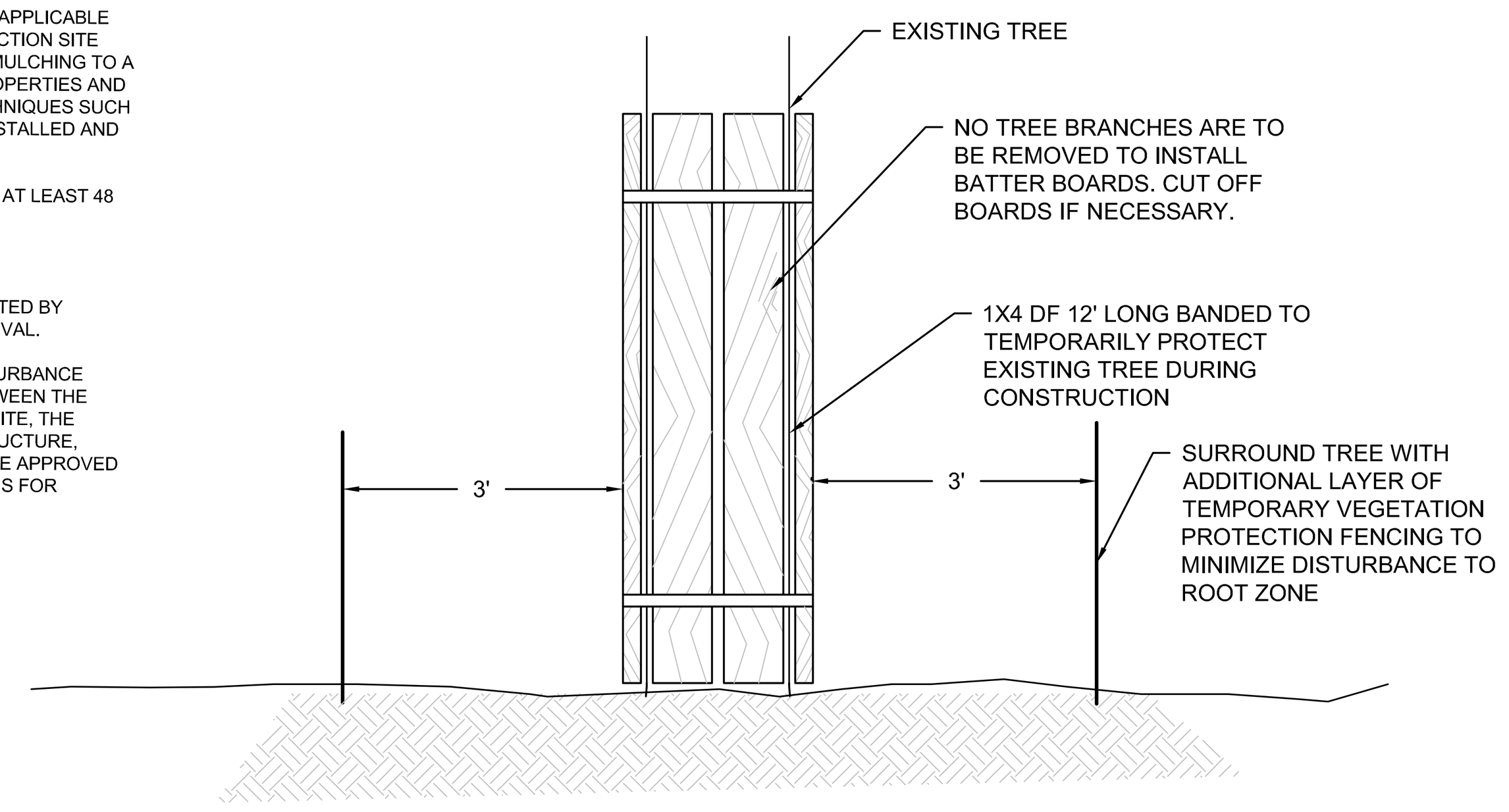


FILTER FENCE

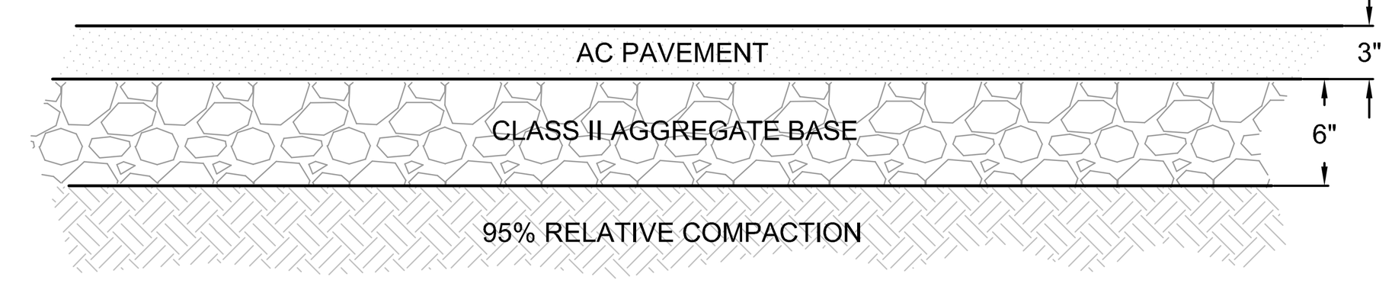
FIBER ROLL PLACEMENT
PERVIOUS INSTALLATION

FIBER ROLL PLACEMENT
IMPERVIOUS INSTALLATION

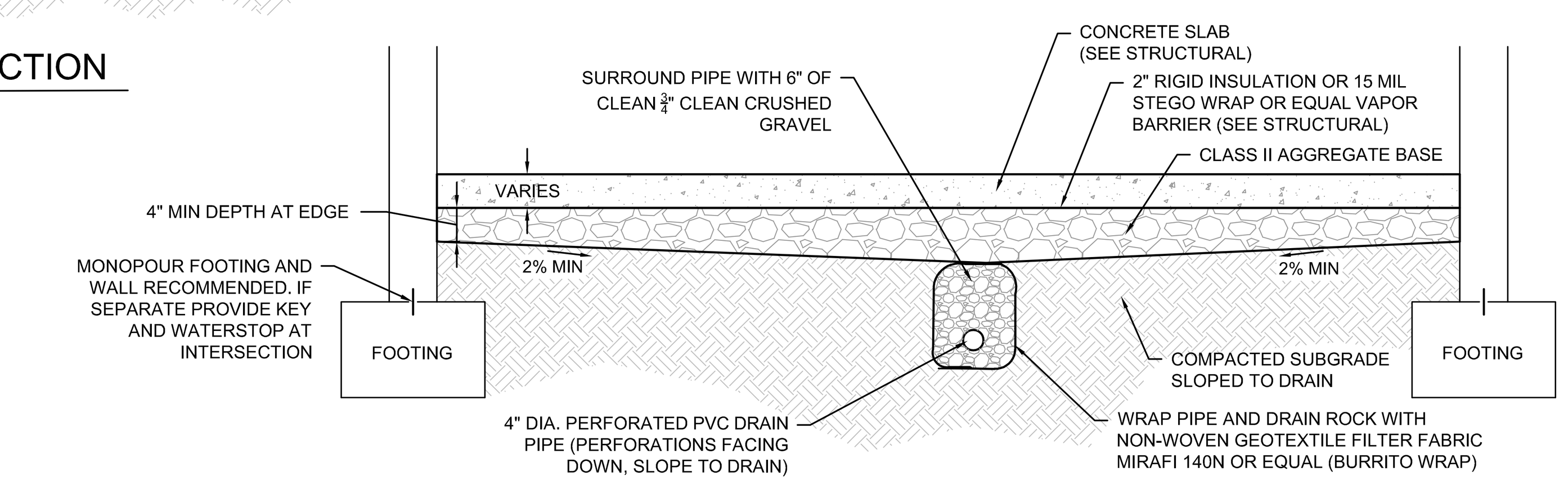
1 / C2.0 SOIL PROTECTION DETAILS
NTS



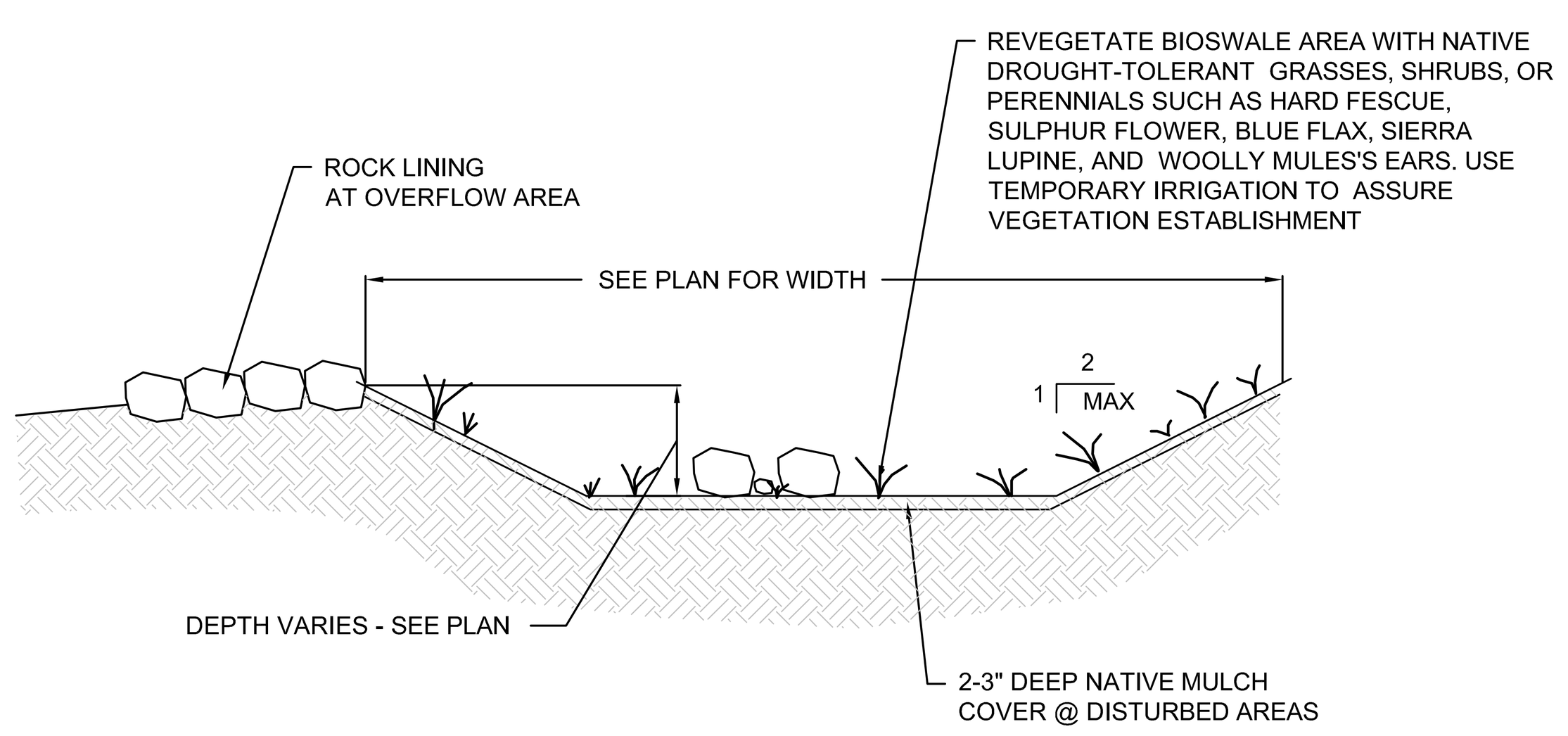
2 / C2.0 TREE PROTECTION FOR CONSTRAINED CONSTRUCTION AREAS
NTS



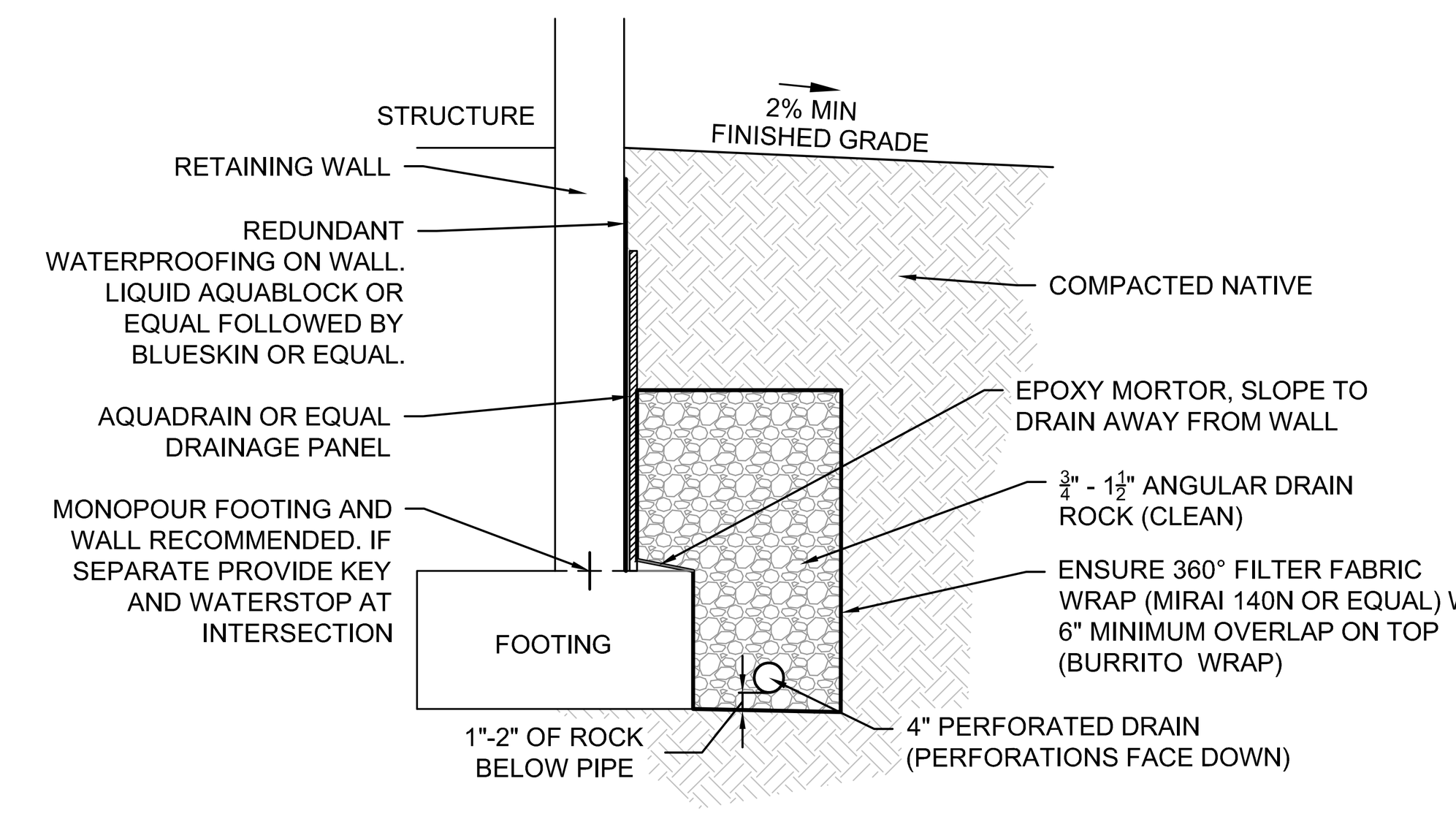
3 / C2.0 ASPHALT PAVEMENT SECTION
NTS



4 / C2.0 SUB-SLAB DRAINAGE DETAIL
NTS



5 / C2.1 BIOSWALE TYPICAL SECTION
NTS



6 / C2.1 FOUNDATION DRAIN
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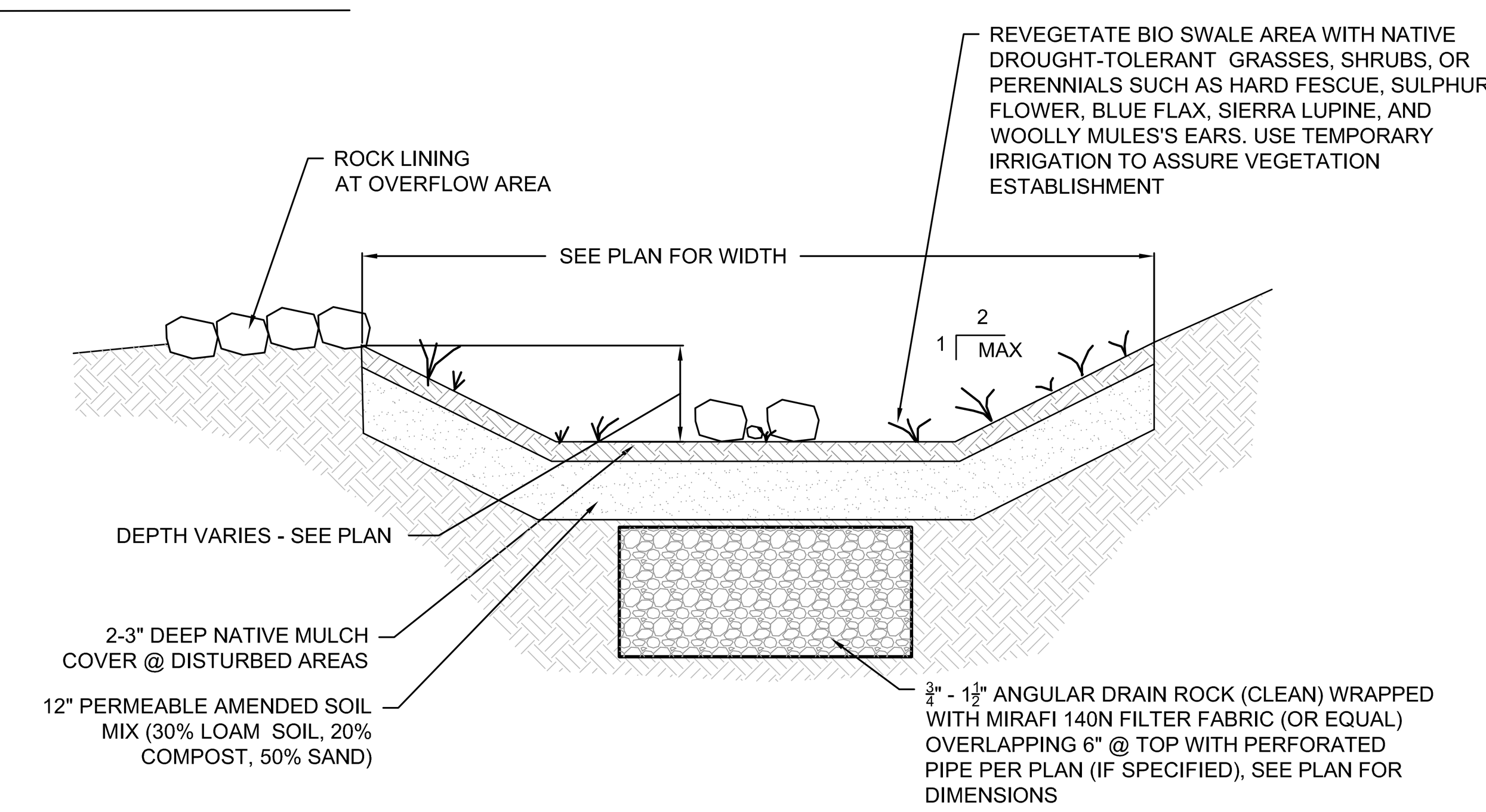
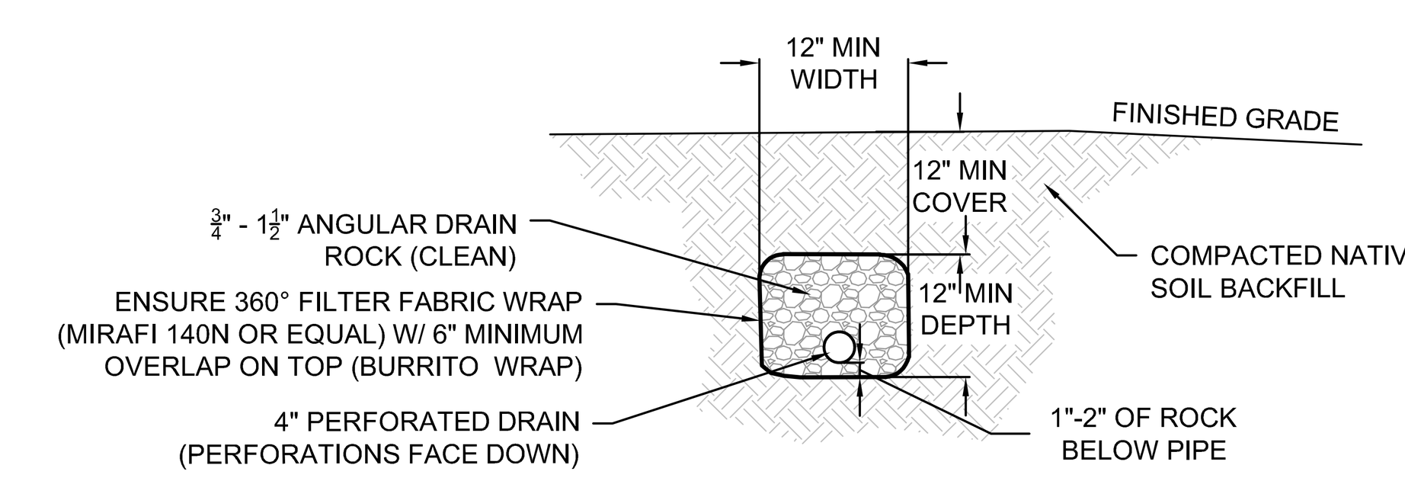
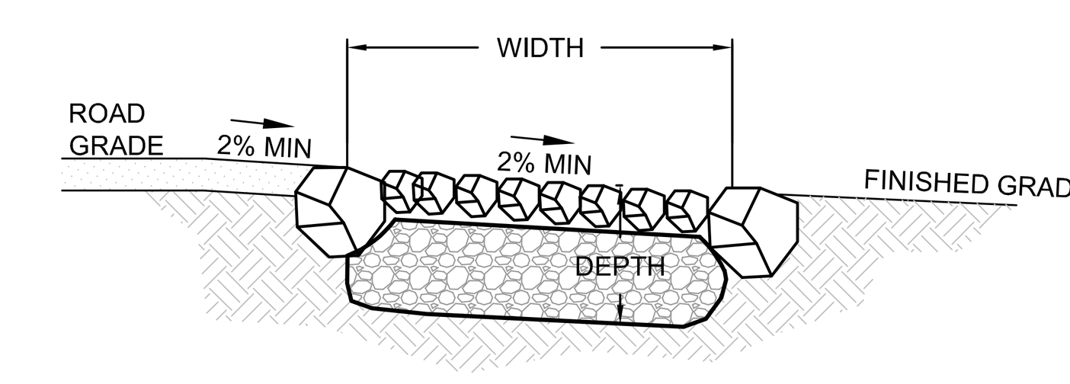


9 / C2.1 BIO-SWALE TYPICAL SECTION WITH SUBSURFACE TREATMENT
NTS



10 / C2.1 SUBSURFACE DRAIN
NTS

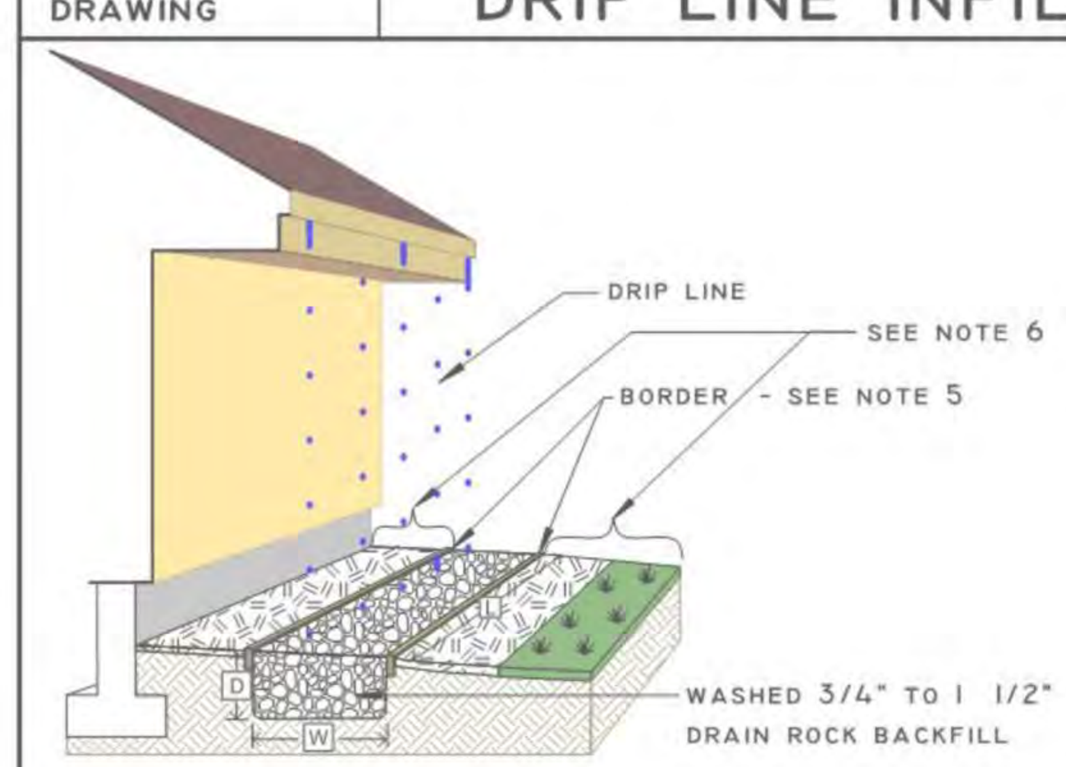


11 / C2.1 INFILTRATION TRENCH
NEAR EDGE OF PAVEMENT
NTS

LAKE TAHOE STANDARD DRAWING

(RESIDENTIAL USE ONLY)
BEST MANAGEMENT PRACTICE
DRIP LINE INFILTRATION TRENCH

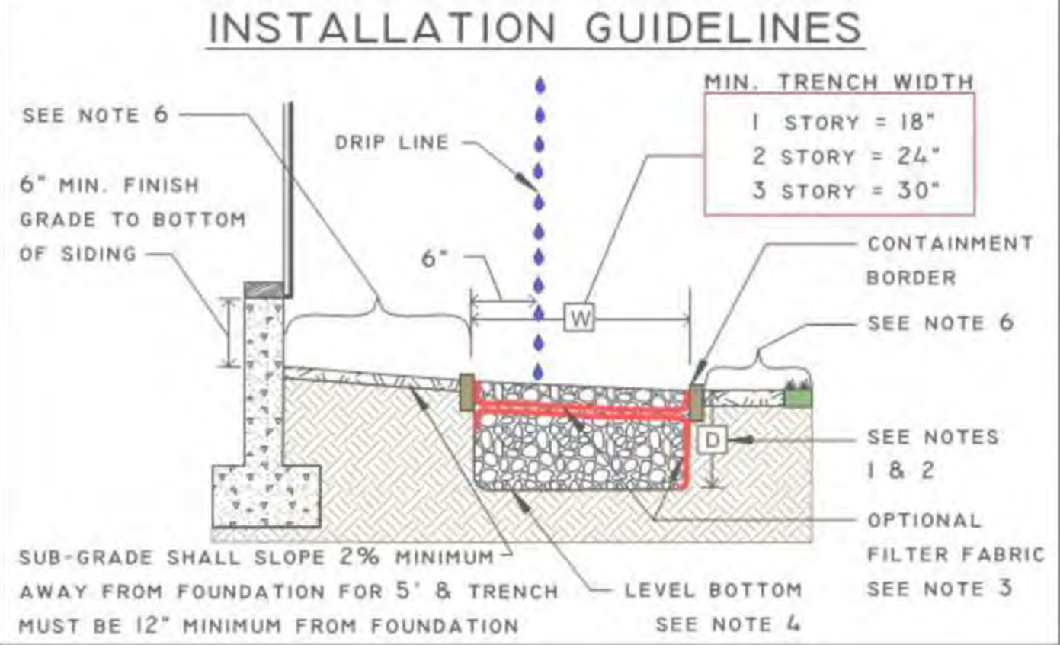
STANDARD DRAWING NO. BMP-001
DATE: 4-6-2012



CONSTRUCTION NOTES

1. For site specific trench dimensions and backfill requirements refer to the BMP "Site Evaluation Recommended Treatments" form or other approved BMP sizing calculations. See BMP-002, "Roof Valley Drip Line Treatment," for details of trenches located under roof valleys.
2. Maximum trench depth recommended is 10".
3. Filter fabric is optional. See BMP-060, "Filter Fabric for Infiltration Systems," for details.
4. Bottom of trench must be level. If this is not feasible, alternatives include constructing a swale or subsurface drain to collect and convey the runoff to an infiltration system. See BMP-004, "Drip Line Conveyance Swale," and BMP-005, "Subsurface Conveyance System."
5. Containment borders are required. Options for materials include pressure treated lumber, recycled composites, brick, stone, cobble, or other landscape edging material. Fire Defensible Space Guidelines for Lake Tahoe recommend a non-combustible area within 5 feet of a structure. Combustible material shall not connect from the border to the structure.
6. Consult with your local fire protection district when landscaping near structures. Visit www.livingwithfire.info/tahoe for guidelines on the defensible space zone.
7. *Regularly scheduled maintenance is necessary to maintain full function. Maintenance includes inspection, removal, and proper disposal of debris, pine needles and accumulated sediment.*

INSTALLATION GUIDELINES



U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
TAHOE RESOURCE CONSERVATION DISTRICT, AND NEVADA TAHOE CONSERVATION DISTRICT

DRAWN BY:	APPROVED BY:	DATE
DMGG/MPB		

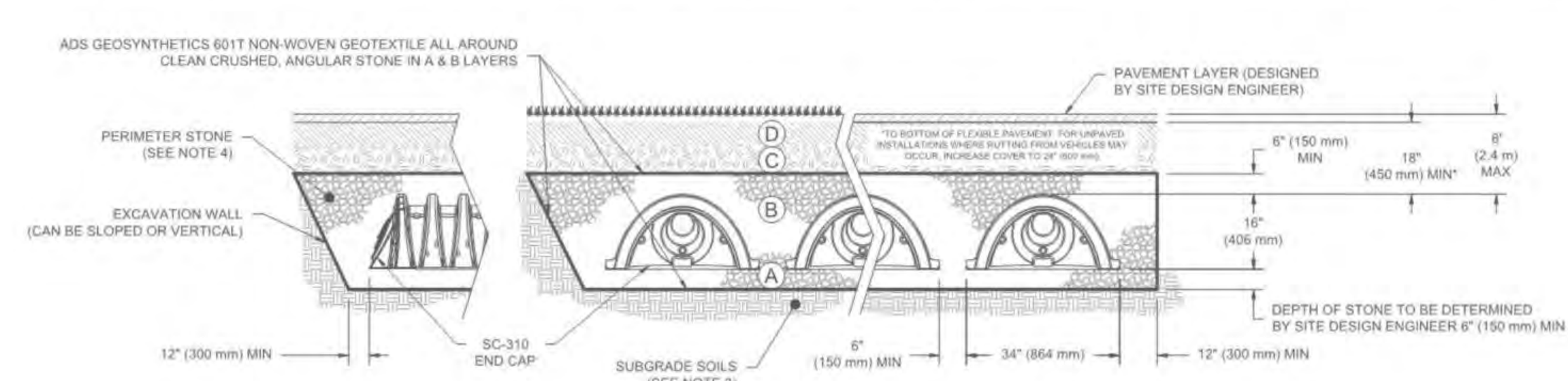
This Standard Drawing is based on a reference to the NRCS standard practice 570 - Stormwater Runoff Control.
This drawing is intended to assist the designer in preparation of a complete site specific design, and it is not to replace the independent judgment and analysis by a qualified designer. Infiltration system sizing is calculated based on the hydraulic conductivity of the soils on site and volume of runoff being captured.
USDA is an equal opportunity provider and employer.

7 / C2.1 DRIPLINE INFILTRATION TRENCH
NTS

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	**FINAL FILL:** FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	**INITIAL FILL:** FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145[1] A-1, A-2-4, A-3 OR AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	**EMBEDMENT STONE:** FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	**FOUNDATION STONE:** FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.[2,3]

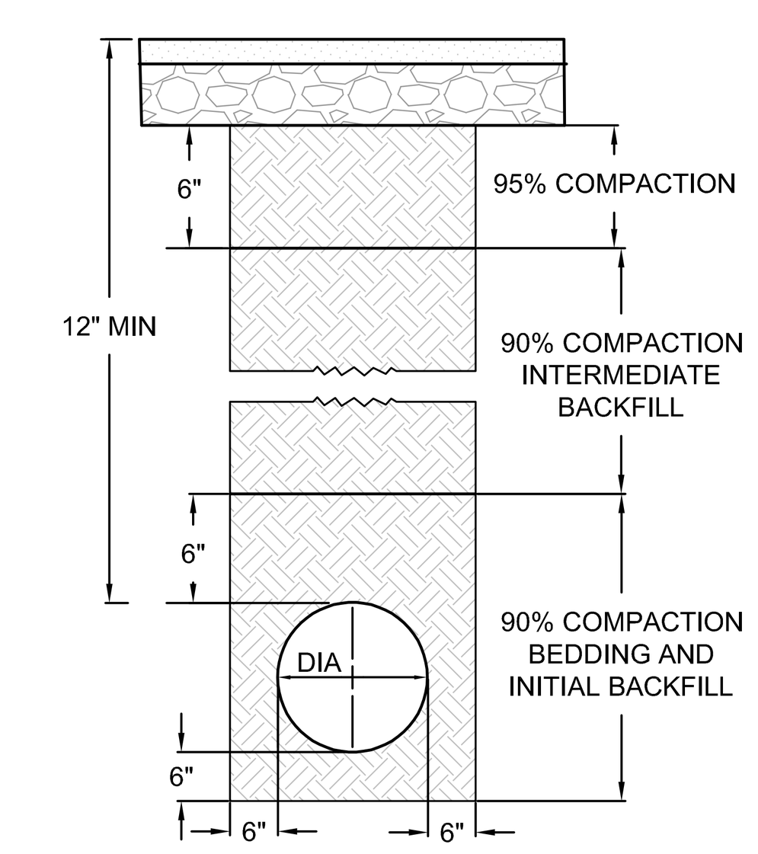
PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



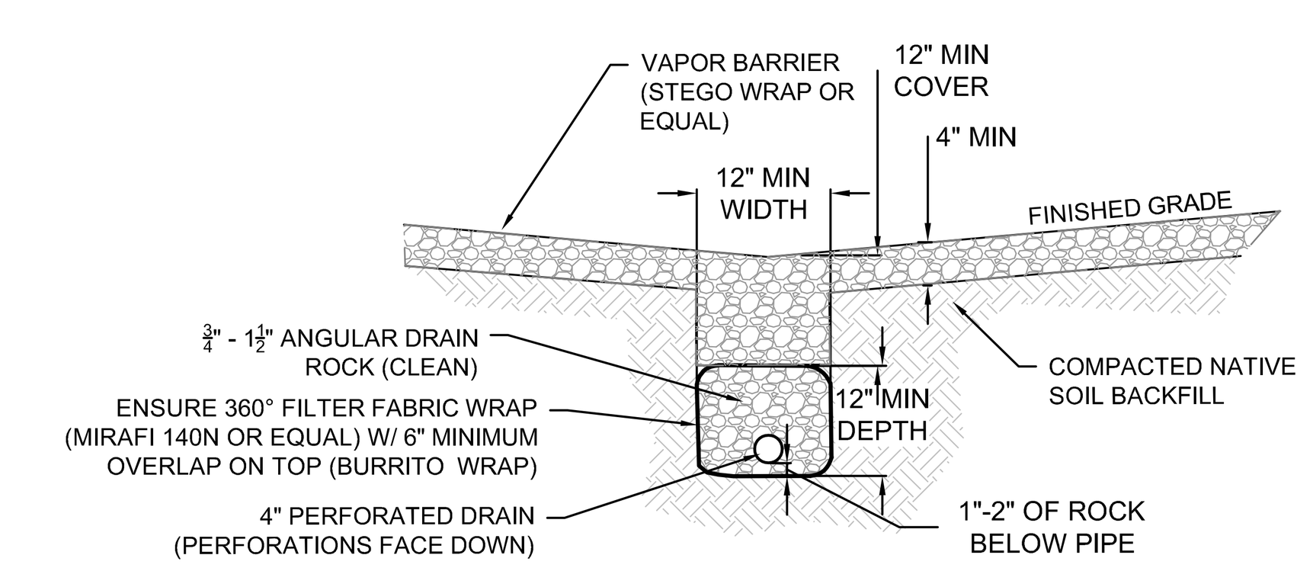
NOTES:
1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
   - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
   - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
   - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT/%. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

SC-310 STANDARD CROSS SECTION
DATE: 9/12/22 DRAWN: KLJ
StormTech® Chamber System
ADS 4640 TRUEMAN BLVD HILLIARD, OH 43026
SHEET 1 OF 1

8 / C2.1 PREFABRICATED INFILTRATION CHAMBER
NTS



12 / C2.1 TYPICAL STORM DRAIN PIPE
NTS



13 / C2.1 CRAWLSPACE DRAIN
NTS

REV.	DATE	DESCRIPTION	APPROVED	DATE

TIESLAU CIVIL ENGINEERING, INC.
6883 NORTH LAKE BLVD
P.O. BOX 412
TAHOE VISTA, CA 96148
TCETAHOE.COM
(530) 546-4805

REGISTERED PROFESSIONAL ENGINEER · TIESLAU · 60325 · CIVIL · STATE OF CALIFORNIA · 8/4/23

CIVIL AND BMP DETAILS
ROADSTER, LLC
6650 NORTH LAKE BOULEVARD
APN 117-072-006
TAHOE VISTA · PLACER COUNTY · CA

COMP: DESIGN:
DRAWN: PRJ.ENG: AT
PROJECT #: 23.020
SCALE:
HORIZONTAL: N/A
VERTICAL: N/A
DATE: 8-4-23

C2.1

LAKE TAHOE STANDARD DRAWING

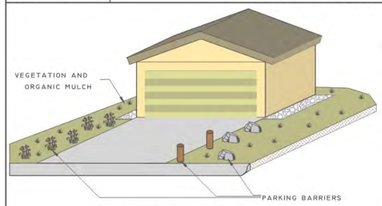
(RESIDENTIAL USE ONLY)

BEST MANAGEMENT PRACTICE

PARKING BARRIERS

STANDARD DRAWING NO. BMP-026

DATE: 4-6-2012



CONSTRUCTION NOTES

1. PARKING BARRIERS SHALL BE PLACED TO RESTRICT VEHICULAR ACCESS ON DISTURBED SOIL AREAS.

BOULDERS:
BOULDERS SHALL BE GREATER THAN 18" DIAMETER AND BE KEYED IN TO THE SOIL A MINIMUM OF 6"

POSTS:
WOOD POSTS SHALL BE A MINIMUM OF 2' ABOVE GRADE, AND ANCHORED IN A CONCRETE FOOTING

SHRUBS OR WELL ESTABLISHED VEGETATION:
THIS PARKING BARRIER IS NOT RECOMMENDED IN AREAS USED FOR SNOW STORAGE

FENCING
POSTS SHALL BE ANCHORED IN A CONCRETE FOOTING

2. INFORMATION ON REHABILITATING DISTURBED SOIL AREAS CAN BE FOUND ON THE NRCS "DIRECT SEEDING OF DISTURBED AREAS" TIP SHEET.

3. *REGULARLY SCHEDULED MAINTENANCE INCLUDING SERVICE, REPAIR, OR REPLACEMENT OF COMPONENTS IS NECESSARY TO MAINTAIN FULL FUNCTION.*

TYPICAL PARKING BARRIERS

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
TAHOE RESOURCE CONSERVATION DISTRICT, AND
NEVADA TAHOE CONSERVATION DISTRICT

DRAWN BY:	APPROVED BY:	DATE
SKB		

THIS STANDARD DRAWING IS BASED ON A REFERENCE TO THE NRCS STANDARD PRACTICE 561 - HEAVY USE AREA PROTECTION SYSTEMS.
THIS DRAWING IS INTENDED TO ASSIST THE DESIGNER IN PREPARATION OF A COMPLETE SITE SPECIFIC DESIGN, AND IT IS NOT TO REPLACE THE INDEPENDENT JUDGMENT AND ANALYSIS BY A QUALIFIED DESIGNER.
USDA IS AN EQUAL OPPORTUNITY PROVIDER AND EMPLOYER

1 C2.2 NRCS PARKING BARRIERS DETAIL
N.T.S

LAKE TAHOE STANDARD DRAWING

(RESIDENTIAL USE ONLY)

BEST MANAGEMENT PRACTICE

SEDIMENT TRAP

STANDARD DRAWING NO. BMP-030

DATE: 4-6-2012

General Notes: Sediment traps help protect infiltration systems from premature clogging from dirty storm water. **Refer to the BMP "Site Evaluation Recommended Treatments" form for site specific sediment trap size.** For some available products, see NRCS "Sediment Trap Sizing Sheet" BMP-030A. The list is the result of a limited search of local and internet based suppliers. Other products are applicable.

Installation: (Refer to NRCS Standard Drawing, BMP-007 for an overview of infiltration systems.)

1. Determine the appropriate placement of the sediment trap. It may be placed either directly in the infiltration system or upstream of it. The trap must be located such that water will flow into it from the impervious surface and leave it downstream to the infiltration system. Ensure that the depths required for installation are not in conflict with bedrock, utilities, high groundwater, etc. Call for approval if design modifications are required.

2. If the sediment trap is upstream from the infiltration system dig a hole large enough to allow 3" of backfill (gravel or sand) on each side and the bottom of the sediment trap (box). If it is placed in the infiltration system create the necessary space.

3. Cut weep holes in the bottom of the box or select a bottomless box. Minimally this should be about 4 - ¾" holes. Whether a bottomless box or weep holes, the area below the box needs to be protected from sediment clogging. This is done by covering the weep holes or bottom of bottomless box completely with a sand bag filter or alternative method (see note 5.)

4. Place the assembled box to the proper grade and connect pipe(s) as appropriate. The inlet pipe must slope towards the box and the outlet pipe away from the box both at a minimum of ¼ inch vertical drop per 1 foot horizontal distance. Insure a snug connection so that storm water is not able to escape around the sides of the pipe. Ensure that no filter fabric blocks the inlet or outlet, however, some screening of the outlet pipe with hardware cloth, wire mesh, etc. is necessary to prevent floatable debris, such as pine needles, from clogging the system. Simply secure the screen over the outlet inside the box. A 90 degree elbow may be added to increase sediment storage for top inlet model (see drawing).

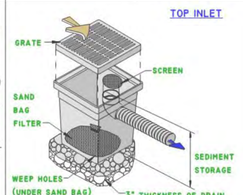
5. Cover the weep holes with a sand bag filter. The sand bag filter may be constructed from a 1 or 5 gallon paint strainer filled with clean washed play sand. Similar to connecting the pipes in #4 above, storm water must not be able to escape around the sand bag filter and out the bottom of the trap.

6. All installations must be appropriately load rated as necessitated by potential vehicle traffic. Alternatively, block access with parking barriers per BMP-026.

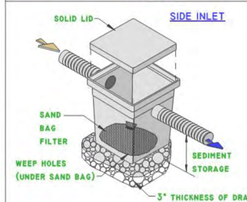
7. Add extensions as needed to adjust lid to finish grade. Backfill system to the top of the box.

Maintenance: Inspect in spring, fall, and after heavy rains. Remove and dispose of sediment and debris properly. Check sand bag filter and pipes for clogging and re-establish drainage as needed. Remove and replace or rejuvenate sand bag filter when drain time of full box after storm exceeds 48 hours.

TOP INLET



SIDE INLET

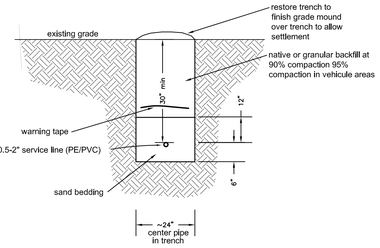


U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
TAHOE RESOURCE CONSERVATION DISTRICT, AND
NEVADA TAHOE CONSERVATION DISTRICT

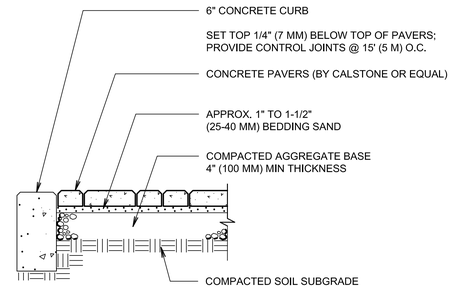
DRAWN BY:	APPROVED BY:	DATE:
CLT		

THIS STANDARD DRAWING IS BASED ON A REFERENCE TO THE NRCS STANDARD PRACTICE 570 STORMWATER RUNOFF CONTROL.
THIS DRAWING IS INTENDED TO ASSIST THE DESIGNER IN PREPARATION OF A COMPLETE SITE SPECIFIC DESIGN, AND IT IS NOT TO REPLACE THE INDEPENDENT JUDGMENT AND ANALYSIS BY A QUALIFIED DESIGNER.
USDA IS AN EQUAL OPPORTUNITY PROVIDER AND EMPLOYER

2 C2.2 SEDIMENT TRAP INLET
N.T.S



3 C2.2 GAS SERVICE TRENCH
NO SCALE



5 C2.2 SIDEWALK / PATIO PAVER DETAIL
NTS

LAKE TAHOE STANDARD DRAWING

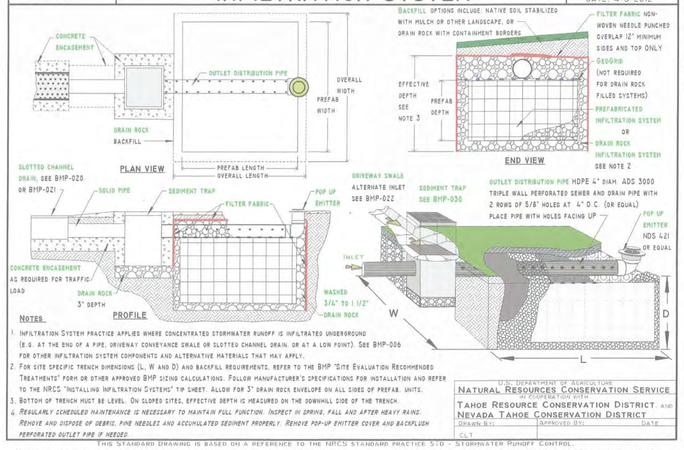
(RESIDENTIAL USE ONLY)

BEST MANAGEMENT PRACTICE

INFILTRATION SYSTEM

STANDARD DRAWING NO. BMP-007

DATE: 4-6-2012



Notes

1. Infiltration System practice applies where concentrated stormwater runoff is infiltrated underground (e.g. at the end of a pipe, driveway conveyance swale or slotted channel drain, or at a low point). See BMP-006 for other infiltration system components and alternative materials that may apply.
2. For site specific trench dimensions (L, W and D) and backfill requirements, refer to the BMP "Site Evaluation Recommended Treatments" form or other approved BMP sizing calculations. Follow manufacturer's specifications for installation and refer to the NRCS "Installing Infiltration Systems" tip sheet. Allow for 3" drain rock envelope on all sides of prefab. units.
3. Bottom of trench must be level. On sloped sites, effective depth is measured on the downhill side of the trench.
4. Regularly scheduled maintenance is necessary to maintain full function. Inspect in spring, fall and after heavy rains. Remove and dispose of debris, pine needles and accumulated sediment properly. Remove pop-up emitter cover and backflush perforated outlet pipe if needed.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
TAHOE RESOURCE CONSERVATION DISTRICT, AND
NEVADA TAHOE CONSERVATION DISTRICT

DRAWN BY:	APPROVED BY:	DATE
CLT		

THIS STANDARD DRAWING IS BASED ON A REFERENCE TO THE NRCS STANDARD PRACTICE 570 - STORMWATER RUNOFF CONTROL.
USERS OF THESE DRAWINGS AND ASSOCIATED INFORMATION MUST BE QUALIFIED PERSONNEL TRAINED TO INTERPRET AND ADAPT TECHNOLOGY ACCORDING TO LOCAL CONDITIONS.
INFILTRATION SYSTEM SIZING IS CALCULATED BASED ON THE HYDRAULIC CONDUCTIVITY OF THE SOILS ON SITE AND VOLUME OF RUNOFF BEING CAPTURED.
USDA IS AN EQUAL OPPORTUNITY PROVIDER AND EMPLOYER

3 C2.2 BMP INFILTRATION SYSTEM
N.T.S

LAKE TAHOE STANDARD DRAWING

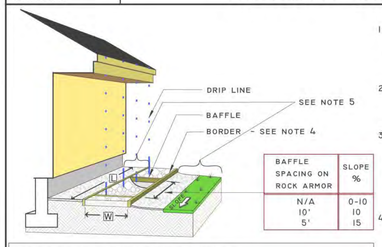
(RESIDENTIAL USE ONLY)

BEST MANAGEMENT PRACTICE

ARMORED DRIP LINE

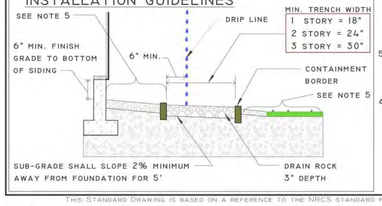
STANDARD DRAWING NO. BMP-009

DATE: 4-6-2012



BAFFLE SPACING ON ROCK ARMOR	SLOPE %
N/A	0-10
10'	10
5'	15

INSTALLATION GUIDELINES



CONSTRUCTION NOTES

1. Unless specified otherwise, the minimum trench widths shown in the installation guidelines reflect the minimum requirements for the BMP retrofit ordinance. See BMP-002 for details of trenches located under roof valleys.

2. Armor soil with a 3" minimum continuous layer of rock. Washed 3/4" to 1 1/2" drain rock or cobble is recommended. Native rock can be substituted if available.

3. On sloped drip lines over 10%, contain the drain rock with baffles as shown or substitute larger riprap for drain rock. An alternative practice is to construct a swale or subsurface drain to collect and convey runoff to an infiltration system located a minimum of 10' away from the foundation. See BMP-004 and BMP-005 for details.

4. Containment borders are required. Options for materials include pressure treated lumber, recycled composites, brick, stone, cobble, or other landscape edging material. Fire Defensible Space Guidelines for Lake Tahoe recommend a non-combustible area within 5 feet of a structure. Combustible material shall not connect from the border to the structure.

5. Consult with your local fire protection district when landscaping near structures. Visit www.livingwithfire.info/tahoe for guidelines on the defensible space zone.

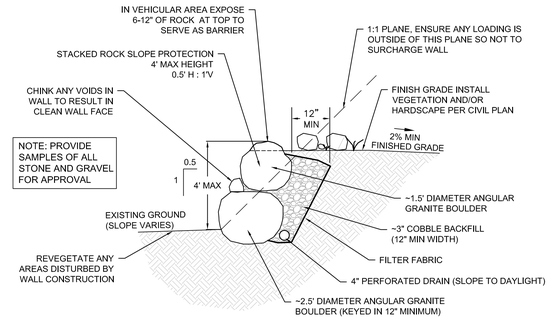
6. *Regularly scheduled maintenance is necessary to maintain full function. Maintenance includes inspection, removal, and proper disposal of pine needles and accumulated sediment.*

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
IN COOPERATION WITH
NEVADA TAHOE CONSERVATION DISTRICT, AND
TAHOE RESOURCE CONSERVATION DISTRICT

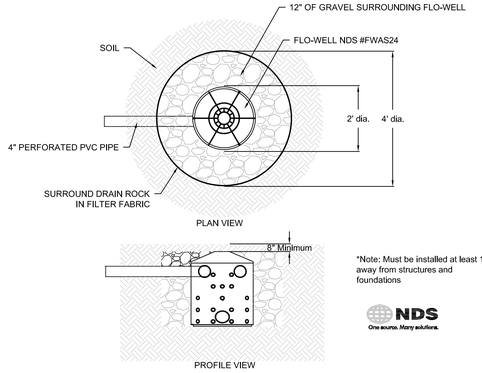
DRAWN BY:	APPROVED BY:	DATE
DMGG/MPB		

THIS STANDARD DRAWING IS BASED ON A REFERENCE TO THE NRCS STANDARD PRACTICE 570 - STORMWATER RUNOFF CONTROL. THIS DRAWING IS INTENDED TO ASSIST THE DESIGNER IN PREPARATION OF A COMPLETE SITE SPECIFIC DESIGN, AND IT IS NOT TO REPLACE THE INDEPENDENT JUDGMENT AND ANALYSIS BY A QUALIFIED DESIGNER.
USDA IS AN EQUAL OPPORTUNITY PROVIDER AND EMPLOYER

4 C2.2 BMP ARMORED DRIP LINE
N.T.S



6 C2.2 STACKED ROCK PROTECTION (<4' HIGH - FILL)
NTS



*Note: Must be installed at least 10' away from structures and foundations

NDS
One source. Many solutions.

7 C2.2 NDS FLO-WELL IN GRAVEL BACKFILL
NTS

REV.	DATE	DESCRIPTION	APPROVED	DATE

TIESLAU CIVIL ENGINEERING, INC.
6883 NORTH LAKE BLVD
P.O. BOX 412
TAHOE VISTA, CA 96148
TCETAHOE.COM
(530) 546-4835

REGISTERED PROFESSIONAL ENGINEER — CHRISTIAN TIESLAU — 60325 — EXP. 6/30/24 — CIVIL — STATE OF CALIFORNIA — 8/4/23

CIVIL AND BMP DETAILS
ROADSTER, LLC
6650 NORTH LAKE BOULEVARD
APN 117-072-006
TAHOE VISTA
PLACER COUNTY

COMP: DESIGN:
DRWN: PRJ.ENG: AT

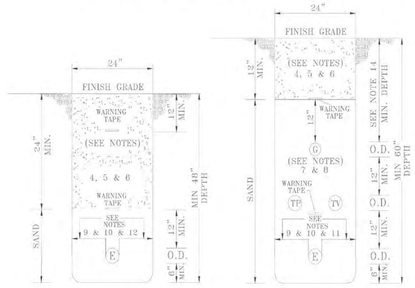
PROJECT #: 23.020

SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

DATE: 8-4-23

C2.2

TYPICAL SERVICE TRENCH DETAILS



TYPICAL SECONDARY/SERVICE TRENCH ELECTRIC ONLY

TYPICAL SERVICE TRENCH JOINT TRENCH APPLICATION

ENGINEERING NOTES:

A. If utilities on this sheet are not in a joint trench as shown, raise trench depths and comply with minimum depths and clearances referenced in Typical Trench Details 1-19.

B. All trenches must be approved by LE prior to any construction.

C. In some cases, Gas Services may be run with electric primary. A special line type shall be used on the design drawings as well as on the distribution map indicating that electric primary is below the gas service line.

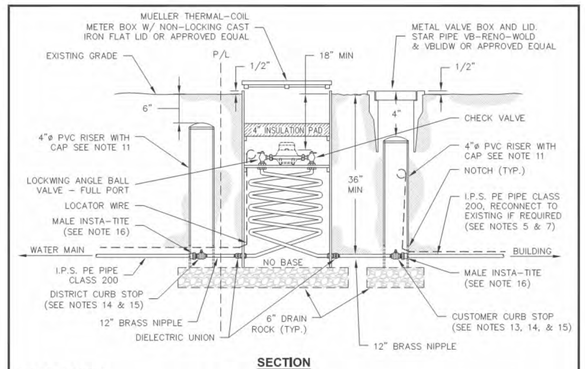
UTILITY DESINGNATION AND LEGEND

(TP) TELEPHONE (W) WATER
(TV) CABLE TV (E) ELECTRIC
(G) GAS

(O.D.) OUTSIDE DIAMETER

Liberty Energy	ENGINEERING & CONSTRUCTION STANDARD	SHEET 33 OF 50
	TYPICAL TRENCH DETAILS	VOLUME 17
DRAWN: BSP · DESIGN: MB · SUPR: DA · DATE: 3/06 · REV: 03		DRAWING NUMBER TE0003U

1 / C2.3 JOINT UTILITY SERVICE TRENCH
N.T.S



SECTION

DETAIL NOTES:

1. SEE NTPUD STANDARD DETAILS W-03 & W-04 FOR INSTALLATION IN TRAFFIC AREAS.
2. SEE NTPUD STANDARD DETAIL W-02 FOR PLAN VIEW.
3. SEE NTPUD STANDARD DETAILS W-10 AND W-11 FOR SERVICE CONNECTION.
4. SEE NTPUD STANDARD DETAIL W-05 FOR METERS LARGER THAN 1".
5. SEE NTPUD TECHNICAL SPECIFICATIONS FOR APPROVED MATERIALS. ALL BRASS MUST MEET THE LEAD FREE REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE.
6. APPROVED METERS: BADGER 3/4" MODEL M35, METER BODY CIB, W/ RTR REGISTER ILC. AND BADGER 1" MODEL M70, METER BODY CIB W/ RTR REGISTER ILC.
7. IF RECONNECTING TO EXISTING CUSTOMER SERVICE USE PE PIPE AND FITTINGS TO EXISTING AS REQUIRED BY SPECIAL PROVISIONS.
8. WHEN REMOVING EXISTING METER CUT METER REGISTER WIRE WITH A MINIMUM OF 2' OF LEAD AND LEAVE COILED IN METER PIT.
9. VISUAL INSPECTION OF METER SET & CONNECTIONS AND TEST OF REMOTE READER BY DISTRICT ENGINEER REQUIRED PRIOR TO BURIAL.
10. USE DIELECTRIC UNIONS FOR CONNECTION TO GALVANIZED STEEL OR IRON PIPE.
11. PVC RISER CAPS WITH RUBBER GASKET REMOVED, OR APPROVED EQUAL.
12. STAINLESS STEEL PIPE STIFFENER INSERTS SHALL BE USED FOR ALL ENDS OF POLYETHYLENE PIPES.
13. CUSTOMER CURB STOP IS INSTALLED BY THE DISTRICT BUT OWNED BY THE CUSTOMER.
14. CURB STOPS SHALL BE MULLER WITH FEMALE IRON PIPE THREADS, OR APPROVED EQUAL.
15. STOP AND WASTE CURB VALVES ARE NOT ALLOWED.
16. INSTA-TITE COUPLING (3/4" AND 1") IPS PE PIPE x MIP THREAD, MUELLER #H-15426 OR APPROVED EQUAL.
17. A 12" AND A 6" NIPPLE OR PE PIPE MAY BE SUBSTITUTED. DISTANCE MUST BE 18".
18. SET BOX LIDS 1/2" ABOVE GROUND IN NON-TRAFFIC AREAS.

METER BOX SCHEDULE

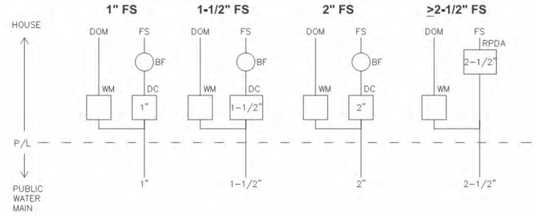
SERVICE SIZE	METER BOX	DIAMETER
SINGLE 3/4"	250-CS-15-36-FBBS	15"
SINGLE 1"	330-CS-18-36-FBBS	18"

WILLIAM B. STELTER — No. C 65139 CIVIL — STATE OF CALIFORNIA

METER SETTER
NON-TRAFFIC AREA - PROFILE
STANDARD DETAIL W-01

SCALE: NONE | DATE: 6/10/13

north tahoe PUBLIC UTILITY DISTRICT



LEGEND:

DOM = DOMESTIC WATER
FS = FIRE SERVICE
WM = WATER METER (SIZED AS REQUIRED BY NTPUD)
BF = BACKFLOW ASSEMBLY (SEE NOTE 1)
DC = DETECTOR CHECK (SEE NOTE 2)
RPDA = REDUCED PRESSURE DETECTOR ASSEMBLY (SEE NOTE 1)
P/L = PROPERTY LINE

NOTES:

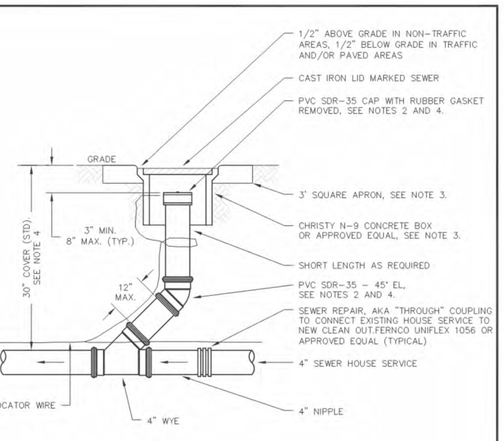
1. BACKFLOW ASSEMBLY SUPPLIED BY CUSTOMER. LOCATE INSIDE A BUILDING OR AN INSULATED AND HEATED UTILITY BOX. MUST BE AIRGAP, REDUCED PRESSURE OR RPDA. MATERIAL AND MANNER OF CONSTRUCTION MUST MEET BUILDING AND PLUMBING CODE AS APPLICABLE.
2. NTPUD WILL SUPPLY DETECTOR CHECK FOR 2" AND SMALLER FIRE SERVICES. CUSTOMER TO PROVIDE DETECTOR CHECK ASSEMBLY FOR FIRE SERVICE LARGER THAN 2".
3. LAYOUTS ASSUME SINGLE CUSTOMER FOR EACH SERVICE LATERAL.
4. SEPARATION, CONSTRUCTION AND INSPECTION PER CALIFORNIA PLUMBING CODE AND FIRE CODE.

WILLIAM B. STELTER — No. C 65139 CIVIL — STATE OF CALIFORNIA

NTPUD FIRE SYSTEM REQUIREMENTS
STANDARD DETAIL W-12

SCALE: NONE | DATE: 6/10/13

north tahoe PUBLIC UTILITY DISTRICT



DETAIL NOTES:

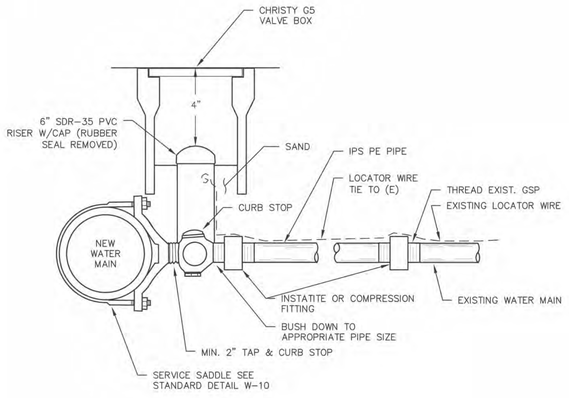
1. HOUSE SERVICE PIPE MATERIALS WILL VARY, CONTRACTOR SHALL SUPPLY APPROPRIATE FLEXIBLE COUPLING TO RECONNECT EXISTING HOUSE SERVICE TO NEW 4" SERVICE LATERAL. FERNCO OR APPROVED EQUAL.
2. ALL PIPE AND FITTINGS IN CLEAN-OUT CONSTRUCTION SHALL BE OF THE SAME MATERIAL.
3. 3' SQUARE APRON, (3" THICK ASPHALT (OR MATCH EXISTING) OR 4" THICK CONCRETE) SHALL BE INSTALLED AROUND CLEAN-OUT BOX IN TRAFFIC AND/OR PAVED AREAS.
4. IF COVERAGE IS LESS THAN 30" USE CAST IRON PIPE. 24" MINIMUM COVERAGE REQUIRED

WILLIAM B. STELTER — No. C 65139 CIVIL — STATE OF CALIFORNIA

SEWER CLEAN-OUT
STANDARD DETAIL S-07

SCALE: NONE | DATE: 6/10/13

north tahoe PUBLIC UTILITY DISTRICT



DETAIL NOTES:

1. IF CONNECTING TO MAIN USING A HOT TAP ASSEMBLY WHICH DOES NOT INCLUDE A CURB STOP, A CURB STOP MUST BE ADDED. VALVE BOX IS REQUIRED FOR CURB STOP ONLY.
2. SEE NTPUD TECHNICAL SPECIFICATIONS FOR APPROVED MATERIALS. ALL BRASS MUST MEET THE LEAD FREE REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE.
3. SET VALVE BOX 1/2" ABOVE GRADE IN NON-TRAFFIC AREAS, 1/2" BELOW GRADE IN TRAFFIC AND/OR PAVED AREAS
4. CONTRACTOR HAS OPTION OF USING PE TUBING & INSTA-TITE FITTINGS TO MAKE CONNECTIONS ON 1" PIPE. EXISTING STEEL PIPE MAINS SHALL BE THREADED.
5. SEE NTPUD STANDARD DETAIL W-22 FOR BEDDING, BACKFILL AND RESURFACING REQUIREMENTS, AND W-30 FOR VALVE & VALVE BOX INSTALLATION.

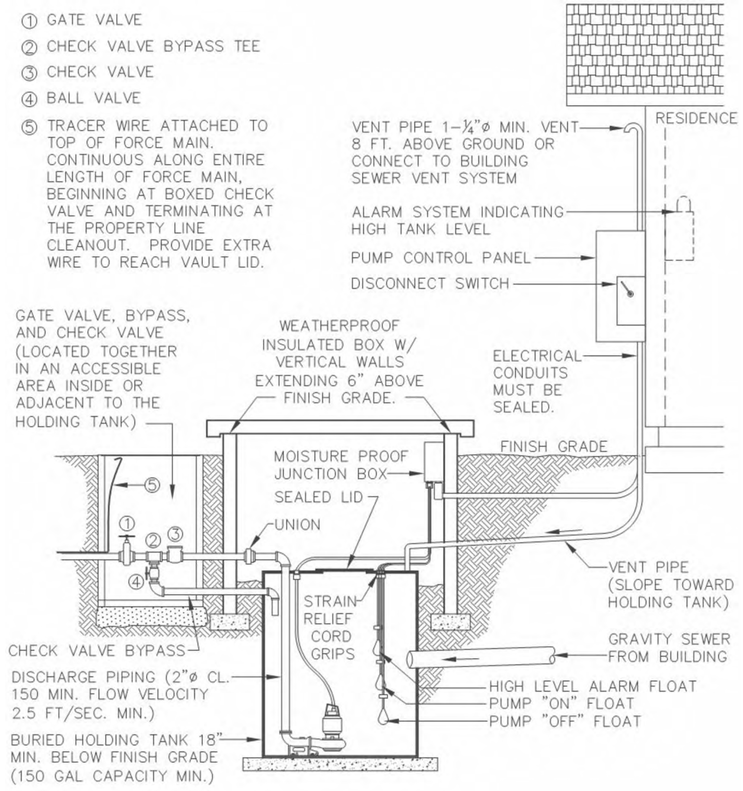
WILLIAM B. STELTER — No. C 65139 CIVIL — STATE OF CALIFORNIA

1"-2" WATER MAIN RE-CONNECTION
STANDARD DETAIL W-21

SCALE: NONE | DATE: 6/10/13

north tahoe PUBLIC UTILITY DISTRICT

① GATE VALVE
② CHECK VALVE BYPASS TEE
③ CHECK VALVE
④ BALL VALVE
⑤ TRACER WIRE ATTACHED TO TOP OF FORCE MAIN. CONTINUOUS ALONG ENTIRE LENGTH OF FORCE MAIN, BEGINNING AT BOXED CHECK VALVE AND TERMINATING AT THE PROPERTY LINE CLEANOUT. PROVIDE EXTRA WIRE TO REACH VAULT LID.



2 / C2.3 TYPICAL RESIDENTIAL SEWER PUMP STATION
N.T.S

REV.	DATE	DESCRIPTION	APPROVED	DATE

TIESLAU CIVIL ENGINEERING, INC.
6883 NORTH LAKE BLVD
P.O. BOX 412
TAHOE VISTA, CA 96148
TCETAHOE.COM
(530) 546-4825

REGISTERED PROFESSIONAL ENGINEER — BRIAN TIESLAU — 60325 — EXP. 6/30/24 — CIVIL — STATE OF CALIFORNIA — 8/4/23

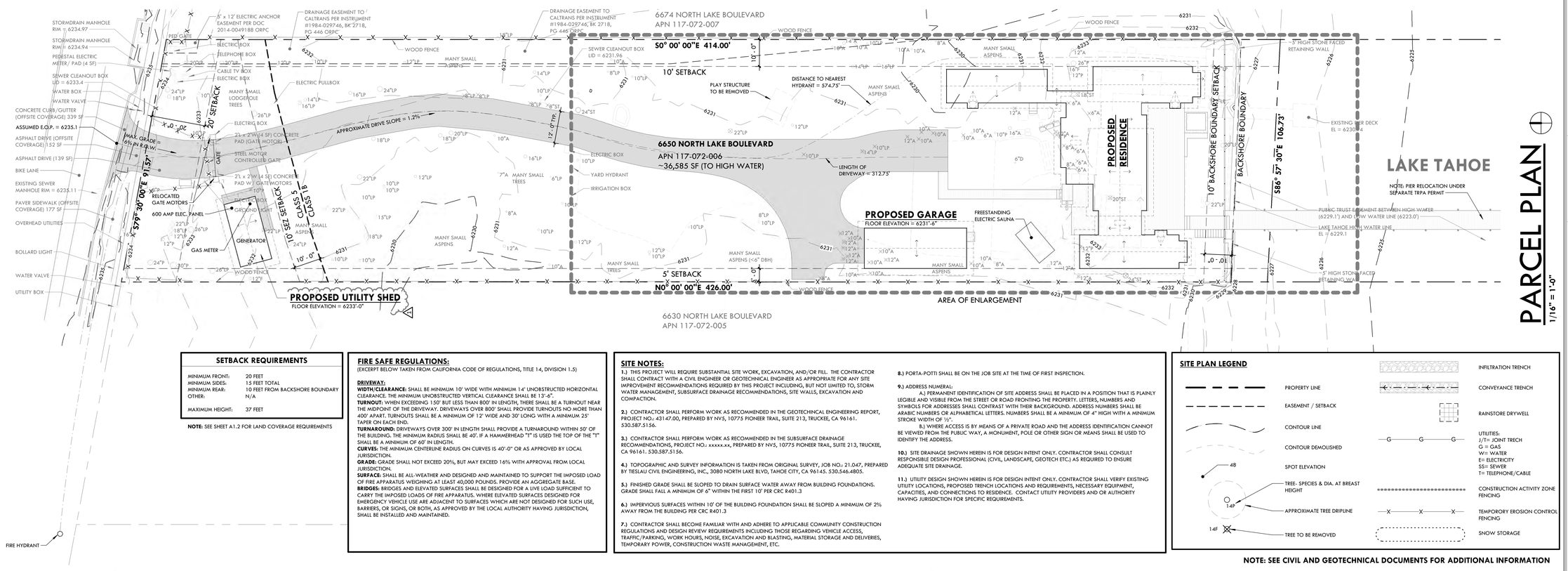
CIVIL UTILITY DETAILS
ROADSTER, LLC
6650 NORTH LAKE BOULEVARD
APN 117-072-006
PLACER COUNTY
TAHOE VISTA

COMP:_____ DESIGN:
DRWN: PRJ.ENG: AT

PROJECT #: 23.020
SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

DATE: 8-4-23

C2.3



SETBACK REQUIREMENTS

MINIMUM FRONT:	20 FEET
MINIMUM SIDES:	15 FEET TOTAL
MINIMUM REAR:	10 FEET FROM BACKSHORE BOUNDARY
OTHER:	N/A
MAXIMUM HEIGHT:	37 FEET

NOTE: SEE SHEET A1.2 FOR LAND COVERAGE REQUIREMENTS

FIRE SAFE REGULATIONS:

(EXCERPT BELOW TAKEN FROM CALIFORNIA CODE OF REGULATIONS, TITLE 14, DIVISION 1.5)

DRIVEWAY:
WIDTH/CLEARANCE: SHALL BE MINIMUM 10' WIDE WITH MINIMUM 14' UNOBSTRUCTED HORIZONTAL CLEARANCE. THE MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE SHALL BE 13'-6".
TURNOUT: WHEN EXCEEDING 150' BUT LESS THAN 800' IN LENGTH, THERE SHALL BE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. DRIVEWAYS OVER 800' SHALL PROVIDE TURNOUTS NO MORE THAN 400' APART. TURNOUTS SHALL BE A MINIMUM OF 12' WIDE AND 30' LONG WITH A MINIMUM 25' TAPER ON EACH END.
TURNAROUND: DRIVEWAYS OVER 300' IN LENGTH SHALL PROVIDE A TURNAROUND WITHIN 50' OF THE BUILDING. THE MINIMUM RADIUS SHALL BE 40'. IF A HAMMERHEAD "T" IS USED THE TOP OF THE "T" SHALL BE A MINIMUM OF 60' IN LENGTH.
CURVES: THE MINIMUM CENTERLINE RADIUS ON CURVES IS 40'-0" OR AS APPROVED BY LOCAL JURISDICTION.
GRADE: GRADE SHALL NOT EXCEED 20%, BUT MAY EXCEED 16% WITH APPROVAL FROM LOCAL JURISDICTION.
SURFACE: SHALL BE ALL-WEATHER AND DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 40,000 POUNDS. PROVIDE AN AGGREGATE BASE.
BRIDGES: BRIDGES AND ELEVATED SURFACES SHALL BE DESIGNED FOR A LIVE LOAD SUFFICIENT TO CARRY THE IMPOSED LOADS OF FIRE APPARATUS. WHERE ELEVATED SURFACES DESIGNED FOR EMERGENCY VEHICLE USE ARE ADJACENT TO SURFACES WHICH ARE NOT DESIGNED FOR SUCH USE, BARRIERS, OR SIGNS, OR BOTH, AS APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION, SHALL BE INSTALLED AND MAINTAINED.

SITE NOTES:

1.) THIS PROJECT WILL REQUIRE SUBSTANTIAL SITE WORK, EXCAVATION, AND/OR FILL. THE CONTRACTOR SHALL CONTRACT WITH A CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AS APPROPRIATE FOR ANY SITE IMPROVEMENT RECOMMENDATIONS REQUIRED BY THIS PROJECT INCLUDING, BUT NOT LIMITED TO, STORM WATER MANAGEMENT, SUBSURFACE DRAINAGE RECOMMENDATIONS, SITE WALLS, EXCAVATION AND COMPACTION.

2.) CONTRACTOR SHALL PERFORM WORK AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT, PROJECT NO.: 4314T.00, PREPARED BY NV5, 10775 PIONEER TRAIL, SUITE 213, TRUCKEE, CA 96161. 530.587.5156.

3.) CONTRACTOR SHALL PERFORM WORK AS RECOMMENDED IN THE SUBSURFACE DRAINAGE RECOMMENDATIONS, PROJECT NO.: xxxxx.xx, PREPARED BY NV5, 10775 PIONEER TRAIL, SUITE 213, TRUCKEE, CA 96161. 530.587.5156.

4.) TOPOGRAPHIC AND SURVEY INFORMATION IS TAKEN FROM ORIGINAL SURVEY, JOB NO.: 21.047, PREPARED BY TIESLAU CIVIL ENGINEERING, INC., 3080 NORTH LAKE BLVD, TAHOE CITY, CA 96145. 530.546.4805.

5.) FINISHED GRADE SHALL BE SLOPED TO DRAIN SURFACE WATER AWAY FROM BUILDING FOUNDATIONS. GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' PER CRC R401.3

6.) IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING PER CRC R401.3

7.) CONTRACTOR SHALL BECOME FAMILIAR WITH AND ADHERE TO APPLICABLE COMMUNITY CONSTRUCTION REGULATIONS AND DESIGN REVIEW REQUIREMENTS INCLUDING THOSE REGARDING VEHICLE ACCESS, TRAFFIC/PARKING, WORK HOURS, NOISE, EXCAVATION AND BLASTING, MATERIAL STORAGE AND DELIVERIES, TEMPORARY POWER, CONSTRUCTION WASTE MANAGEMENT, ETC.

8.) PORTA-POTTI SHALL BE ON THE JOB SITE AT THE TIME OF FIRST INSPECTION.

9.) ADDRESS NUMERAL:
A.) PERMANENT IDENTIFICATION OF SITE ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF ½".
B.) WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE ADDRESS IDENTIFICATION CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE ADDRESS.

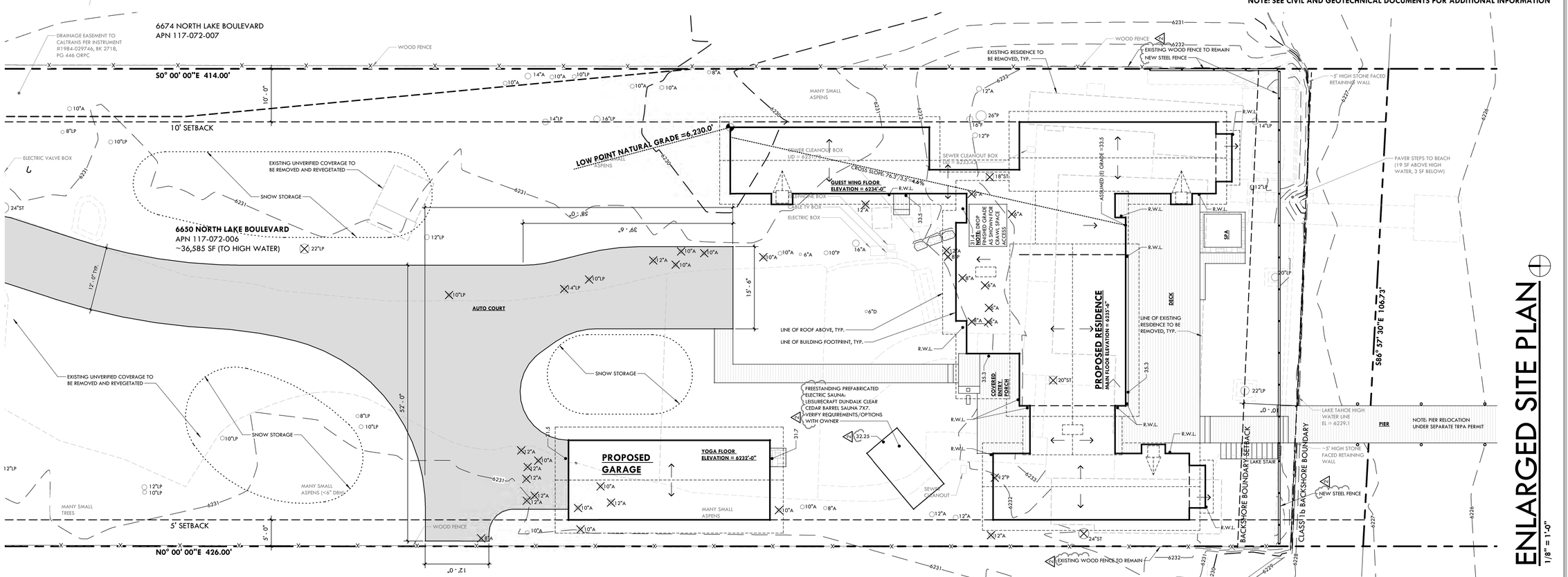
10.) SITE DRAINAGE SHOWN HEREIN IS FOR DESIGN INTENT ONLY. CONTRACTOR SHALL CONSULT RESPONSIBLE DESIGN PROFESSIONAL (CIVIL, LANDSCAPE, GEOTECH ETC.) AS REQUIRED TO ENSURE ADEQUATE SITE DRAINAGE.

11.) UTILITY DESIGN SHOWN HEREIN IS FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS, PROPOSED TRENCH LOCATIONS AND REQUIREMENTS, NECESSARY EQUIPMENT, CAPACITIES, AND CONNECTIONS TO RESIDENCE. CONTACT UTILITY PROVIDERS AND OR AUTHORITY HAVING JURISDICTION FOR SPECIFIC REQUIREMENTS.

SITE PLAN LEGEND

- PROPERTY LINE
- EASEMENT / SETBACK
- CONTOUR LINE
- CONTOUR DEMOLISHED
- SPOT ELEVATION
- TREE- SPECIES & DIA. AT BREAST HEIGHT
- APPROXIMATE TREE DRIPLINE
- TREE TO BE REMOVED
- INFILTRATION TRENCH
- CONVEYANCE TRENCH
- RAINSTORE DRYWELL
- UTILITIES: J/T= JOINT TRECH G = GAS W= WATER E= ELECTRICITY SS= SEWER T= TELEPHONE/CABLE
- CONSTRUCTION ACTIVITY ZONE FENCING
- TEMPORARY EROSION CONTROL FENCING
- SNOW STORAGE

NOTE: SEE CIVIL AND GEOTECHNICAL DOCUMENTS FOR ADDITIONAL INFORMATION



ENLARGED SITE PLAN

1/8" = 1'-0"

PARCEL PLAN

1/16" = 1'-0"

SANDBOX
12257 business park drive, #11 truckee, ca 96161
530.583.8822

HEART ROCK ESTATE

6650 NORTH LAKE BLVD.
TAHOE VISTA, CA 96148
PLACER COUNTY
APN: 117-072-006

CLIENT: NORTH SHORE TVCA, LLC
JOB #: 2202
DRAWING ISSUE DATE: 08/04/2023
DRAWING STATUS: PERMIT SUBMITTAL

REVISIONS

1 07.20.23 UTILITY SHED
2 08.15.23 TRPA MODIFICATIONS

PARCEL PLAN AND ENLARGED SITE PLAN

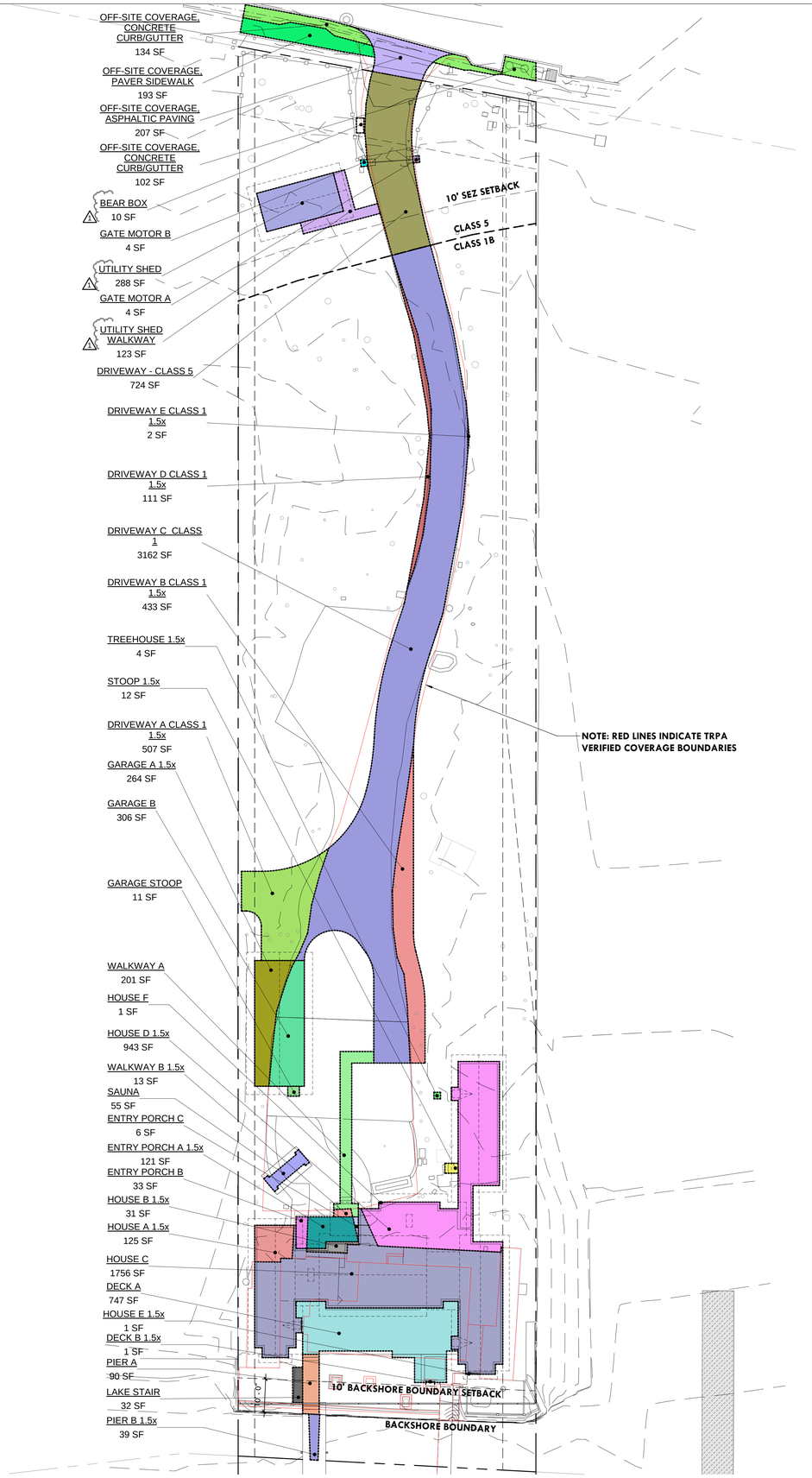
DRAWING SCALE: As indicated

SHEET: A1.1

AGENDA ITEM NO. V. C.

PROPOSED LAND COVERAGE TABLE		
CLASS 5 COVERAGE		
DRIVEWAY - CLASS 5	724 SF	
GATE MOTOR A	4 SF	
GATE MOTOR B	4 SF	
⚠1 UTILITY SHED	288 SF	
UTILITY SHED WALKWAY	123 SF	
BEAR BOX	10 SF	
TOTAL CLASS 5	1,153 SF	⚠1
CLASS 1B COVERAGE (NO MITIGATION REQUIRED)		
DRIVEWAY C CLASS 1	3,162 SF	
GARAGE B	306 SF	
ENTRY PORCH C	6 SF	
HOUSE C	1,756 SF	
DECK A	747 SF	
PIER A	90 SF	
GARAGE STOOP	11 SF	
WALKWAY A	201 SF	
HOUSE F	1 SF	
ENTRY PORCH B	33 SF	
SAUNA	55 SF	
LAKE STAIR	32 SF	
TOTAL CLASS 1B (NO MITIGATION REQUIRED)	6,400 SF	
CLASS 1B COVERAGE (MITIGATED AT 1.5:1)	ACTUAL	WITH MITIGATION
DRIVEWAY A CLASS 1	507 SF	760.5 SF
DRIVEWAY B CLASS 1	433 SF	649.5 SF
GARAGE A	264 SF	396 SF
STOOP	12 SF	18 SF
ENTRY PORCH A	121 SF	181.5 SF
HOUSE A	125 SF	187.5 SF
HOUSE D	943 SF	1414.5 SF
DECK B	1 SF	1.5 SF
HOUSE B	31 SF	46.5 SF
WALKWAY B	13 SF	19.5 SF
HOUSE E	1 SF	1.5 SF
DRIVEWAY D CLASS 1	111 SF	166.5 SF
DRIVEWAY E CLASS 1	2 SF	3 SF
TREEHOUSE	4 SF	6 SF
PIER B	39 SF	58.5 SF
TOTAL CLASS 1B (MITIGATED AT 1.5:1)	2,607 SF	3910.5 SF
CLASS 1B COVERAGE PERMANENTLY RETIRED FOR MITIGATION:		1,304 SF

TRPA LAND COVERAGE SUMMARY			
TRPA SITE ASSESSMENT FILE NUMBER:	LCAP2010-0344		
GROSS LOT AREA:	36,585 SF		
BASE ALLOWABLE COVERAGE	PERCENT COVERAGE	AREA (SF)	ALLOWABLE COVERAGE (SF)
CLASS 5	25%	4,965	1,241
CLASS 1B	1%	31,620	316
TOTAL BASE ALLOWABLE COVERAGE:			**1,557**
CLASS 5 ON-SITE COVERAGE	EXISTING VERIFIED (SF)	PROPOSED (SF)	INCREASE (SF)
DRIVEWAY	746	724	
GATE MOTORS	0	8	
BEAR BOX	0	10	
UTILITY SHED	0	288	
UTILITY SHED WALKWAY	0	123	
CLASS 5 TOTAL:	**746**	**1,153** ⚠1	**407** ⚠1
CLASS 1B ON-SITE COVERAGE	EXISTING VERIFIED (SF)	PROPOSED (SF, INCLUDES MITIGATION)	NET CHANGE TO BE BANKED (SF)
DRIVEWAY	6,431	4,741.5	
BUILDINGS	1,791	4,170	
PIER	41	148.5	
STONE PATIO / STAIRS	351	281.5	
DECKS	1,697	969	
CLASS 1B TOTAL:	**10,311**	**10,310.5**	**0.5**
TOTAL ON-SITE COVERAGE	EXISTING TOTAL AVAILABLE (SF)	PROPOSED (SF, INCLUDES MITIGATION)	
CLASS 5 (Base Allowable)	1,241	1,153	
CLASS 1B (Existing Verified)	10,311	10,310.50	
TOTAL:	**11,552**	**11,463.5**	
COVERAGE TO BE BANKED			
CLASS 5	**0.5**		
⚠2 CLASS 1B	**88**		
OFF-SITE COVERAGE	EXISTING (SF)	PROPOSED (SF)	NET REDUCTION (SF)
OFF-SITE TOTAL:	**668**	**636**	**32**



LAND COVERAGE DIAGRAM

1/16" = 1'-0"

SANDBOX

12257 business park drive, #11 truckee, ca 96161
530.583.8822

HEART ROCK ESTATE

6650 NORTH LAKE BLVD.
TAHOE VISTA, CA 96148

PLACER COUNTY

APN: 117-072-006

CLIENT: NORTH SHORE TVCA, LLC
JOB #: 2202

DRAWING ISSUE DATE: 08/04/2023

DRAWING STATUS: PERMIT SUBMITTAL

REVISIONS

1 07.20.23 UTILITY SHED
2 08.15.23 TRPA MODIFICATIONS

LAND COVERAGE

DRAWING SCALE: As indicated

SHEET: A1.2

CRC R337 - EXTERIOR WILDFIRE EXPOSURE REQUIREMENTS

1.) VEGETATION MANAGEMENT: PER THE CRC R337.1.5: PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.
A) MAINTAIN EFFECTIVE DEFENSIBLE SPACE BY REMOVING AND CLEARING AWAY FLAMMABLE VEGETATION AND COMBUSTIBLE GROWTH FROM AREAS WITHIN 30 FEET OF SUCH BUILDINGS OR STRUCTURES. SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, ARE EXCEPTIONS PROVIDED THAT THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.
B) MAINTAIN ADDITIONAL EFFECTIVE DEFENSIBLE SPACE BY REMOVING BRUSH, FLAMMABLE VEGETATION AND COMBUSTIBLE GROWTH FROM AREAS LOCATED 30 FEET TO 100 FEET OF SUCH BUILDINGS OR STRUCTURES WHEN REQUIRED BY THE FIRE CODE OFFICIAL DUE TO STEEPNESS OF TERRAIN OR OTHER CONDITIONS CAUSING 30 FEET TO BE INSUFFICIENT.
C) REMOVE PORTIONS OF TREES WHICH EXTEND WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY.
D) MAINTAIN PORTIONS OF TREES ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEADWOOD.
E) MAINTAIN THE ROOF OF A STRUCTURE FREE OF LEAVES, NEEDLES OR OTHER DEAD VEGETATIVE GROWTH.

2.) ROOFING : ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER R337 AND R902 OF THE CALIFORNIA RESIDENTIAL CODE. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ROOF ASSEMBLIES IN THE FIRE HAZARD SEVERITY ZONES SHALL BE CLASS A RATING WHEN TESTED IN ACCORDANCE WITH ASTM E108 OR UL790
CRC R337.5

3.) ROOF COVERINGS: WHERE THE ROOFING PROFILE HAS AN AIRSPACE UNDER THE ROOF COVERING, INSTALLED OVER A COMBUSTIBLE DECK, A 72 LB. (32.7KG) CAP SHEET COMPLYING WITH ASTM D3909 STANDARD SPECIFICATION FOR "ASPHALT ROLLED ROOFING (GLASS FELT) SURFACED WITH MINERAL GRANULES," SHALL BE INSTALLED OVER THE ROOF DECK. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDED IN TO PREVENT INTRUSION OF FIRE OR EMBERS
CRC R337.5.2

4.) ROOF VALLEYS: WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) NO. 26 GAGE GALVANIZED SHEET CORROSION RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72-POUND (32.4 KG) MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D3909, AT LEAST 36-INCH-WIDE (914 MM) RUNNING THE FULL LENGTH OF THE VALLEY.
CRC R337.5.3

5.) ROOF GUTTERS: ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. CRC R337.5.4

6.) VENTS: WHERE PROVIDED, VENTILATION OPENINGS FOR ENCLOSED ATTICS, GABLE ENDS, RIDGE ENDS, UNDER EAVES AND CORNICES, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION, FOUNDATIONS AND CRAWL SPACES, OR ANY OTHER OPENING INTENDED TO PERMIT VENTILATION, EITHER IN A HORIZONTAL OR VERTICAL PLANE, SHALL BE IN ACCORDANCE WITH SECTION 1202 OF THE CALIFORNIA BUILDING CODE AND SECTIONS R337.6.1 THROUGH R337.6.2 TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.

VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDFIRE FLAME AND EMBER RESISTANT VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS TESTED TO ASTM E2886 AND LISTED.

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:
1.) VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.
2.) THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
3.) THE MESH MATERIAL SHALL BE CORROSION RESISTANT.
CRC R337.6.2.1

7.) EXTERIOR COVERING: THE FOLLOWING EXTERIOR COVERING MATERIALS AND/OR ASSEMBLIES SHALL COMPLY WITH THIS SECTION: EXTERIOR WALL COVERINGS, EXTERIOR WALL ASSEMBLIES, EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE OVERHANGS, EXTERIOR EXPOSED UNDERSIDE OF ROOF EAVE SOFFITS, EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS, EXTERIOR EXPOSED UNDERSIDE OF FLOOR PROJECTIONS, EXTERIOR UNDERFLOOR AREAS. CRC R337.7

THE EXTERIOR WALL COVERING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING REQUIREMENTS, EXCEPT AS PERMITTED FOR EXTERIOR WALL ASSEMBLIES COMPLYING WITH SECTION R337.7.4:
1.) NONCOMBUSTIBLE MATERIAL.
2.) IGNITION-RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION R337.4.2.
3.) FIRE-RETARDANT-TREATED WOOD. THE FIRE-RETARDANT-TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2 OF THE CALIFORNIA BUILDING CODE.

EXTENTS: EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. CRC R337.7.3.1

EXTERIOR WALL ASSEMBLIES OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED USING ONE OR MORE OF THE FOLLOWING METHODS, UNLESS THEY ARE COVERED BY AN EXTERIOR WALL COVERING COMPLYING WITH SECTION R337.7.3:
1.) ASSEMBLY OF SAWN LUMBER OR GLUE-LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES (102 MM). SAWN OR GLUE-LAMINATED PLANKS SPLINED, TONGUE-AND-GROVE, OR SET CLOSE TOGETHER AND WELL SPIKED.
2.) LOG WALL CONSTRUCTION ASSEMBLY.
3.) ASSEMBLY THAT HAS BEEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN ASTM E2707 WITH THE CONDITIONS OF ACCEPTANCE SHOWN IN SECTION R337.7.4.1.
4.) ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1.
5.) ASSEMBLY SUITABLE FOR EXTERIOR FIRE EXPOSURE WITH A 1-HOUR FIRE-RESISTANCE RATING, RATED FROM THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263.
6.) ASSEMBLY SUITABLE FOR EXTERIOR FIRE EXPOSURE CONTAINING ONE LAYER OF 5/8-INCH (16 MM) TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR WALL COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE FRAMING.
7.) ASSEMBLY SUITABLE FOR EXTERIOR FIRE EXPOSURE CONTAINING ANY OF THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL AS COMPLYING WITH A 1-HOUR FIRE-RESISTANCE RATING, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263
CRC R337.7.4

9.) OPEN ROOF EAVES: THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL SHALL BE NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, FIRE-RETARDANT-TREATED WOOD, HAVE ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE ROOF DECK OR OTHERWISE COMPLY WITH SECTION CRC R337.7.5

10.) ENCLOSED ROOF EAVES AND ROOF EAVE SOFFITS: THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A BOXED-IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTER TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS, SHALL BE NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, FIRE-RETARDANT-TREATED WOOD, HAVE ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT OR OTHERWISE COMPLY WITH SECTION CRC R337.7.6

11.) EXTERIOR PORCH CEILINGS: THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL SHALL BE NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, FIRE-RETARDANT-TREATED WOOD, HAVE ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED ON THE UNDERSIDE OF THE CEILING OR OTHERWISE COMPLY WITH SECTION CRC R337.7.7

12.) FLOOR PROJECTIONS: THE EXPOSED UNDERSIDE OF A CANTILEVERED FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AN EXTERIOR WALL SHALL SHALL BE NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, FIRE-RETARDANT-TREATED WOOD, HAVE ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED ON THE UNDERSIDE OF THE FLOOR PROJECTION OR OTHERWISE COMPLY WITH SECTION CRC R337.7.8

13.) UNDERFLOOR PROTECTION: THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE OR SHALL BE NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, FIRE-RETARDANT-TREATED WOOD, HAVE ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED ON THE UNDERSIDE OF THE FLOOR PROJECTION OR OTHERWISE COMPLY WITH SECTION CRC R337.7.9

14.) EXTERIOR GLAZING: THE FOLLOWING EXTERIOR GLAZING MATERIALS AND/OR ASSEMBLIES SHALL COMPLY WITH THIS SECTION: EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENINGS WITHIN EXTERIOR GARAGE DOORS, EXTERIOR STRUCTURAL GLASS VENEER, SKYLIGHTS, VENTS. GLAZED ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING:
1.) BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION R308 SAFETY GLAZING, OR
2.) BE CONSTRUCTED OF GLASS BLOCK UNITS, OR
3.) HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR
4.) BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

15.) EXTERIOR DOORS: EXTERIOR DOOR ASSEMBLIES SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCH THICK AND RAISED PANELS NOT LESS THAN 1-1/4 INCH THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20-MINUTES WHEN TESTED ACCORDING TO NFPA 252, EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SECTION R337.7.3.1 WHEN TESTED IN ACCORDANCE WITH ASTM E2707, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1.

GARAGE DOOR PERIMETER GAPS: EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS FROM ENTERING BY PREVENTING GAPS BETWEEN DOORS AND DOOR OPENINGS, AT THE BOTTOM, SIDES AND TOPS OF DOORS, FROM EXCEEDING 1/8 INCH (3.2 MM). GAPS BETWEEN DOORS AND DOOR OPENINGS SHALL BE CONTROLLED PER CRC R337.8.4

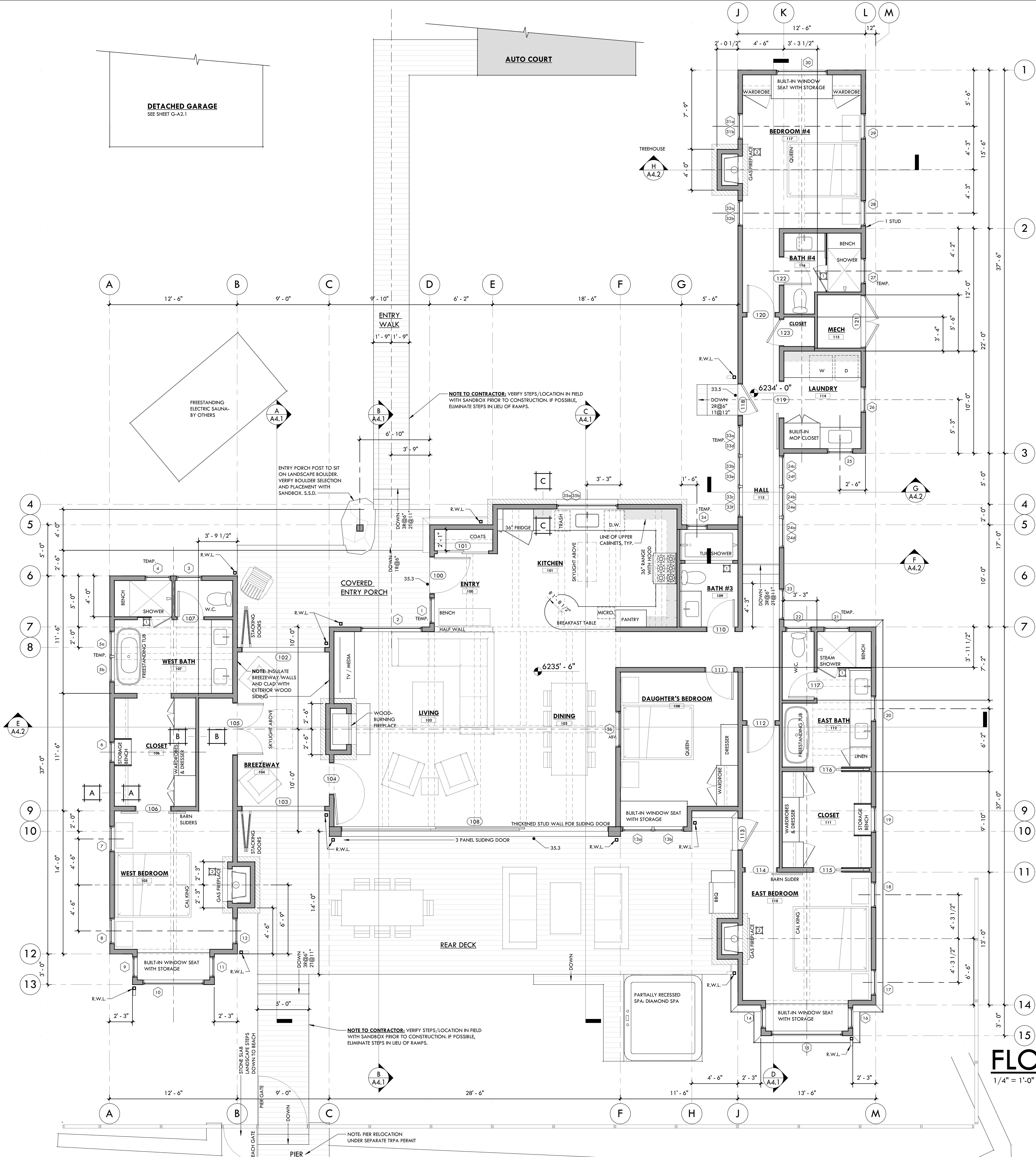
16.) DECKING: WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10' OF THE BUILDING SHALL BE IGNITION-RESISTANT MATERIAL COMPLYING WITH SFM 12-7A-4 AND R337.4.3, OR EXTERIOR FIRE-RETARDANT-TREATED WOOD, OR NON-COMBUSTIBLE MATERIAL, OR MATERIAL THAT COMPLIES WITH 12-7A-4 WHEN ATTACHED EXTERIOR WALL MATERIAL COVERING IS ALSO NONCOMBUSTIBLE OR IGNITION RESISTANT, OR OTHERWISE CONFORMS WITH CRC R337.9.3

DECK TO WALL FLASHING: A MINIMUM OF A 6-INCH (150 MM) METAL FLASHING, APPLIED VERTICALLY ON THE EXTERIOR OF THE WALL, SHALL BE INSTALLED AT ALL DECK-TO-WALL INTERSECTIONS. CRC R337.9.1.1

17.) UNDERSIDE OF APPENDAGES: WHEN REQUIRED BY THE ENFORCING AGENCY THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF CRC R337.7.10

18.) ACCESSORY STRUCTURES: GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.

ACCESSORY BUILDINGS THAT ARE GREATER THAN 120 SQUARE FEET, WHEN SEPARATED FROM AN APPLICABLE BUILDING ON THE SAME LOT BY A DISTANCE OF 3 FEET OR MORE BUT LESS THAN 50 FEET SHALL COMPLY WITH SECTION R337.10.3.2.
WHEN REQUIRED BY THE ENFORCING AGENCY, MISCELLANEOUS STRUCTURES THAT REQUIRE A PERMIT, AND ACCESSORY BUILDINGS THAT ARE 120 SQUARE FEET OR LESS, WHEN SEPARATED FROM AN APPLICABLE BUILDING ON THE SAME LOT BY A DISTANCE OF 3 FEET OR MORE BUT LESS THAN 50 FEET, SHALL COMPLY WITH EITHER SECTION R337.10.3.4 OR SECTION R337.10.3.3, RESPECTIVELY.
NO REQUIREMENTS SHALL APPLY TO ACCESSORY BUILDINGS OR MISCELLANEOUS STRUCTURES WHEN LOCATED 50 FEET OR MORE FROM AN APPLICABLE BUILDING ON THE SAME LOT.



SHEET KEYNOTES

1. TEMPERED GAZING, TYP.
2. GAS FIREPLACE. SEE NOTES 14&15 ON SHEET A4.1 AND SHEET MPE2.1

SHEET NOTES:

1.) DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS SHOWN. ANY DISCREPANCIES, OMISSIONS, OR INCONSISTENCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF SANDBOX STUDIO FOR CORRECTION PRIOR TO PERFORMING WORK.

2.) DIMENSIONS AND GRIDS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. WINDOWS, OPENINGS, AND DOOR DIMENSIONS ARE TO CENTERLINE OF OPENINGS AND, IF NOT DIMENSIONED, ARE ASSUMED TO BE CENTERED IN THE SPACE. DOORS AND WINDOWS LOCATED NEAR CORNERS ARE ASSUMED TO BE 6" FROM INSIDE CORNER UNLESS OTHERWISE NOTED.

FLOOR PLAN

1/4" = 1'-0"

BUILDING AREAS

MAIN FLOOR	2831 SF
CONDITIONED	2831 SF
MECHANICAL	25 SF
UNCONDITIONED	25 SF
TOTAL	2856 SF

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12257 business park drive, #11 truckee, ca 96161
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PLACER COUNTY
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JOB #: 2202

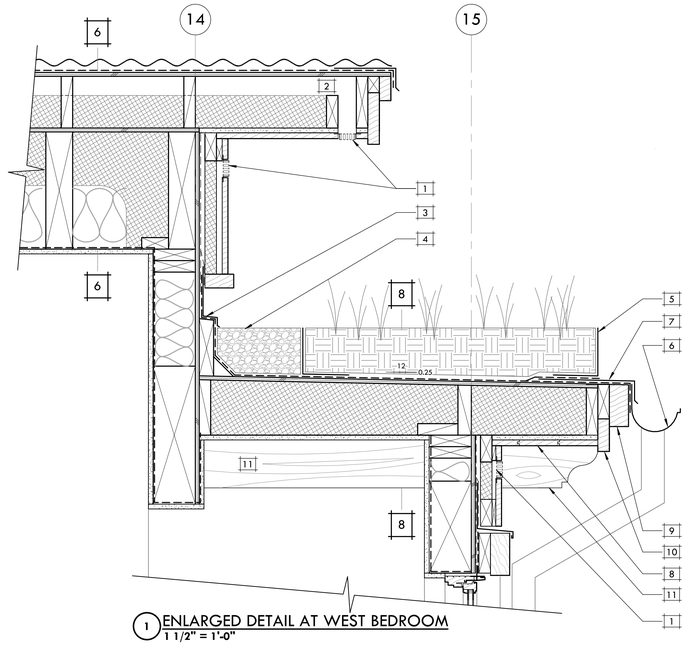
DRAWING ISSUE DATE: 08/04/2023
DRAWING STATUS: PERMIT SUBMITTAL

REVISIONS

MAIN FLOOR PLAN

DRAWING SCALE: As indicated

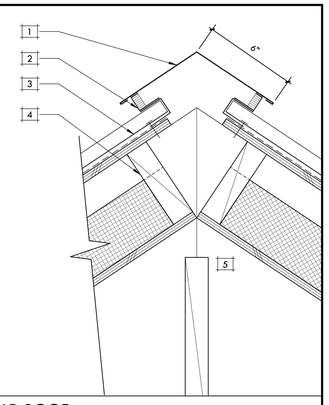
SHEET: A2.1



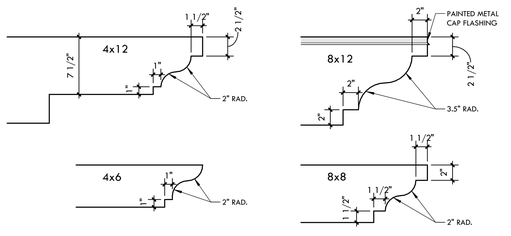
1 ENLARGED DETAIL AT WEST BEDROOM
1 1/2" = 1'-0"

1. 2" CONTINUOUS VULCAN VENT WITH POWDER COATED FINISH. INSTALL WITH EVERKEM INTUMESCENT FIRE CAULKING AS RECOMMENDED BY MANUFACTURER
2. COLD ROOF. 2" MIN. AIR GAP. NOTCH BLOCKING FOR MAX. VENTILATION AIR FLOW
3. PAINTED METAL FLASHING.
4. FREE-DRAINING ROCK
5. METAL EDGE RESTRAINT AT PLANTED ROOF, TYP.
6. PAINTED METAL GUTTER AND R.W.L. BEYOND
7. PAINTED METAL FLASHING WITH DRIP EDGE AND CLIP FASTENER. INSTALL INTO ROOFING UNDERLAYMENT AS RECOMMENDED BY ROOFING MANUFACTURER.
8. 1x8 T&G SOFFIT BOADS OVER 5/8" TYPE X GYPSUM SHEATHING. SEE CRC R337 NOTES ON A2.1 FOR ADDITIONAL INFO.
9. 3x6 SHINGLE MOLD, TYP. AT PLANTED ROOF EAVES
10. 2x SUB FASCIA. OVERHANG SOFFIT BY 3/4"
11. DECORATIVE 4x6 RAFTERS

1. PAINTED METAL RIDGE CAP
2. CONTINUOUS VULCAN VENT, J FLANGE PROFILE, INSTALLED WITH EVERKEM INTUMESCENT FIRE CAULKING AS RECOMMENDED BY MANUFACTURER
3. CORRUGATED METAL ROOFING WITH CLOSURE PER MANUFACTURER
4. BLOCKING, NOTCH FOR MAXIMUM VENTILATION AIR FLOW
5. ROOF FRAMING, S.S.D.



2 VENTED RIDGE CAP AT COLD ROOF
3" = 1'-0"



3 SCALLOPED BEAM ENDS
1 1/2" = 1'-0"

ROOF NOTES:

1.) SEE CRC R337 EXTERIOR WILDFIRE EXPOSURE REQUIREMENTS, SHEET A2.1 FOR ADDITIONAL INFORMATION.

2.) INSTALL ICE BARRIER UNDERLAYMENT AS REQUIRED BY CODE AND LOCAL JURISDICTION. THIS SHALL BE IN ADDITION TO ANY UNDERLAYMENT REQUIRED BY THE ROOFING. INSTALL ROOFING UNDERLAYMENT AS REQUIRED BY ROOFING MANUFACTURER.

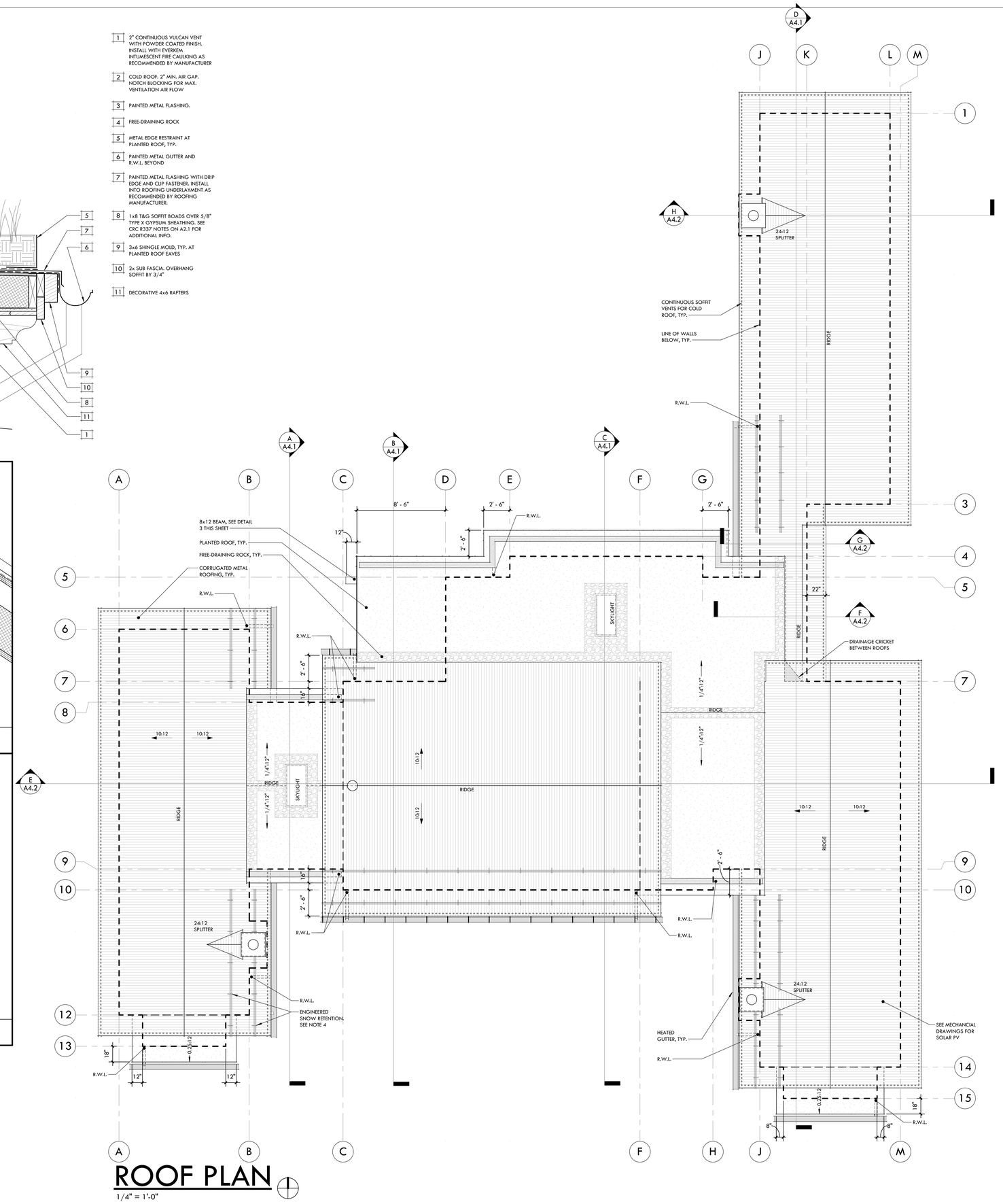
3.) ROOF OVERHANGS ARE 24", U.N.O.

4.) CONTRACTOR TO REVIEW NEED FOR SNOW RETENTION (DESIGN AND ENGINEERING BY OTHERS), GUTTERS AND HEAT TAPE WITH OWNERS. CONTACT SANDBOX FOR DESIGN REVIEW PROCESSING IF APPLICABLE. WHEN PROVIDED, GUTTERS AND DOWNSPOUTS SHALL HAVE HEAT TAPE OR SIM. TO BELOW FROST DEPTH. SEE SITE PLAN OR CIVIL FOR DRAINAGE/ TERMINATIONS.

5.) LOW SLOPE ROOFS SHALL HAVE HEAT AS NEEDED WITH HEATED PATH TO DRAIN. CONTRACTOR SHALL VERIFY WITH ROOFING SUBCONTRACTOR.

6.) CONTRACTOR TO VERIFY SUITABILITY OF ROOF MATERIALS FOR ROOF SLOPES INDICATED AND INSTALL UNDERLAYMENT AS REQUIRED BY MANUFACTURER.

7.) PROVIDE PAINTED METAL FLASHING AT VALLEYS AND ROOF TRANSITIONS. INSTALL AS RECOMMENDED BY ROOFING MANUFACTURER. PROVIDE PAINTED METAL RIDGE CAPS AND HIP CAPS, TYP.



ROOF PLAN
1/4" = 1'-0"

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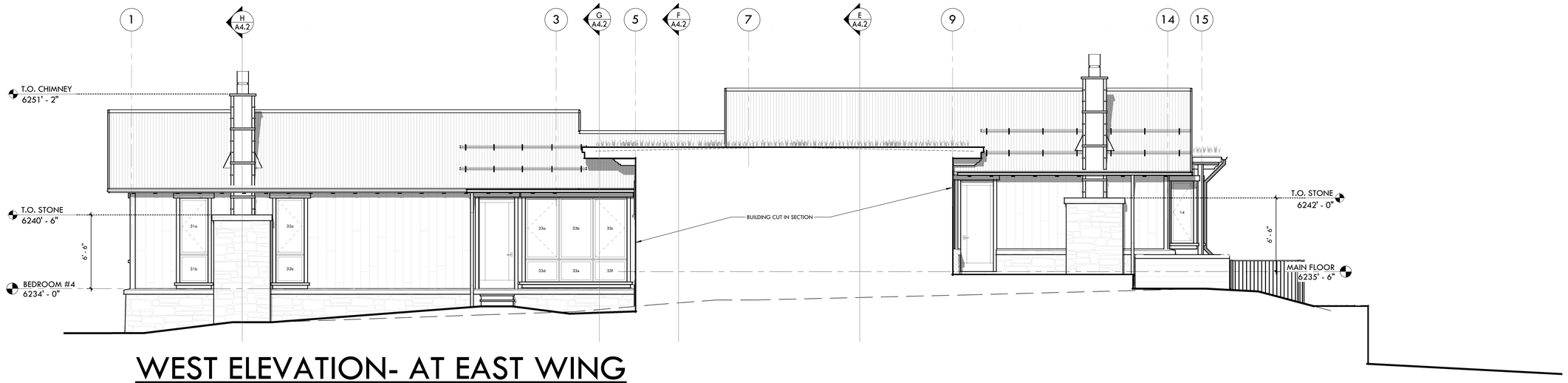
REVISIONS

ROOF PLAN

DRAWING SCALE: As indicated

SHEET: A2.2

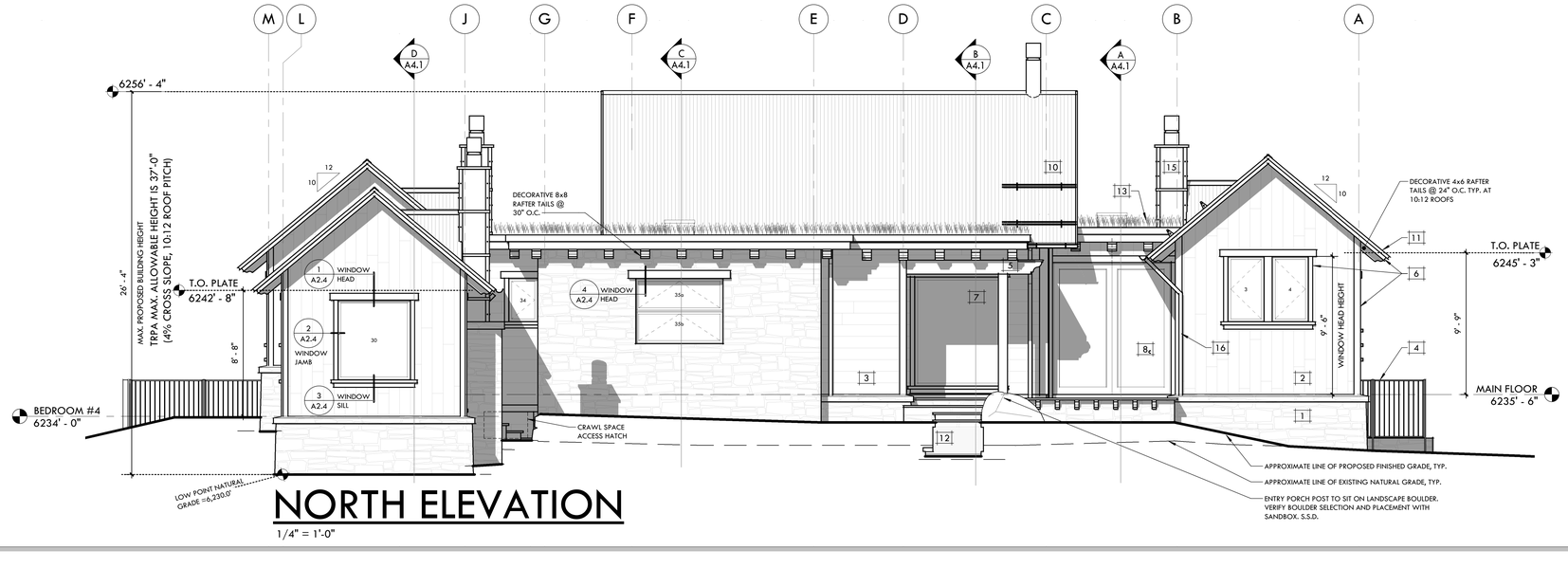


WEST ELEVATION- AT EAST WING

1/4" = 1'-0"

WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

SHEET NOTES:

1.) CONTRACTOR TO PROVIDE MATERIAL SAMPLE MOCK-UP FOR REVIEW WITH SANDBOX. THE MOCK-UP SHALL BE APPROVED BY SANDBOX AND THE OWNER PRIOR TO INSTALLING EXTERIOR MATERIALS.

2.) GLBS SHALL BE PREMIUM GRADE SQUARE EDGE SUITABLE FOR EXTERIOR USE AS APPLICABLE.

3.) OUTLOOKERS SHALL BE PREMIUM GRADE SQUARE EDGE SUITABLE FOR EXTERIOR USE.

4.) EXTERIOR HEAVY TIMBER POSTS AND BEAMS SHALL BE KILN DRIED.

5.) WOOD FRAMING AND CLADDING MATERIALS SHALL BE APPROPRIATELY STORED, PROTECTED, AND ACCLIMATIZED PRIOR TO INSTALLATION TO PROTECT AGAINST DEFORMATION.

6.) SEE CRC R337 EXTERIOR WILDFIRE EXPOSURE NOTES ON SHEET A2.1 FOR ADDITION INFORMATION.

EXTERIOR MATERIALS LEGEND:

1 **STONE VENEER:** CHUNKY GRANITE AND BASALT MIX, BY SIERRA STONE SUPPLY.
NOTE: EXTERIOR ELEVATIONS DO NOT SHOW INTENDED FINISHED LOOK FOR STONE. CONTACT SANDBOX FOR INSPIRATION IMAGERY

2 **VERTICAL WOOD SIDING:** RECLAIMED BARNWOOD 1x10 SHIPLAP SIDING BY MONTANA RECLAIMED LUMBER CO. FINISH: CLEAR SEALER. COLOR: VARIED BROWNS

3 **HORIZONTAL WOOD SIDING:** RECLAIMED BARNWOOD 1x10 RABBETED BEVEL LAP SIDING BY MONTANA RECLAIMED LUMBER CO. FINISH: CLEAR SEALER. COLOR: VARIED BROWNS

4 **METAL FENCE:** PAINTED STEEL. COLOR: BLACK

5 **WOOD POSTS AND BEAMS:** DOUGLAS FIR TIMBER AND GLBS. STAIN: MEDIUM BROWN TONE TO MATCH SIDING

6 **WOOD FASCIA AND WOOD TRIMS:** RECLAIMED 2x BARNWOOD TO MATCH WOOD SIDING

7 **WINDOWS:** ALUMINUM CLAD WOOD WINDOWS BY SIERRA PACIFIC. COLOR: 031 MOSS

8 **DOORS:** ALUMINUM CLAD WOOD DOORS BY SIERRA PACIFIC. COLOR: 031 MOSS

8a **3-PANEL PATIO SLIDER:** THERMALLY BROKEN ALUMINUM 4070-T MULTI-SLIDE BY FLEETWOOD. COLOR: PAINT TO MATCH WINDOWS

8b **2-PANEL FOLDING:** THERMALLY BROKEN ALUMINUM, 3600-T FOLDING DOOR BY FLEETWOOD. COLOR: PAINT TO MATCH WINDOWS

9 **GARAGE DOOR:** SITE FINISHED. RECLAIMED BARNWOOD TO MATCH WOOD SIDING

10 **METAL ROOFING:** 7/8" CORRUGATED, AS SUPPLIED BY WESTERN STATES METAL ROOFING. COLOR: STREAKED BLACKENED RUST

11 **EXPOSED METAL FLASHINGS, TRIM, ETC.,** COLOR: MATTE CHARCOAL GRAY

12 **WOOD DECKS:** THERMORY DECKING WITH CONCEALED FASTENERS

13 **LOW SLOPE ROOFING:** PLANTED ROOF, SEE DETAILS

14 **WOOD SOFFITS:** RECLAIMED BARNWOOD 1x6 T&G. FINISH: CLEAR SEALER

15 **METAL CHIMNEYS:** PAINTED METAL PANELS WITH EXPOSED FASTENERS, TRIM, AND STRAPS AS SHOWN. COLOR: STREAKED BLACKENED RUST

16 **METAL GUTTERS AND DOWNSPOUTS:** PAINTED COLOR: MATTE CHARCOAL GRAY

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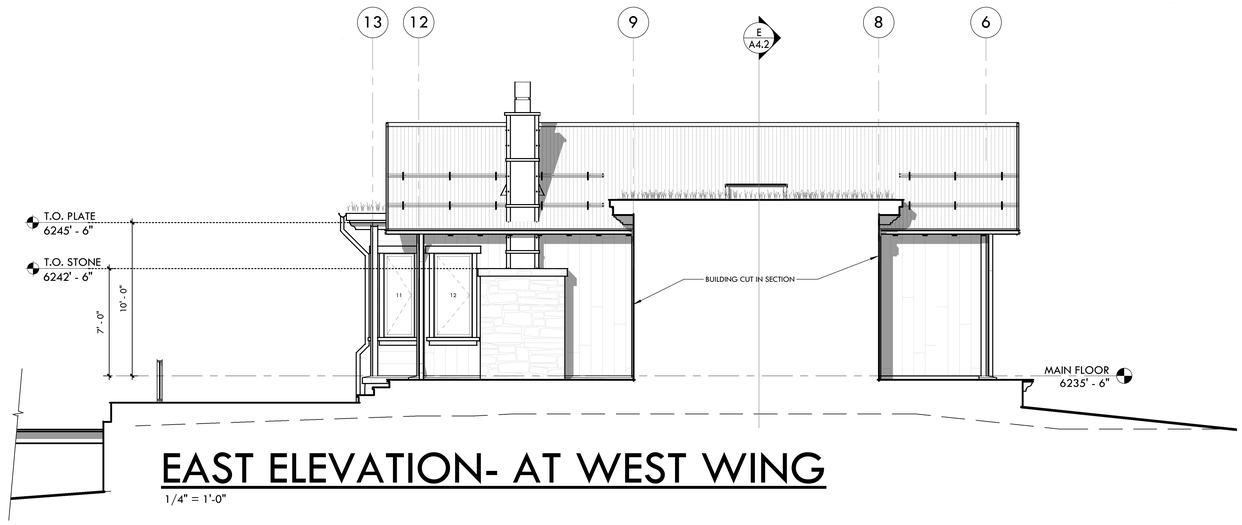
EXTERIOR ELEVATIONS

DRAWING SCALE: As indicated

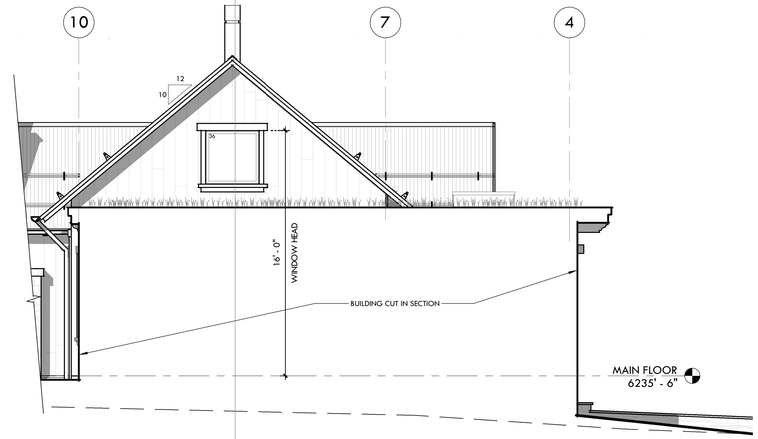
SHEET: A3.1

AGENDA ITEM NO. V. C.



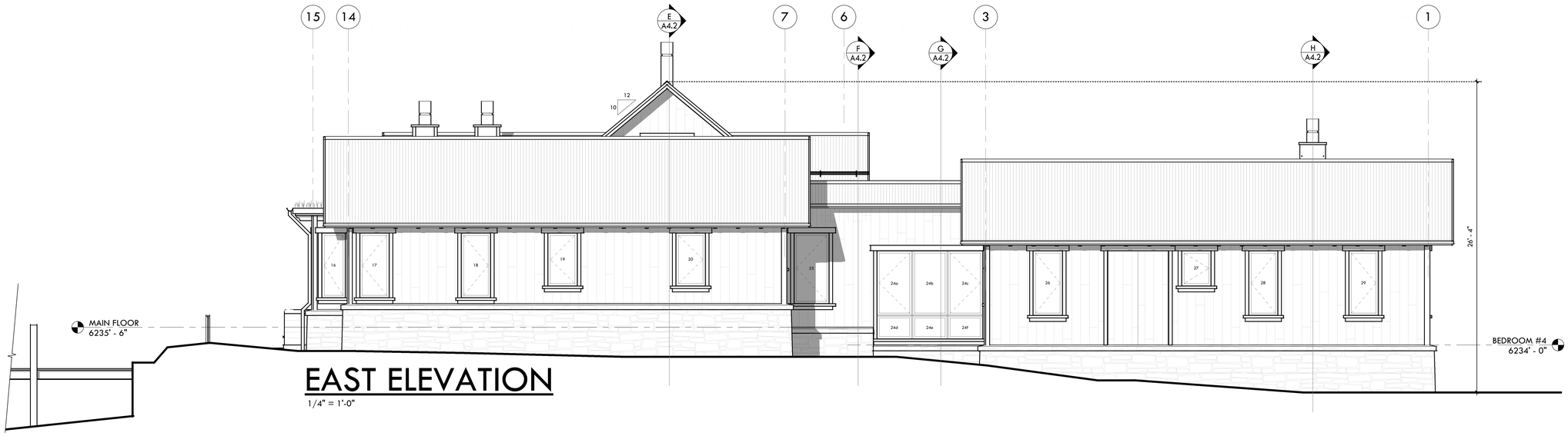
EAST ELEVATION- AT WEST WING

1/4" = 1'-0"



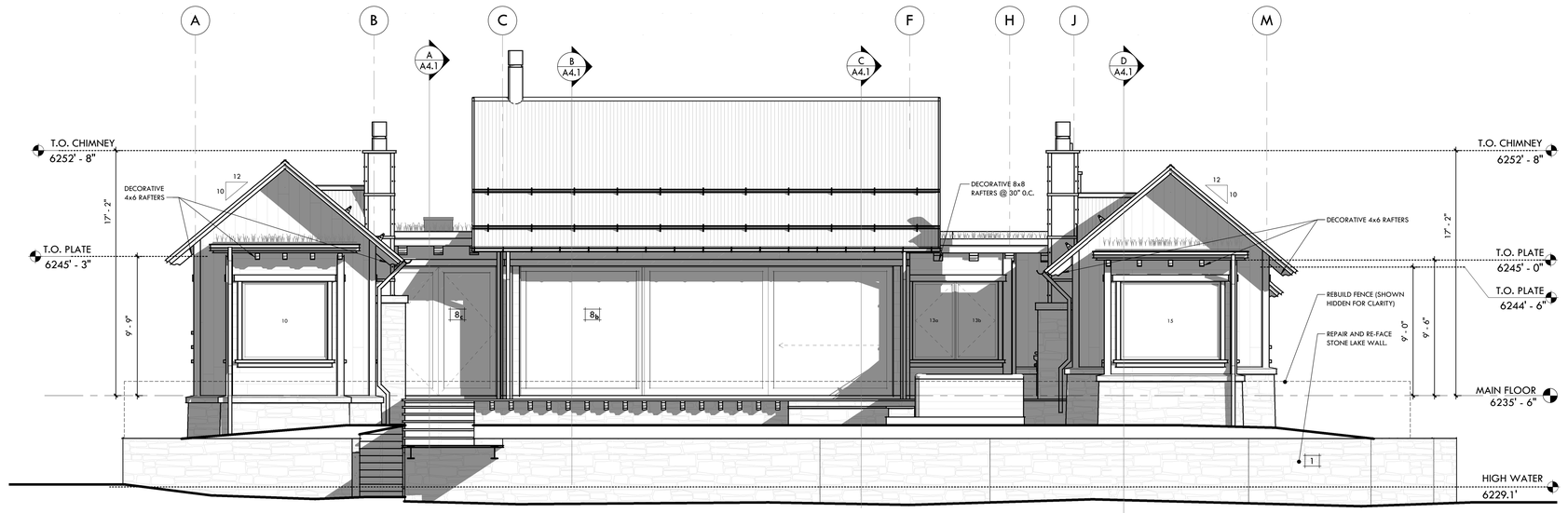
EAST ELEVATION- AT GREAT ROOM

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

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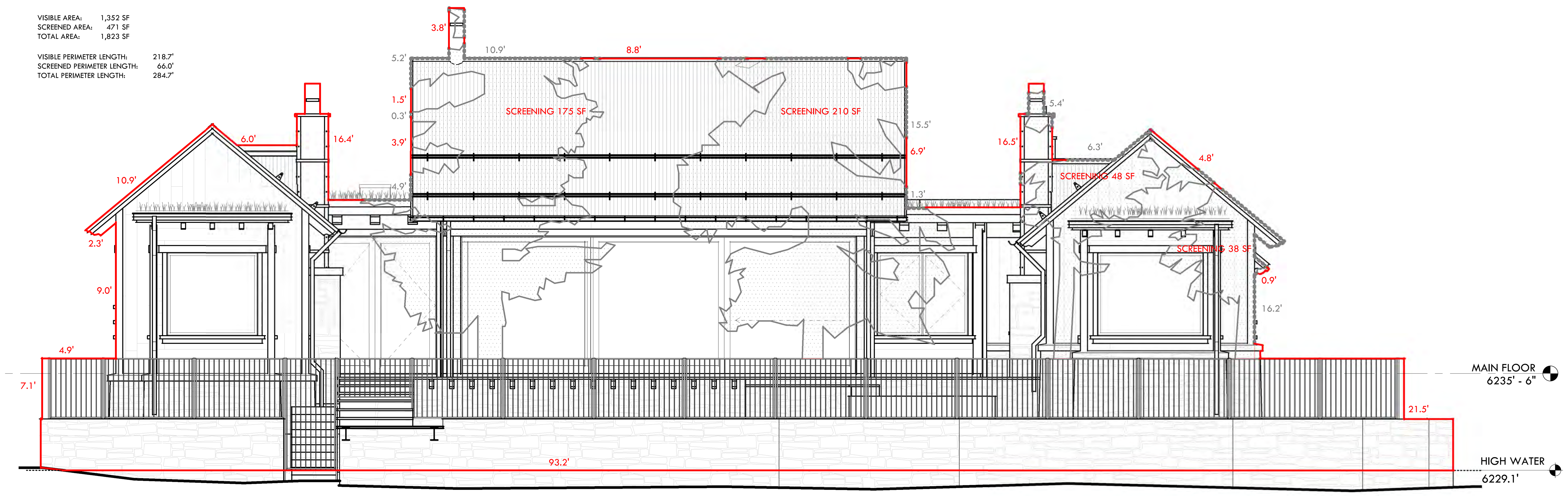
EXTERIOR ELEVATIONS

DRAWING SCALE: As indicated

SHEET:
A3.2

AGENDA ITEM NO. V. C.



SOUTH - TRPA SCENIC SCORING- VISIBLE AREAS

1/4" = 1'-0"

SOUTH - TRPA SCENIC SCORING- MATERIAL AREAS

1/4" = 1'-0"

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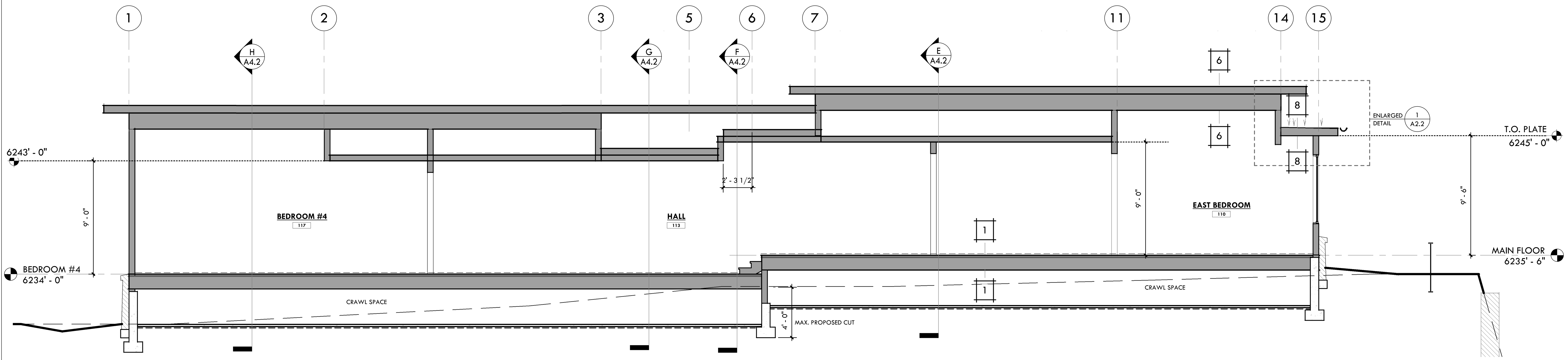
TRPA ELEVATIONS

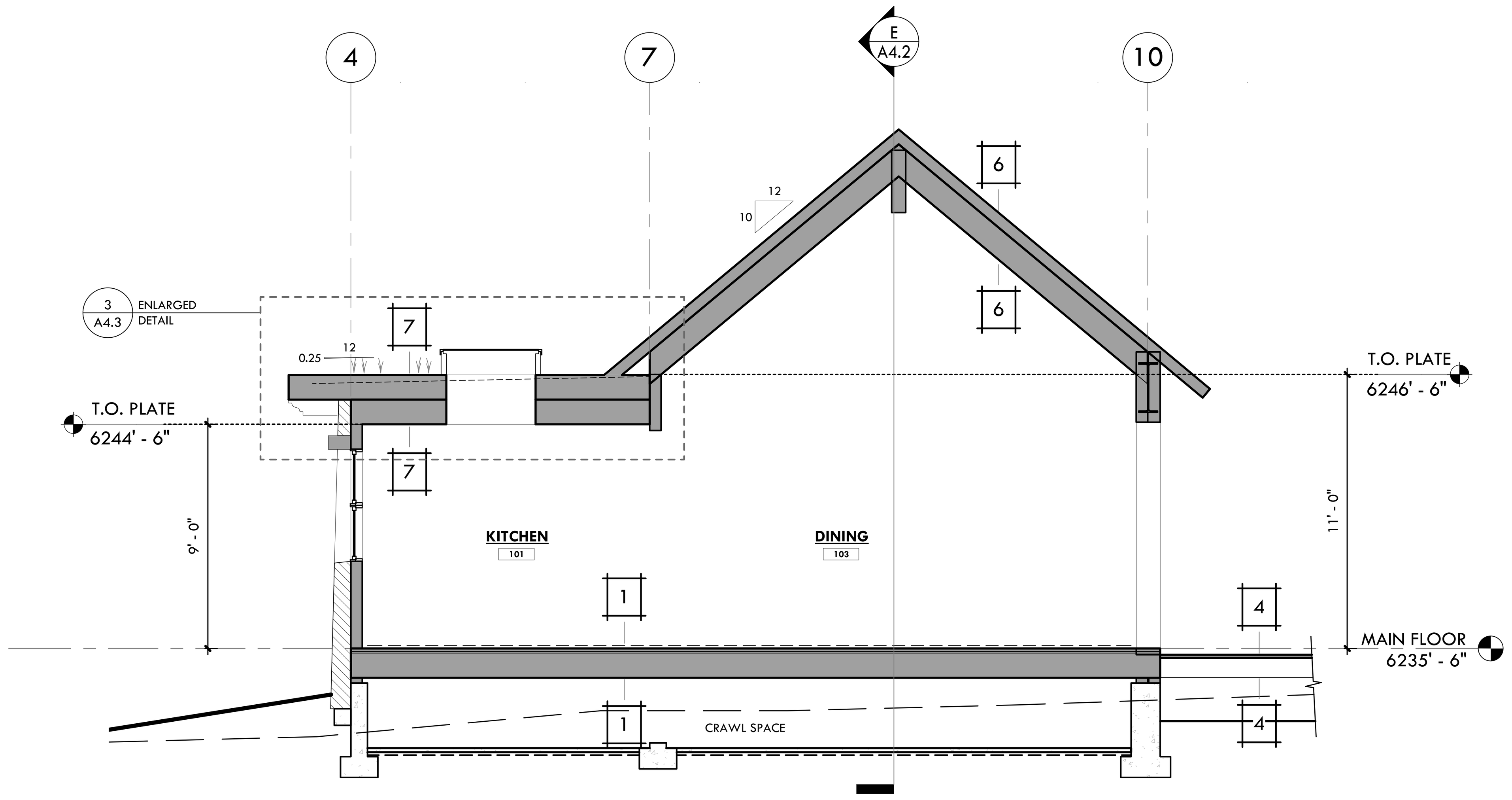
DRAWING SCALE: 1/4" = 1'-0"

SHEET: A3.3



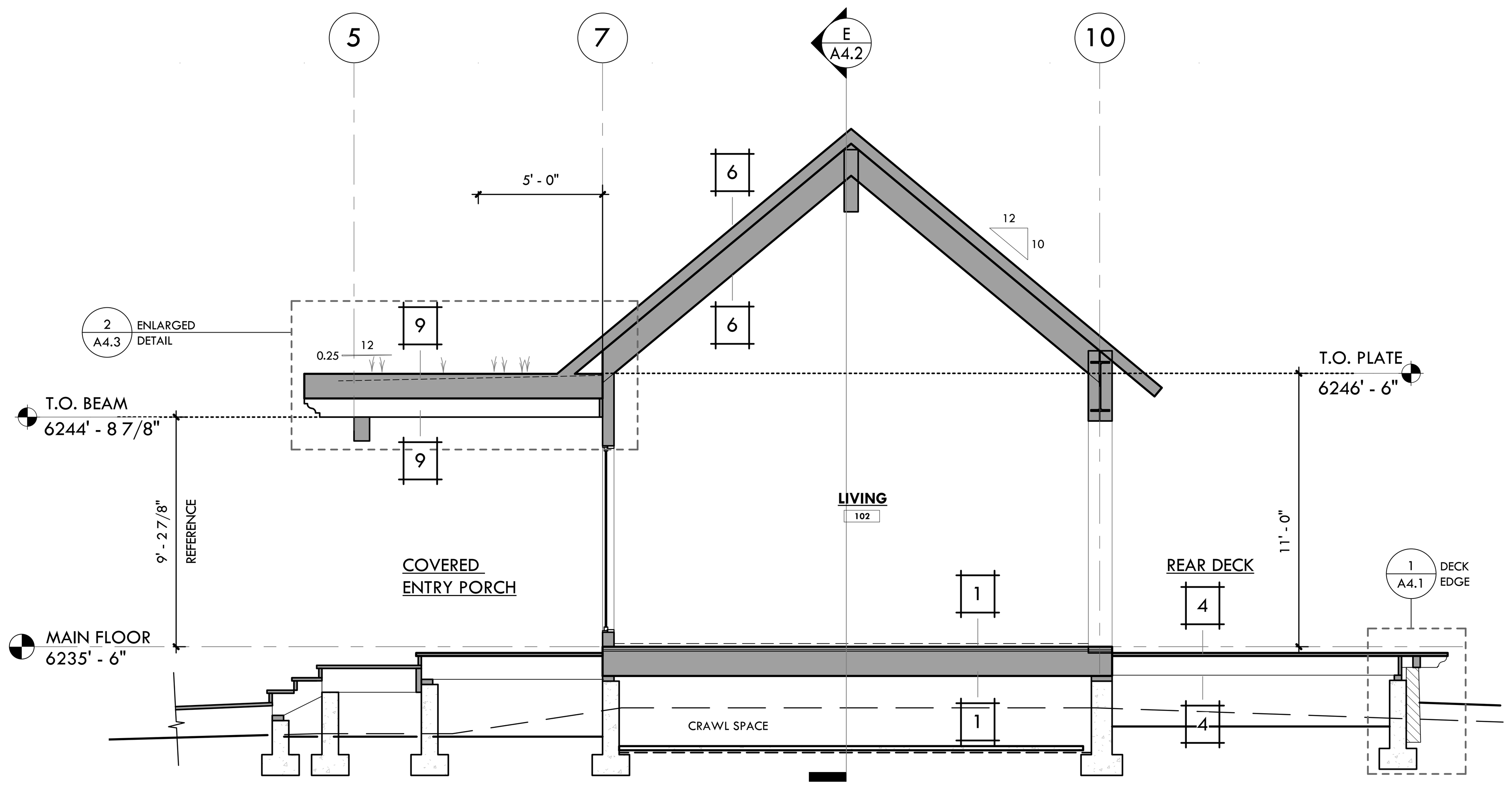
D BUILDING SECTION

1/4" = 1'-0"



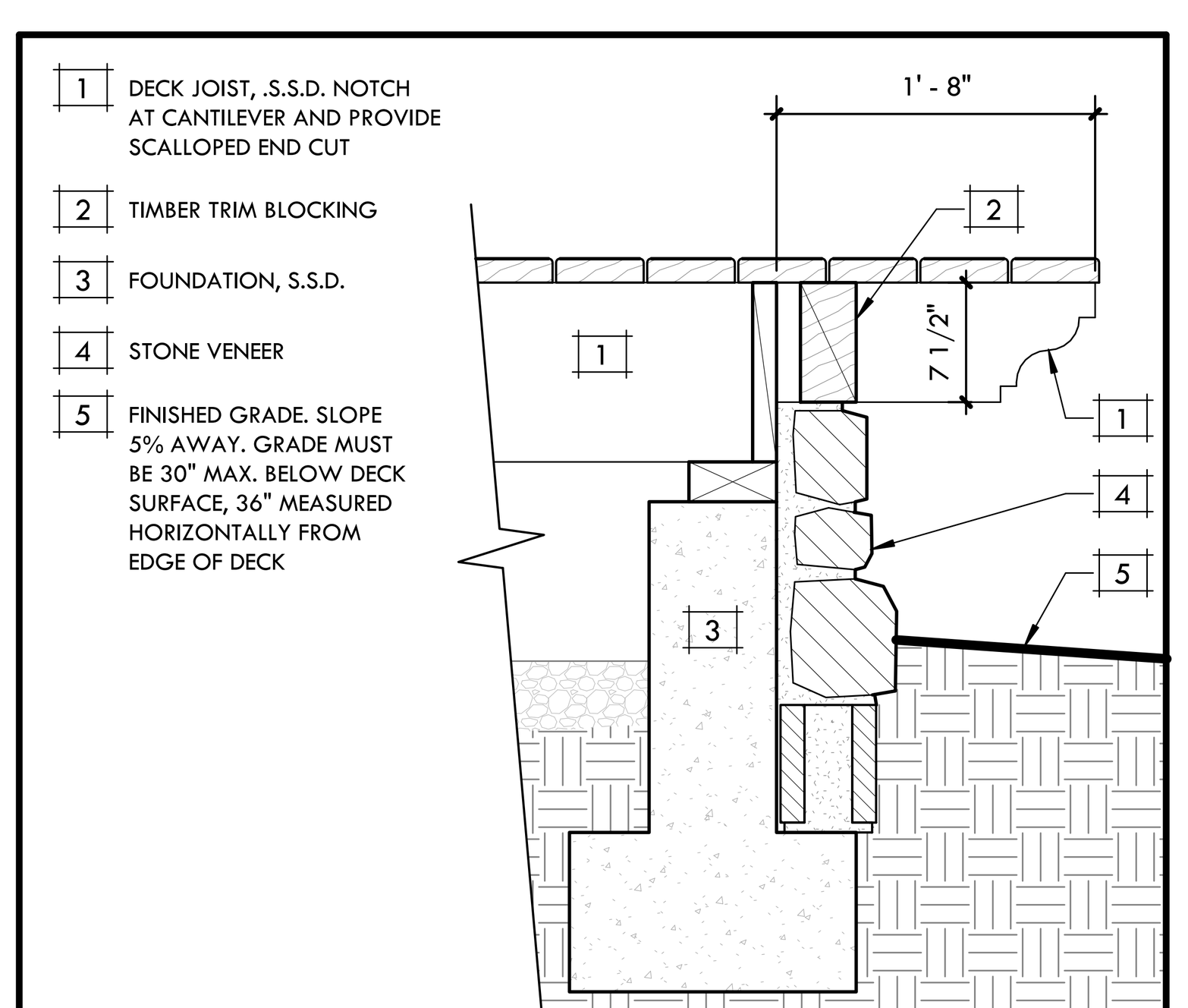
C BUILDING SECTION

1/4" = 1'-0"

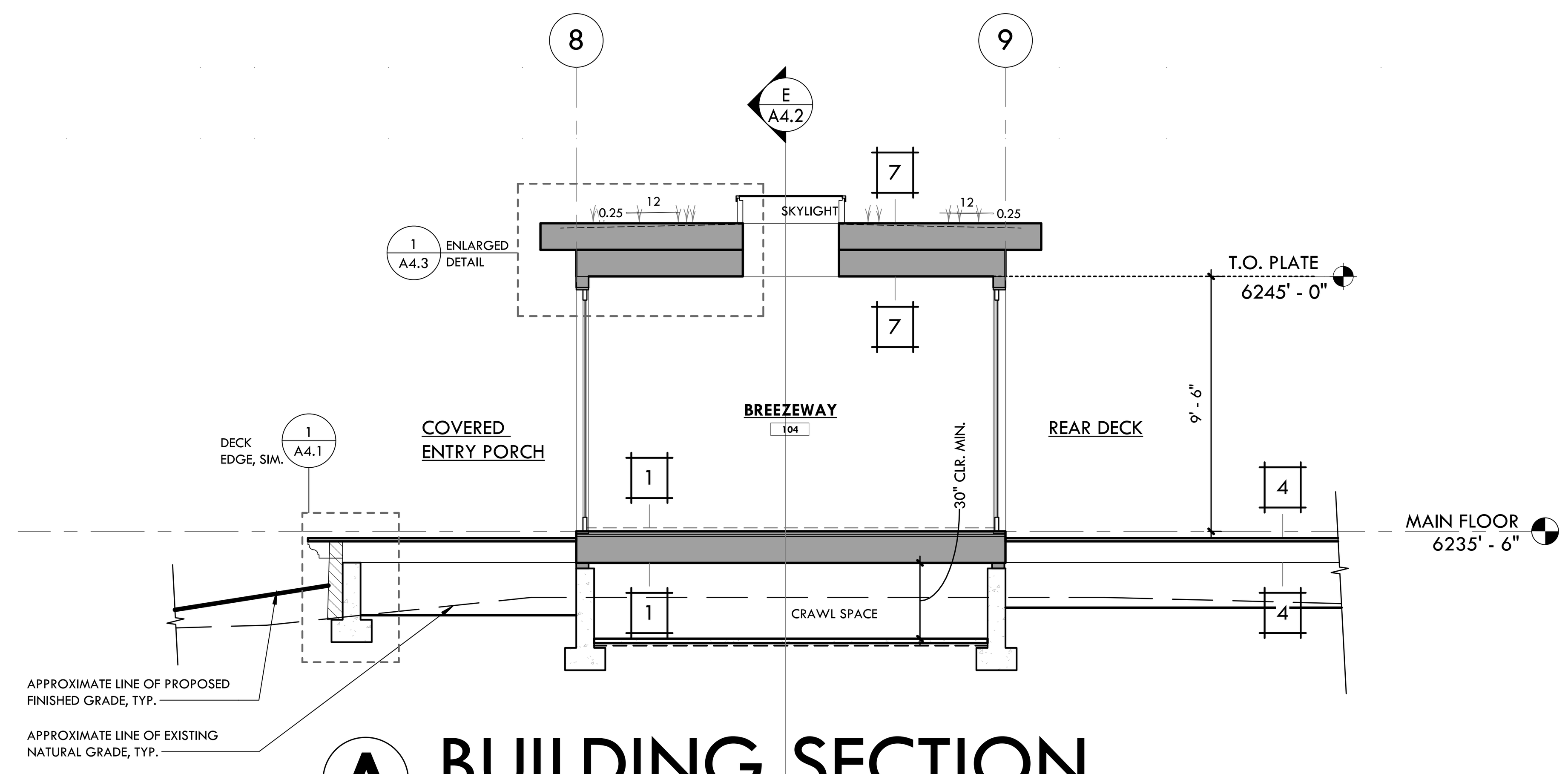


B BUILDING SECTION

1/4" = 1'-0"



1 DECK EDGE DETAIL
1" = 1'-0"



A BUILDING SECTION

1/4" = 1'-0"

BUILDING SECTIONS SHEET NOTES:

1.) FOOTINGS ARE DIAGRAMMATIC. GRADE LINES SHOWN ARE APPROXIMATE. SEE SITE PLAN AND VERIFY WITH CONDITIONS IN FIELD. DO NOT SCALE DRAWINGS. SEE STRUCTURAL DRAWINGS FOR FOOTING SIZE, RETAINING WALLS, MINIMUM DEPTH BELOW FROST LINE AND ADDITIONAL INFORMATION.

2.) FLOOR ELEVATIONS SHOWN ARE TO TOP OF SLAB AND / OR TOP OF SUBFLOOR / GYPCRETE. CONTRACTOR TO VERIFY FLOOR ELEVATIONS BASED ON FINISH FLOORING MATERIALS SELECTED BY OWNER. ADJACENT FLOOR FINISHES SHALL BE INSTALLED AT SAME FINISH ELEVATION. CONTRACTOR TO ADJUST SUBFLOOR / SLAB ELEVATIONS AS REQUIRED.

3.) PROVIDE FOUNDATION WATERPROOFING AND DRAINAGE AND UNDER-SLAB DRAINAGE AS RECOMMENDED IN THE GEOTECHINCAL INVESTIGATION. SEE SITE PLAN, SITE DETAILS, AND SITE NOTES.

4.) UNLESS OTHERWISE NOTED, VERIFY ALL DROP CEILING / SOFFIT LOCATIONS WITH SANDBOX PRIOR TO CONSTRUCTION.

5.) ATTIC ACCESS, CRC R807.1
PROVIDE MINIMUM 22 INCH X 30 INCH ACCESS OPENINGS TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS.

SEE CMC FOR ACCESS REQUIREMENTS WHEN MECHANICAL EQUIPMENT IS LOCATED IN ATTIC SPACE.

6.) UNDER-FLOOR ACCESS, CRC R408.4
PROVIDE ACCESS TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18 INCHES BY 24 INCHES. OPENINGS THROUGH A PERIMETER WALL SHALL BE NOT LESS THAN 16 INCHES BY 24 INCHES. SEE FLOOR PLAN AND/OR EXTERIOR ELEVATIONS FOR LOCATIONS. PROVIDE CODE REQUIRED ACCESS PATH TO ANY MECHANICAL EQUIPMENT LOCATED IN THE CRAWL SPACE.

7.) CRAWL SPACE VAPOR RETARDER, CRC R408.1
PROVIDE A CLASS 1 VAPOR RETARDER PLACED OVER THE EARTH FLOOR IN THE CRAWL SPACE.

8.) CRAWL SPACE FINISHED GRADE SHALL BE ABOVE ADJACENT EXTERIOR GRADE WHEREVER POSSIBLE AND POSITIVE DRAINAGE VIA AN APPROVED DRAINAGE SYSTEM, INCLUDING THE USE OF MECHANICAL PUMPS IF REQUIRED, SHALL BE PROVIDED TO COLLECT AND EXPEL WATER FROM ALL CRAWL SPACE AREAS WHEN SEASONAL MOISTURE IS ANTICIPATED. CONTRACTOR SHALL CONSULT GEOTECH FOR ADDITIONAL RECOMMENDATIONS AS REQUIRED. CRC R408.

9.) FINISHED GRADE SHALL BE SLOPED TO DRAIN SURFACE WATER AWAY FROM BUILDING FOUNDATIONS. GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'. CRC R401.3

10.) IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. CRC R401.3

11.) PROVIDE PROTECTION OF WOOD AGAINST DECAY OR USE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1. CRC R317

IN CRAWL SPACES, PROVIDE CODE MINIMUM CLEARANCES BETWEEN WOOD AND EXPOSED GROUND. 18 INCHES MIN. AT WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR, 12 INCHES AT WOOD GIRDERS, AND 8" AT WOOD COLUMNS. CRC R317.1

WOOD FRAMING MEMBERS AND COLUMNS RESTING DIRECTLY ON A CONCRETE OR MASONRY EXTERIOR FOUNDATION LESS THAN 8 INCHES FROM THE GROUND SHALL BE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1

WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF THE BUILDING SHALL HAVE 6 INCH MINIMUM CLEARANCE FROM THE GROUND AND 2 INCH MINIMUM CLEARANCE FROM CONCRETE STEPS, PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER.

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL WOOD PROTECTION REQUIREMENTS

12.) FIREBLOCKING, CRC R302.11
IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:
1.) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
1.1) VERTICALLY AT THE CEILING AND FLOOR LEVELS.
1.2) HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
2.) AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3.) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
4.) AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.
5.) FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
6.) FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

13.) CHIMNEY FIREBLOCKING, CRC R1003.19
SPACES BETWEEN CHIMNEYS AND FLOORS AND CEILINGS THROUGH WHICH CHIMNEYS PASS SHALL BE FIREBLOCKED WITH NONCOMBUSTIBLE MATERIAL SECURELY FASTENED IN PLACE. THE FIREBLOCKING OF SPACES BETWEEN CHIMNEYS AND WOOD JOISTS, BEAMS OR HEADERS SHALL BE SELF-SUPPORTING OR BE PLACED ON STRIPS OF METAL OR METAL LATH LAID ACROSS THE SPACES BETWEEN COMBUSTIBLE MATERIAL AND THE CHIMNEY.

14.) FIREPLACES
CONTRACTOR TO VERIFY REQUIRED FRAMING DIMENSIONS, REQUIRED CLEARANCES, CLEARANCE TO COMBUSTIBLES, AND VENT TERMINATIONS AS REQUIRED BY MANUFACTURER AND CODE AND SHALL INSTALL FIREPLACE PER MANUFACTURER'S APPROVED INSTALLATION REQUIREMENTS.

15.) FACTORY-BUILT FIREPLACES, CRC R1004.1
FACTORY-BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127.

FACTORY- BUILT WOOD BURNING FIREPLACES SHALL BE QUALIFIED AT THE U.S. EPA'S VOLUNTARY FIREPLACE PROGRAM PHASE 2 EMISSIONS LEVEL AND BE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5. CRC R1004.1.1

PRE-MANUFACTURED FIREPLACES AND WOOD STOVES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND CLEARANCES. MANUFACTURER SPECIFICATIONS SHALL BE PROVIDED ON SITE DURING INSPECTIONS.

16.) INSULATION FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX, CRC R302.10
INSULATING MATERIALS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION. THEY SHALL EXHIBIT A FLAME SPREAD INDEX NOT TO EXCEED 25 AND A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHERE TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723. INSULATING MATERIALS, WHERE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION, SHALL INCLUDE FACINGS, WHERE USED, SUCH AS VAPOR RETARDERS, VAPOR PERMEABLE MEMBRANES AND SIMILAR COVERINGS.
EXCEPTIONS:
1.) WHERE SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH.
2.) CELLULOSE FIBER LOOSE-FILL INSULATION THAT IS NOT SPRAY APPLIED AND THAT COMPLIES WITH THE REQUIREMENTS OF SECTION R302.10.3 SHALL NOT BE REQUIRED TO MEET THE FLAME SPREAD INDEX REQUIREMENTS BUT SHALL BE REQUIRED TO MEET A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 WHERE TESTED IN ACCORDANCE WITH CAN/ULC S102.2.
3.) FOAM PLASTIC INSULATION SHALL COMPLY WITH SECTION R316.

17.) HEATED SLAB-ON-GRADE INSULATION, CEC 110.8-A **(WHEN APPLICABLE).** INSTALL SLAB INSULATION IN ACCORDANCE WITH CEC 110.8. PER TABLE 110.8-A, INSTALL MIN. R-10 INSULATION VERTICALLY BETWEEN THE HEATED SLAB AND OUTSIDE FOUNDATION WALL FROM THE LEVEL OF THE TOP OF THE SLAB EXTENDING TO THE DEPTH OF THE FROST LINE OR TOP OF FOOTING, WHICHEVER IS GREATER. AT BELOW GRADE SLABS EXTEND INSULATION TO TOP OF FOUNDATION WALL. INCLUDE A RIGID PLATE WHICH PENETRATES THE SLAB AND BLOCKS THE INSULATION FROM ACTING AS A CONDUIT FOR INSECTS FROM THE GROUND TO THE STRUCTURE ABOVE THE FOUNDATION. INSTALL INSULATION HORIZONTALLY FROM THE OUTSIDE EDGE OF THE VERTICAL INSULATION EXTENDING 4 FEET TOWARD THE CENTER OF THE SLAB.

18.) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED FROM THE DWELLING PER CRC R302.6. PROVIDE NOT LESS THAN 1/2" GYPSUM WALL BOARD TO GARAGE SIDE TO SEPARATE RESIDENCE AND ATTICS. PROVIDE 5/8" TYPE X GYPSUM BOARD INSTALLED ON GARAGE CEILINGS SEPARATING HABITABLE SPACES ABOVE. STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES SEPARATING HABITABLE SPACES SHALL BE NOT LESS THAN 1/2" GYPSUM BOARD.

19.) ENCLOSED ACCESSIBLE SPACE UNDER STAIRS THAT IS ACCESSED BY DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH MIN. 1/2" GYPSUM BOARD PER CRC R302.7

20.) STAIRWAYS (CRC 311.7) SHALL BE NOT LESS THAN 36 INCHES CLEAR WIDTH, SIX FOOT EIGHT INCHES CLEAR HEIGHT. A SINGLE VERTICAL FLIGHT OF STAIRS SHALL NOT EXCEED 12 FEET 7 INCHES BETWEEN FLOORS OR LANDINGS. RISERS SHALL BE MAX. HEIGHT OF 7.75 INCHES, MIN. TREAD DIMENSION IS 10 INCHES.

21.) HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF STAIR TREADS OR FLIGHTS WITH FOUR OR MORE RISERS PER CRC R311.7.8 AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING TREAD NOSINGS. HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT PER CRC R311.7.8.2, HAVE A SPACE OF NOT LESS THAN 1.5 INCHES CLEAR BETWEEN THE WALL AND THE HANDRAIL AND SHALL NOT PROJECT MORE THAN 4.5 INCHES INTO STAIRWAY. FOR GRASPABILITY HANDRAILS WITH CIRCULAR CROSS SECTIONS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25 INCHES AND NOT GREATER THAN 2 INCHES. IF NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6.25 INCHES WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2.25 INCHES. HANDRAILS WITH A PERIMETER GREATER THAN 6.25" SHALL HAVE A GRASPABLE FINGER RECESS PER CODE.

22.) GUARDS, PER CRC R312.1, SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS SHALL BE A MINIMUM OF 42 INCHES HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF NOSINGS. GUARDS AT THE OPEN SIDE OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES. WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDE OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES HIGH. PER CRC 312.1.3 GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4 INCH DIA. SPHERE FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT. GUARDS AT STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A 4.375 INCH DIA. SPHERE. THE TRIANGULAR OPENING AT OPEN SIDE OF STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL SHALL NOT ALLOW PASSAGE OF A 6 INCH DIA. SPHERE.

23.) WATER CLOSETS MUST HAVE MIN. 30" CLEAR WIDTH AND 24" MIN. IN FRONT OF THE WATER CLOSET.

SANDBOX
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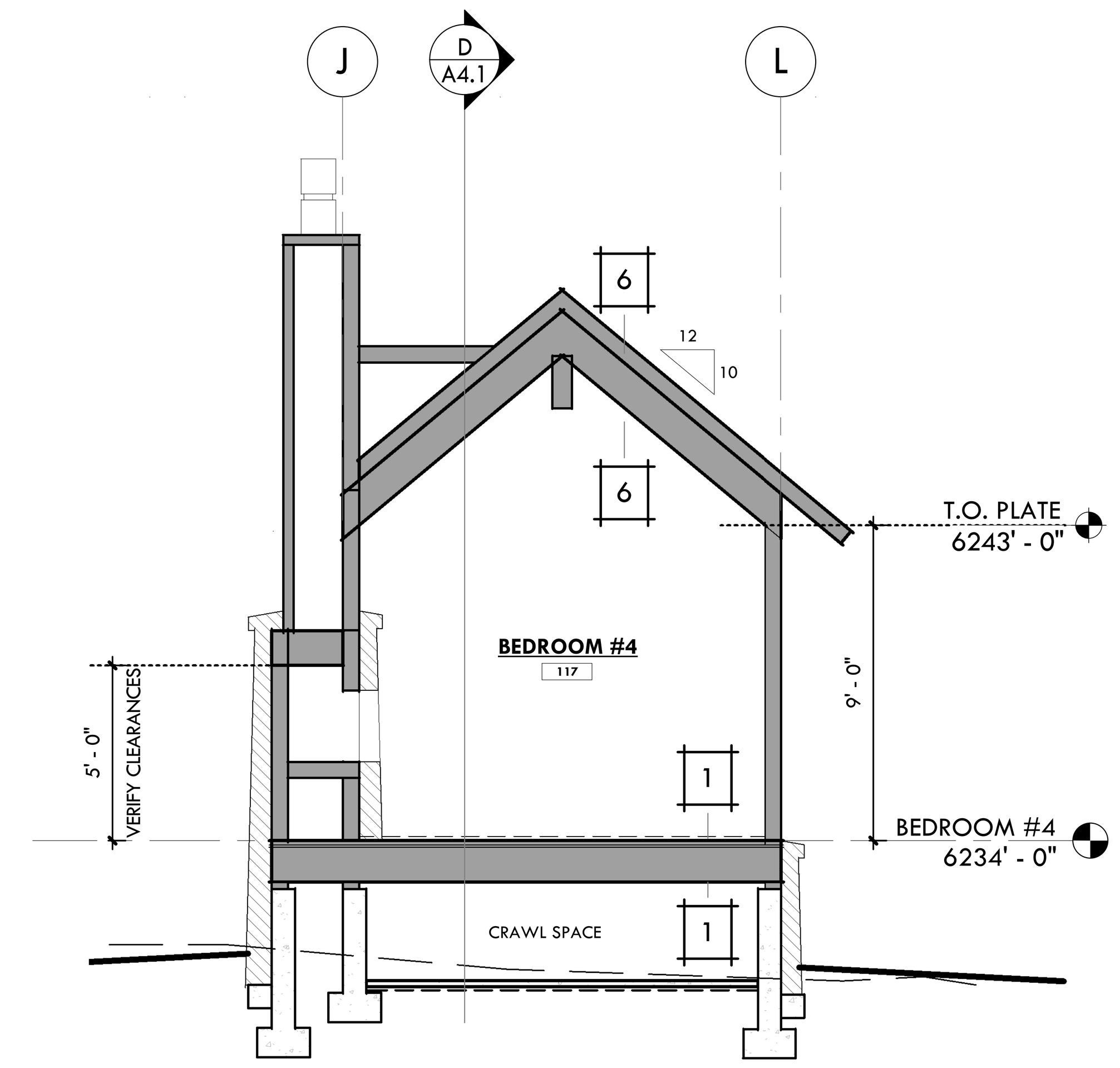
530.583.8822

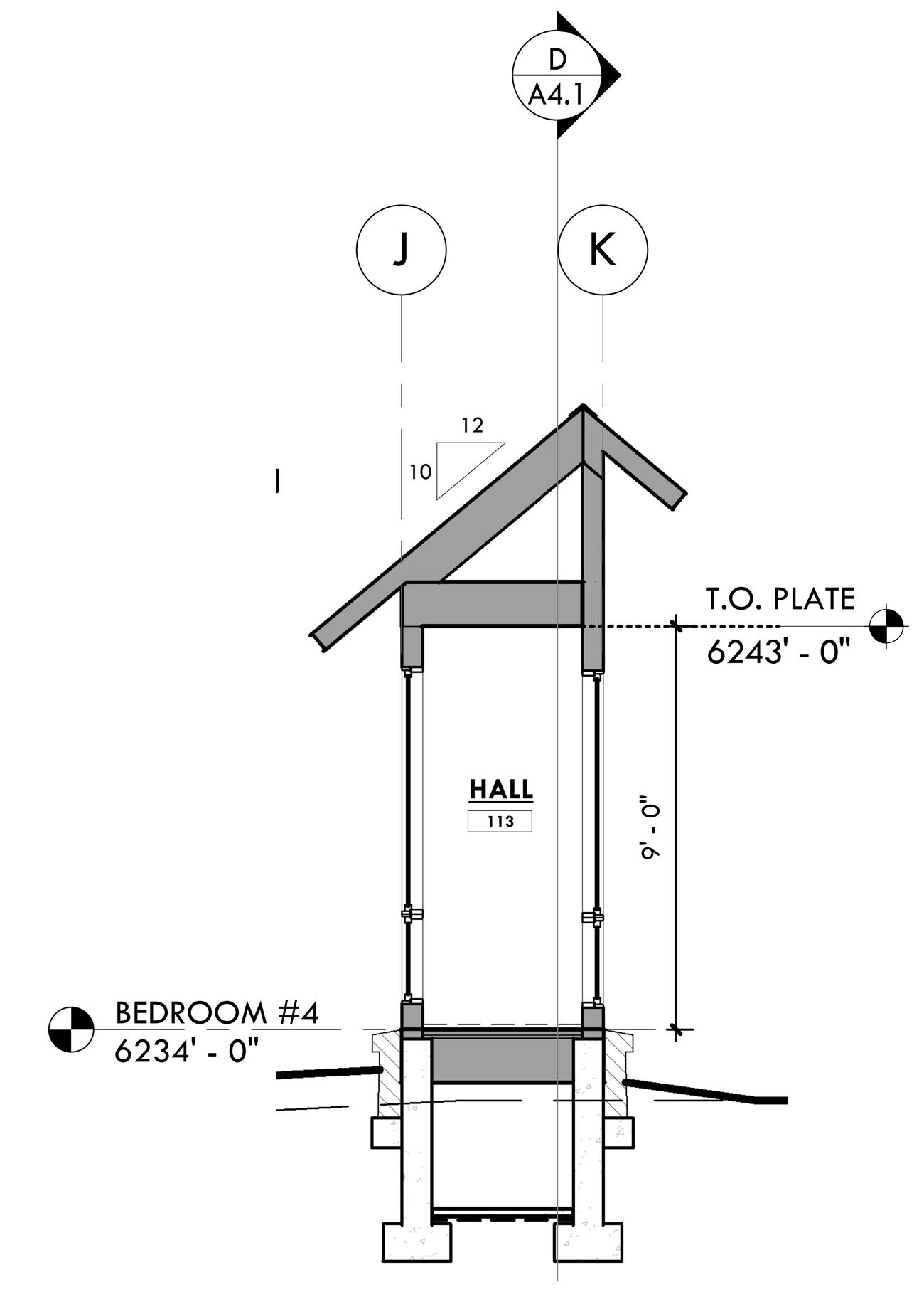
HEART ROCK ESTATE
6650 NORTH LAKE BLVD.
TAHOE VISTA, CA 96148
PLACER COUNTY
APN: 117-072-006

CLIENT: NORTH SHORE TVCA, LLC
JOB #: 2202
DRAWING ISSUE DATE: 08/04/2023
DRAWING STATUS: PERMIT SUBMITTAL
REVISIONS

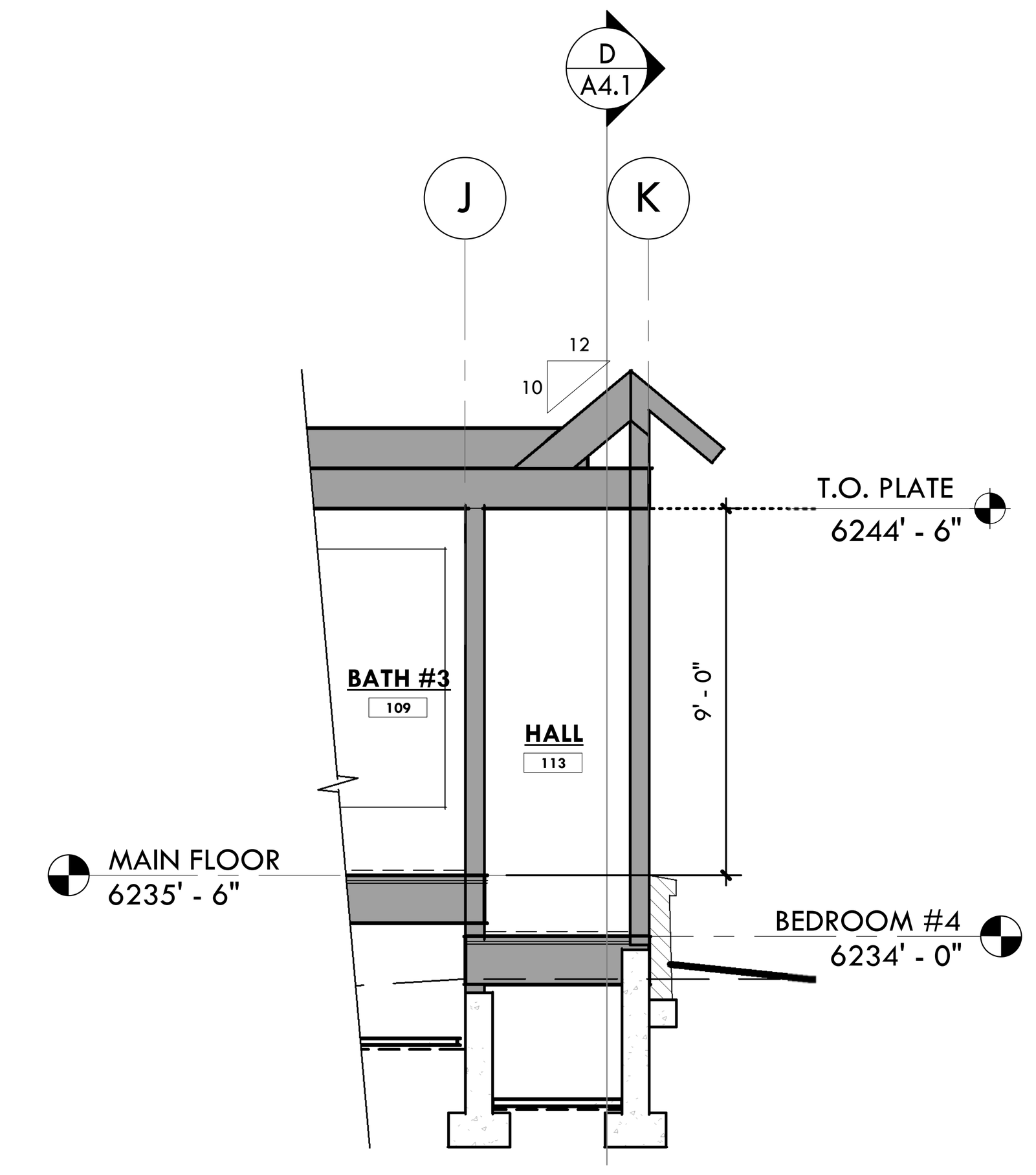
BUILDING SECTIONS
DRAWING SCALE: As indicated
SHEET: A4.1



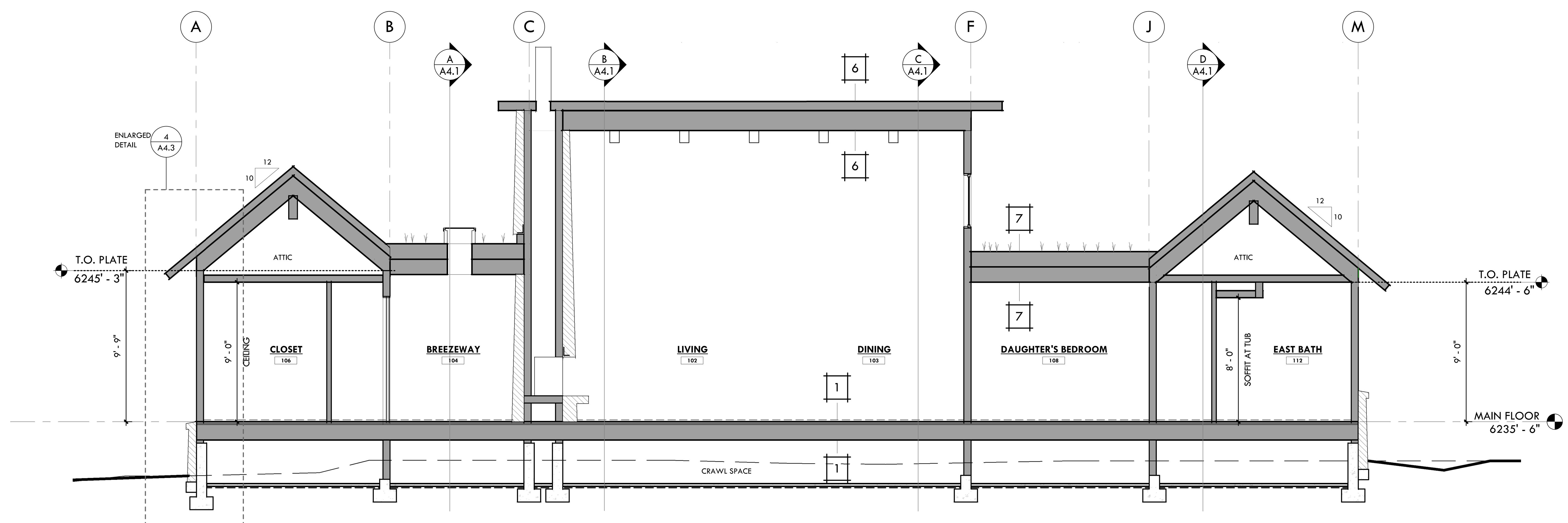
H SECTION H
1/4" = 1'-0"



G BUILDING SECTION
1/4" = 1'-0"



F BUILDING SECTION
1/4" = 1'-0"



E BUILDING SECTION
1/4" = 1'-0"

SANDBOX

12257 business park drive, #11 truckee, ca 96161
530.583.8822

HEART ROCK ESTATE

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TAHOE VISTA, CA 96148

PLACER COUNTY

APN: 117-072-006

CLIENT: NORTH SHORE TVCA, LLC
JOB #: 2202

DRAWING ISSUE DATE:
08/04/2023

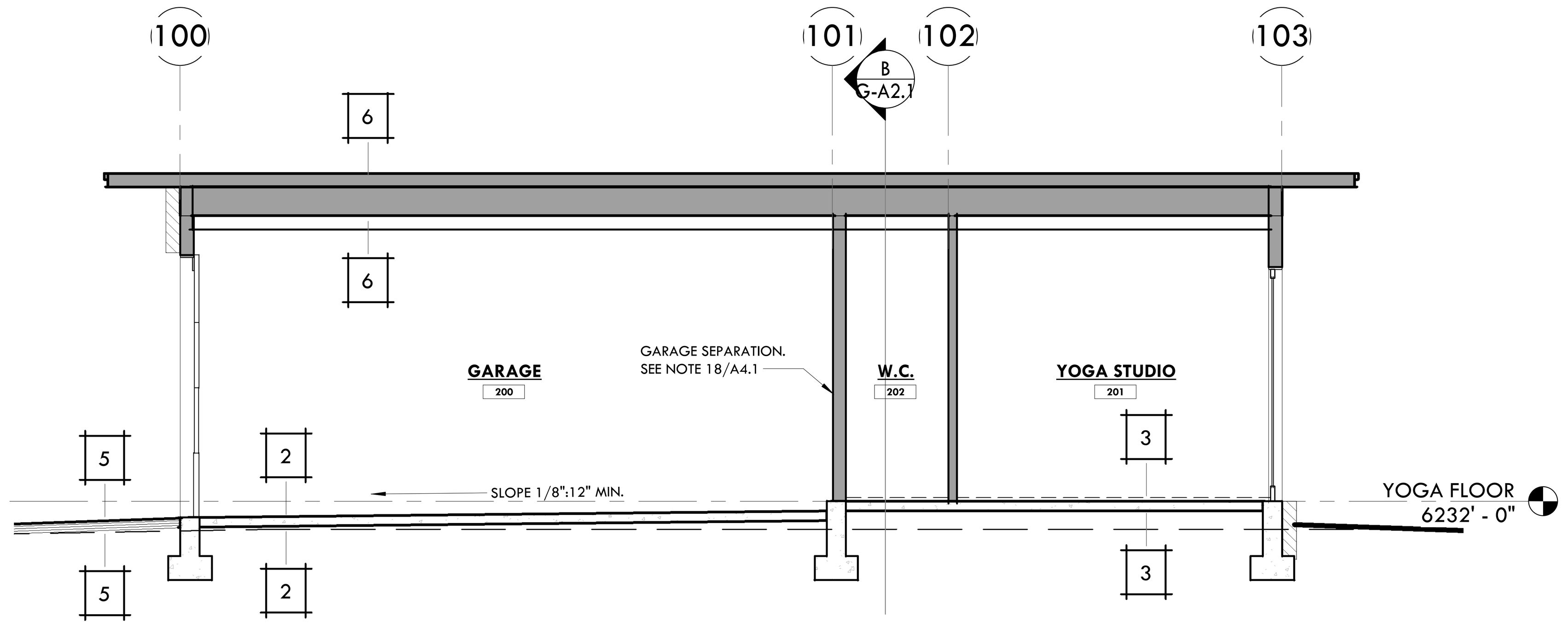
DRAWING STATUS:
PERMIT SUBMITTAL

REVISIONS

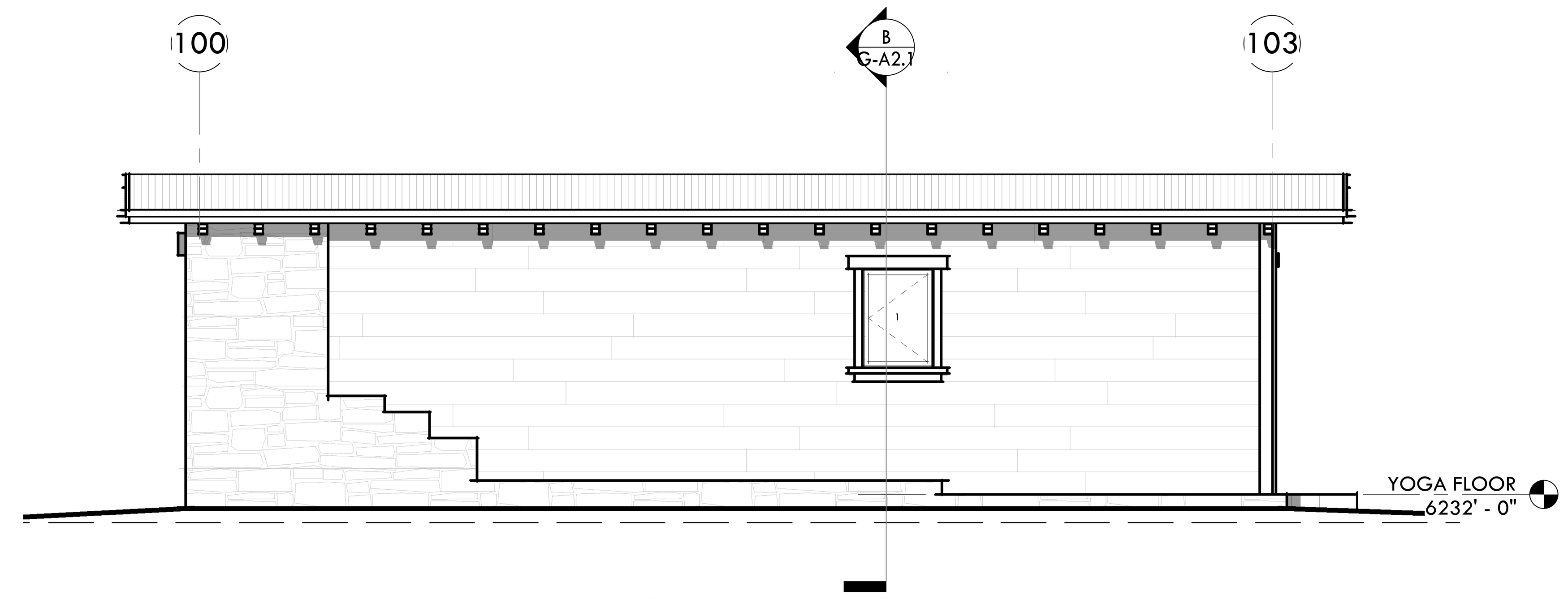
BUILDING SECTIONS

DRAWING SCALE: As indicated

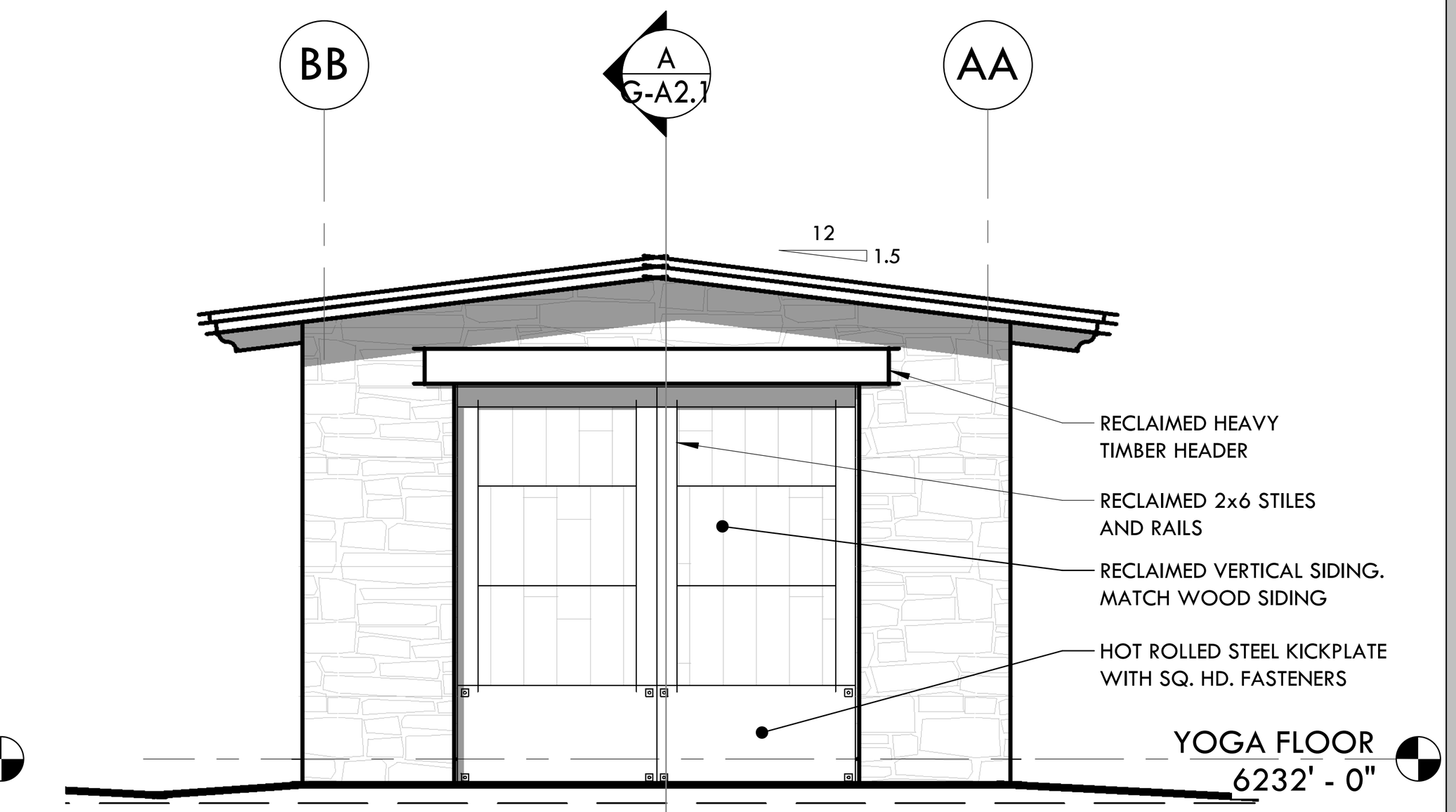
SHEET:
A4.2



A BUILDING SECTION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

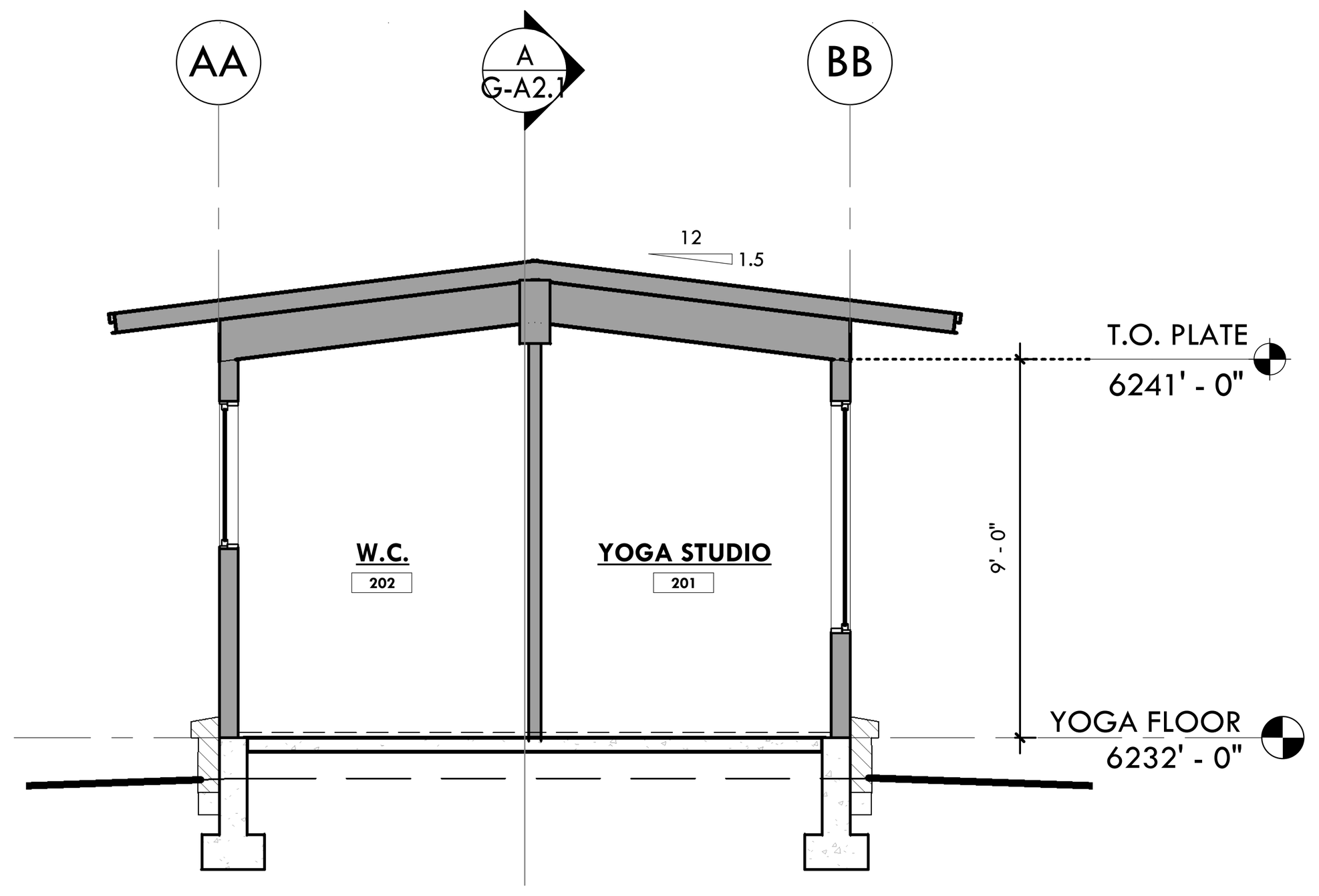


NORTH ELEVATION
1/4" = 1'-0"

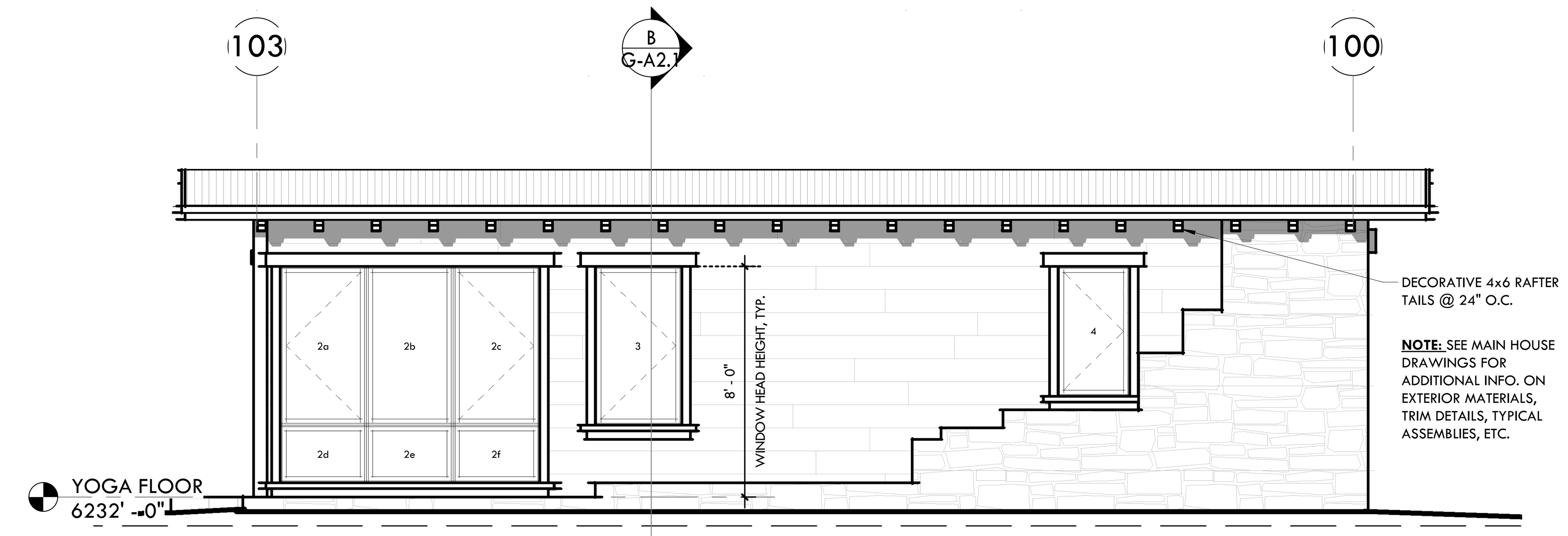
DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	OPERATION	COMMENTS
100	9' - 0"	9' - 0"	OVERHEAD SECTIONAL	SEE DOOR NOTE 7/A2.4
101	12' - 0"	8' - 0"	3-PANEL PATIO SLIDER	FLEETWOOD SLIDING DOOR. VERIFY WITH OWNER AND INT. DES.
103	3' - 0"	8' - 0"	EXTERIOR SWING	SEE DOOR NOTE 6/A2.4
104	2' - 6"	8' - 0"	INTERIOR SWING	

WINDOW SCHEDULE				
NUMBER	WIDTH	HEIGHT	OPERATION	COMMENTS
1	2' - 6"	3' - 6"		
2a	3' - 0"	5' - 6"	CASEMENT	6 UNITS MULLED TOGETHER, SEE ELEVATIONS.
2b	3' - 0"	5' - 6"	FIXED	6 UNITS MULLED TOGETHER, SEE ELEVATIONS.
2c	3' - 0"	5' - 6"	CASEMENT	6 UNITS MULLED TOGETHER, SEE ELEVATIONS.
2d	3' - 0"	2' - 0"	FIXED	6 UNITS MULLED TOGETHER, SEE ELEVATIONS.
2e	3' - 0"	2' - 0"	FIXED	6 UNITS MULLED TOGETHER, SEE ELEVATIONS.
2f	3' - 0"	2' - 0"	FIXED	6 UNITS MULLED TOGETHER, SEE ELEVATIONS.
3	3' - 0"	5' - 6"	CASEMENT	
4	2' - 6"	4' - 6"	CASEMENT	

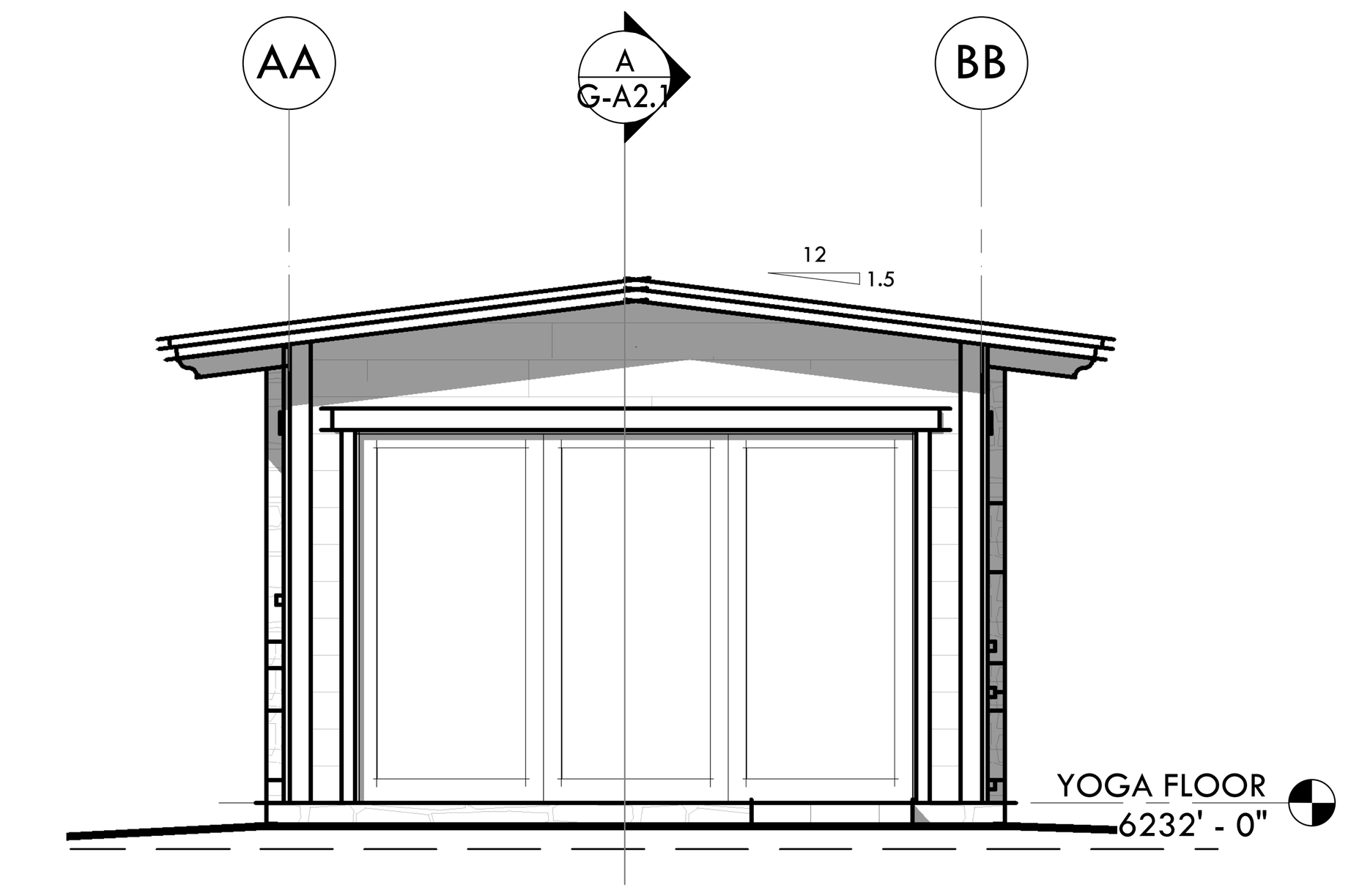
NOTE: SEE MAIN HOUSE SCHEDULES, DOOR AND WINDOW NOTES, AND DRAWINGS FOR ADDITIONAL INFO.



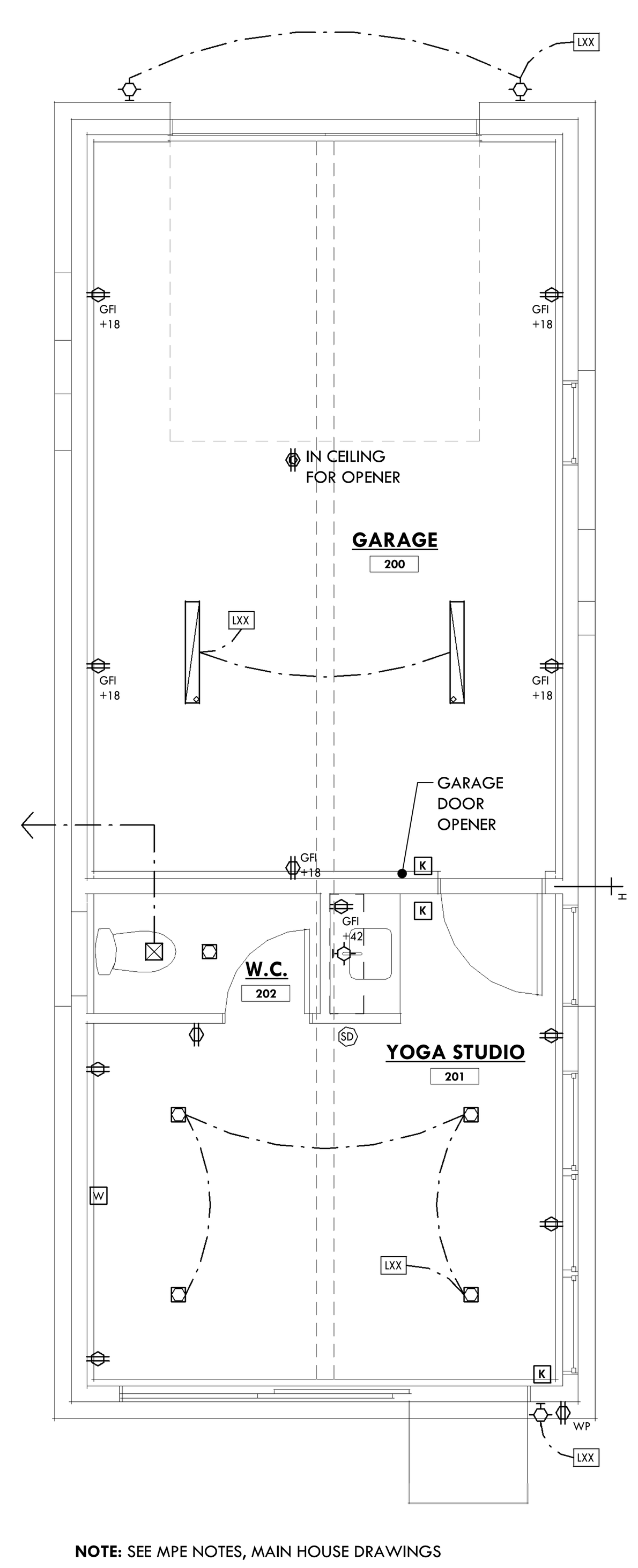
B BUILDING SECTION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

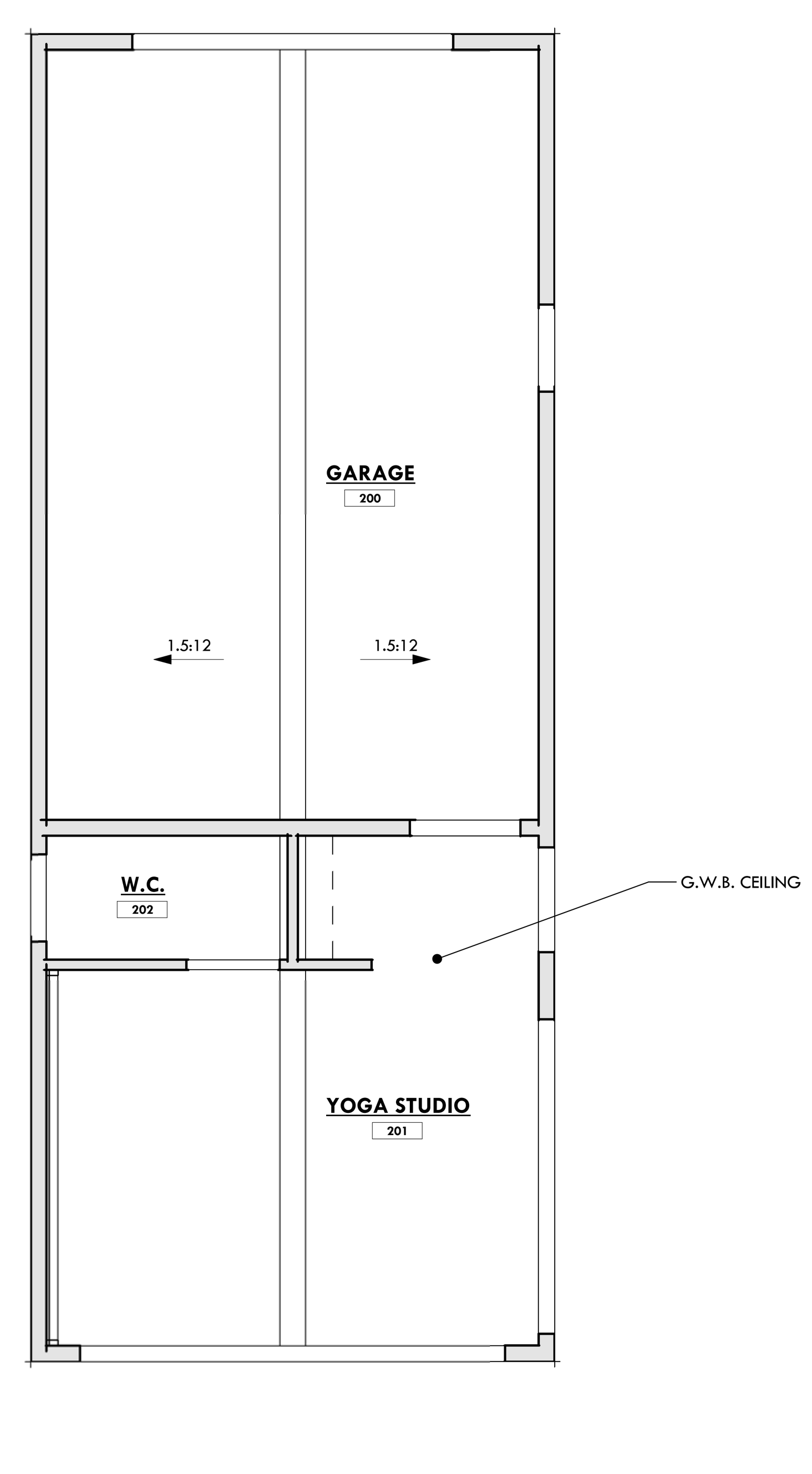


SOUTH ELEVATION
1/4" = 1'-0"



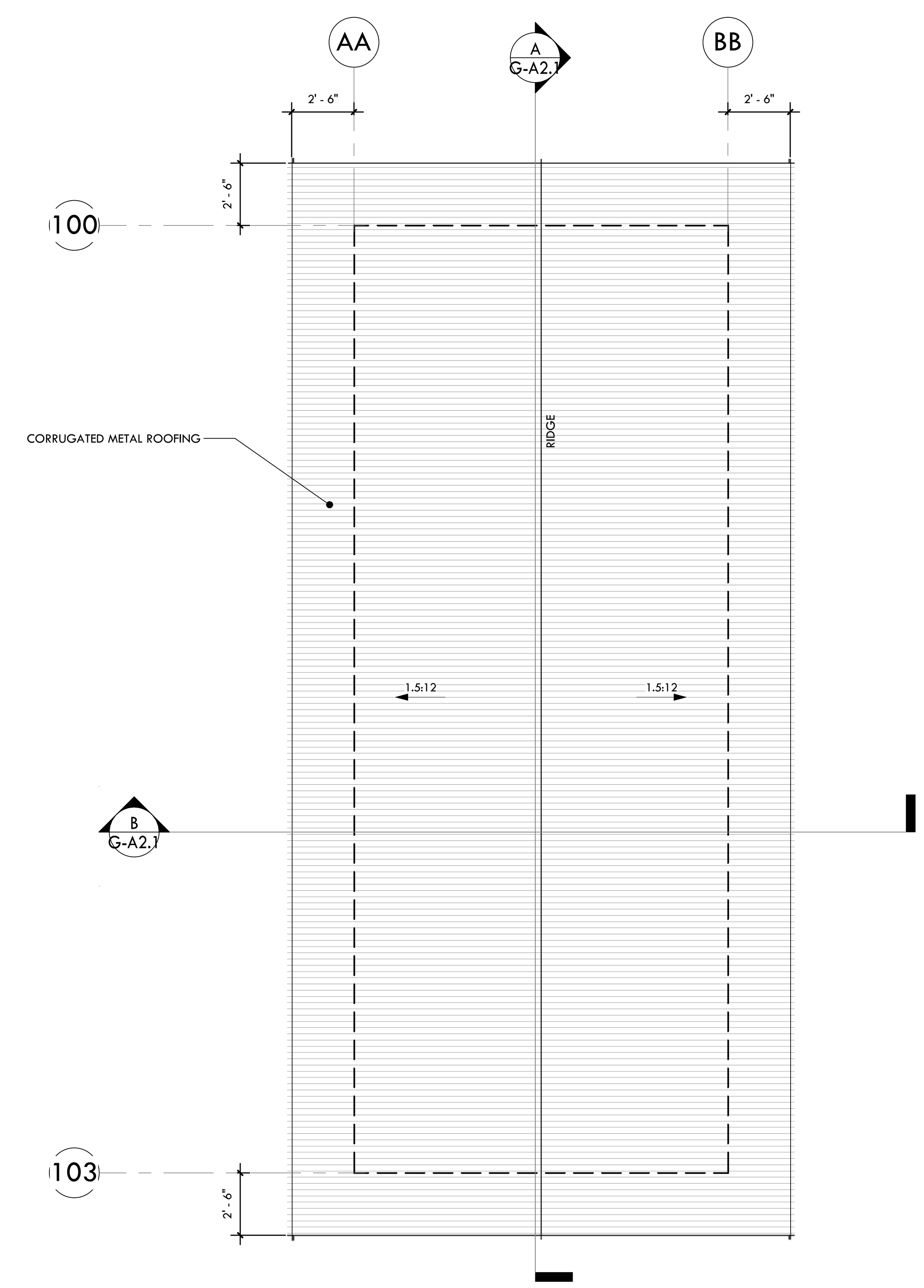
NOTE: SEE MPE NOTES, MAIN HOUSE DRAWINGS

GARAGE MPE PLAN
1/4" = 1'-0"

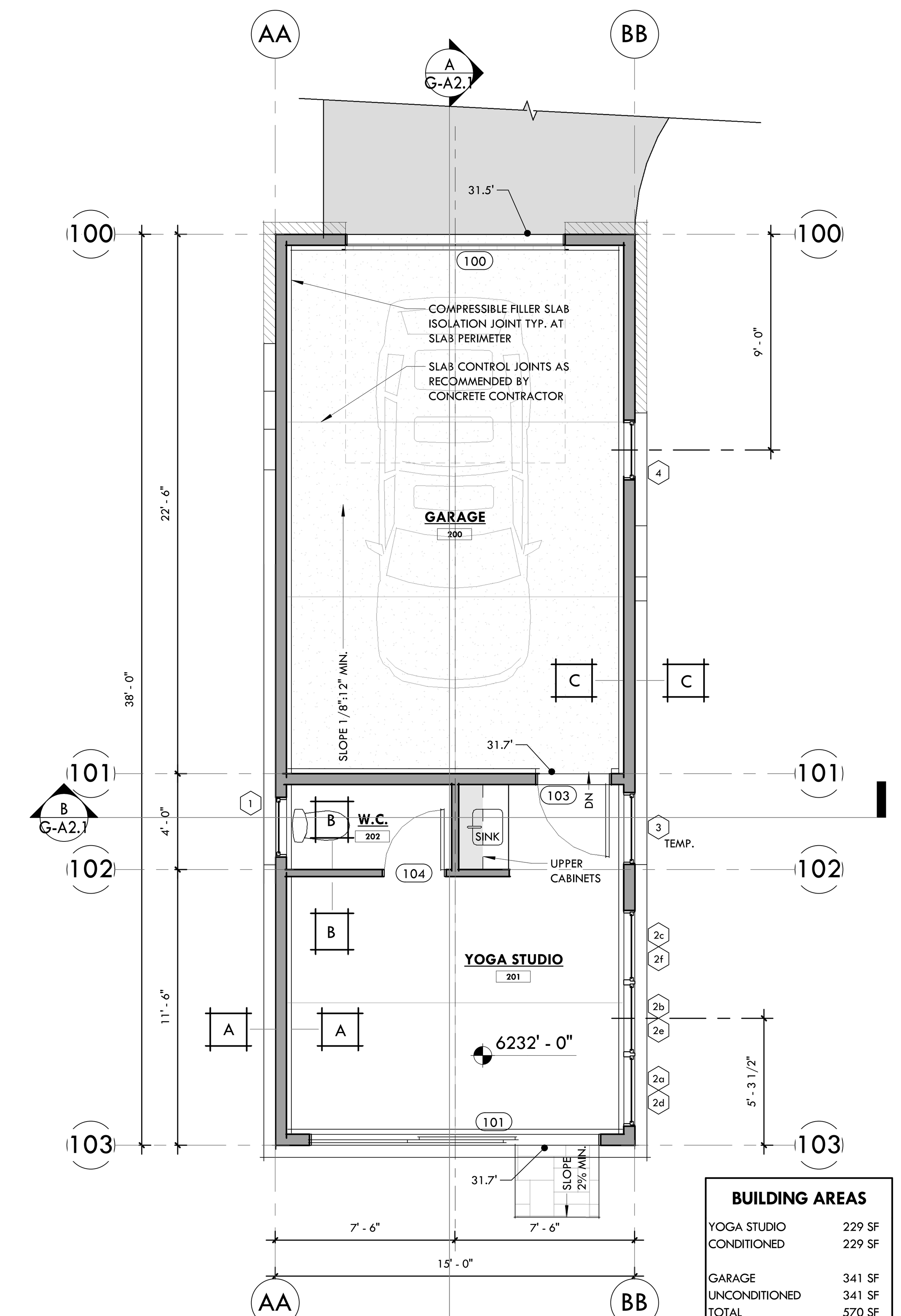


NOTE: SEE RCP NOTES, MAIN HOUSE DRAWINGS

GARAGE RCP
1/4" = 1'-0"



GARAGE ROOF PLAN
1/4" = 1'-0"



BUILDING AREAS	
YOGA STUDIO	229 SF
CONDITIONED	229 SF
GARAGE	341 SF
UNCONDITIONED	341 SF
TOTAL	570 SF

GARAGE FLOOR PLAN
1/4" = 1'-0"

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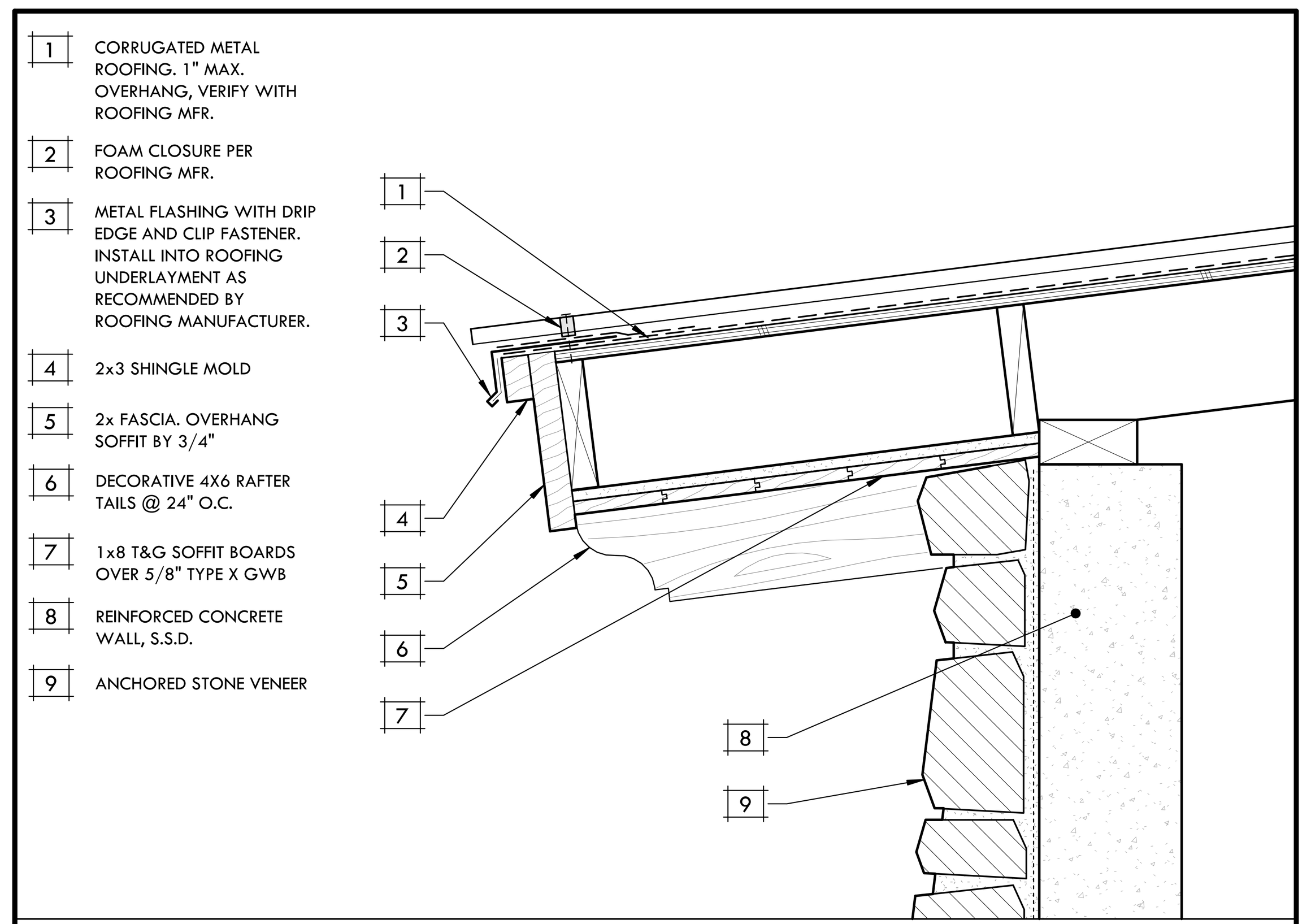
REVISIONS

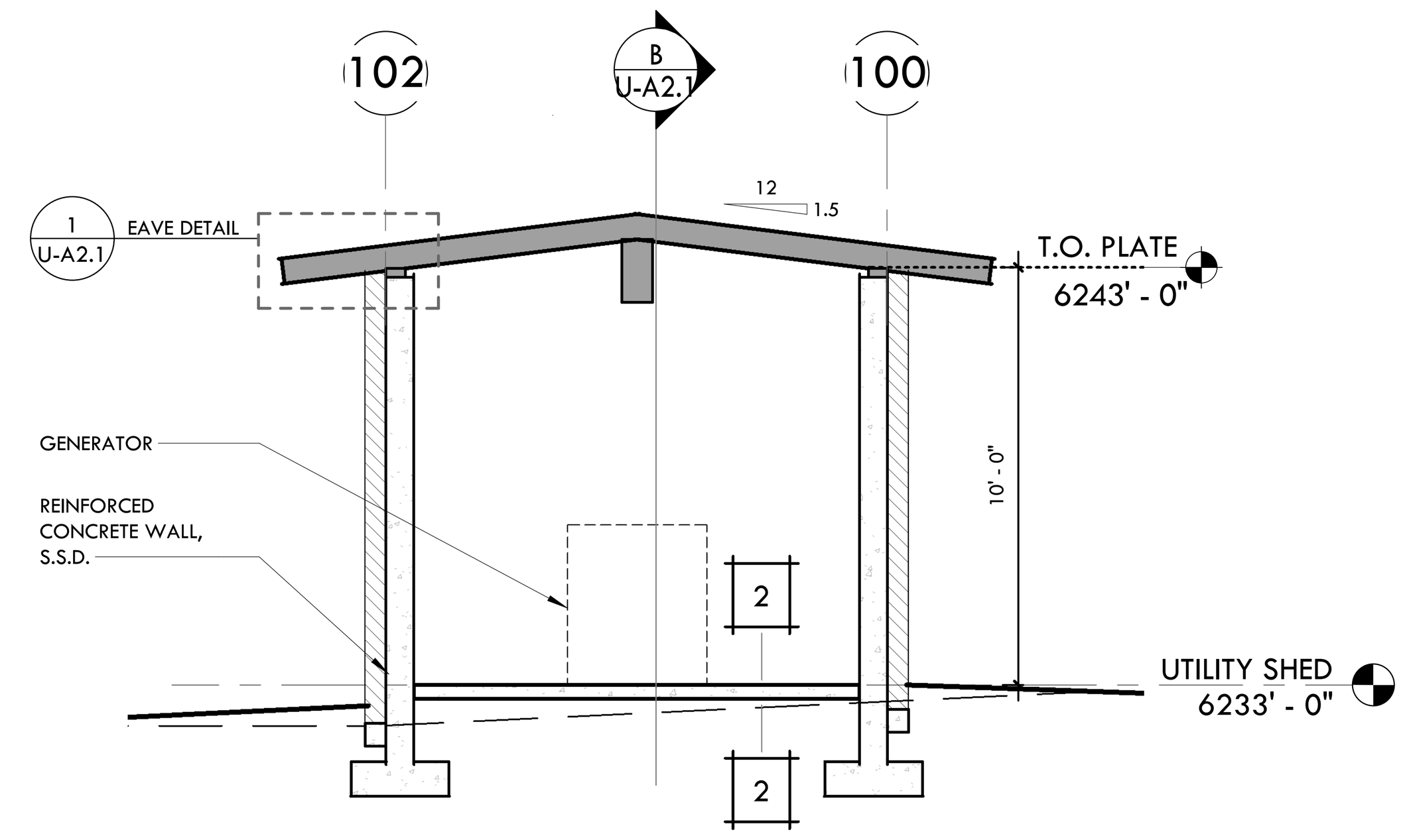
DETACHED GARAGE

DRAWING SCALE: As indicated

SHEET: G-A2.1

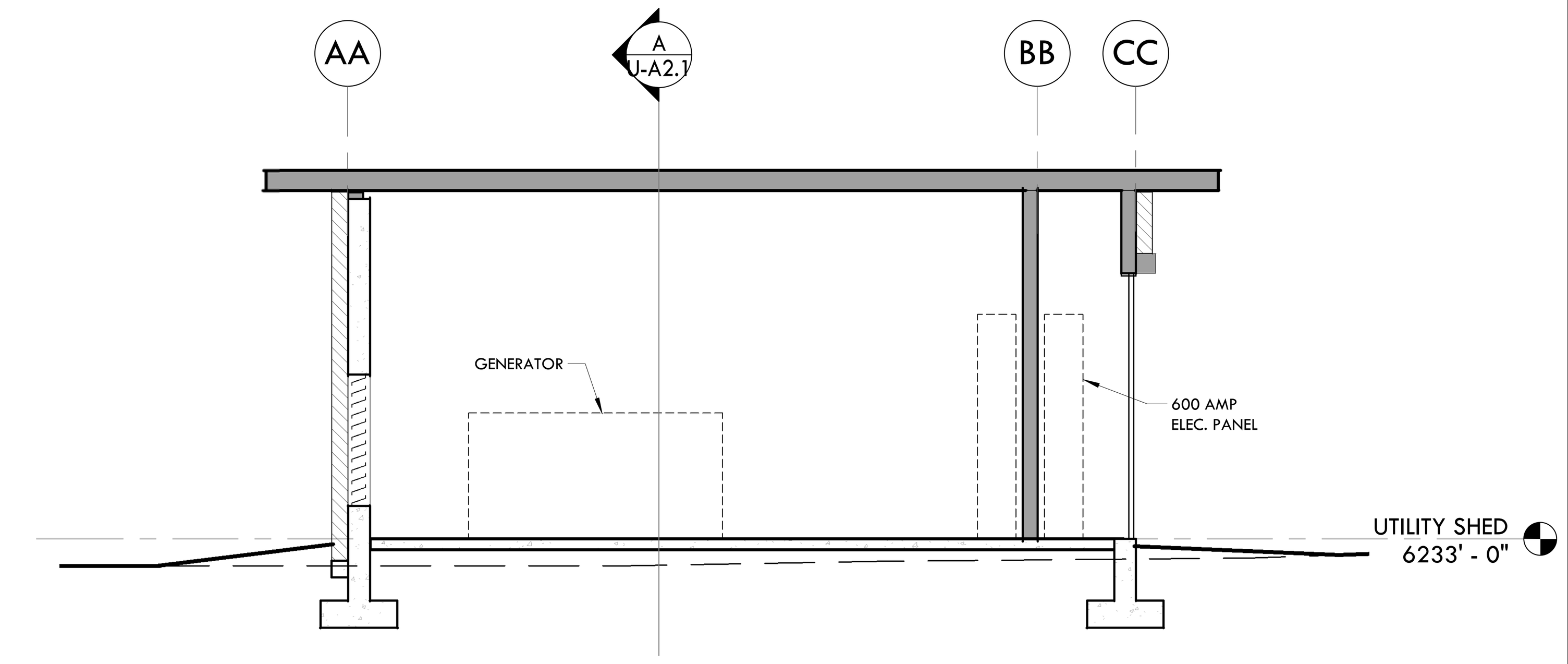


1 TYPICAL EAVE - UTILITY SHED
1 1/2" = 1'-0"



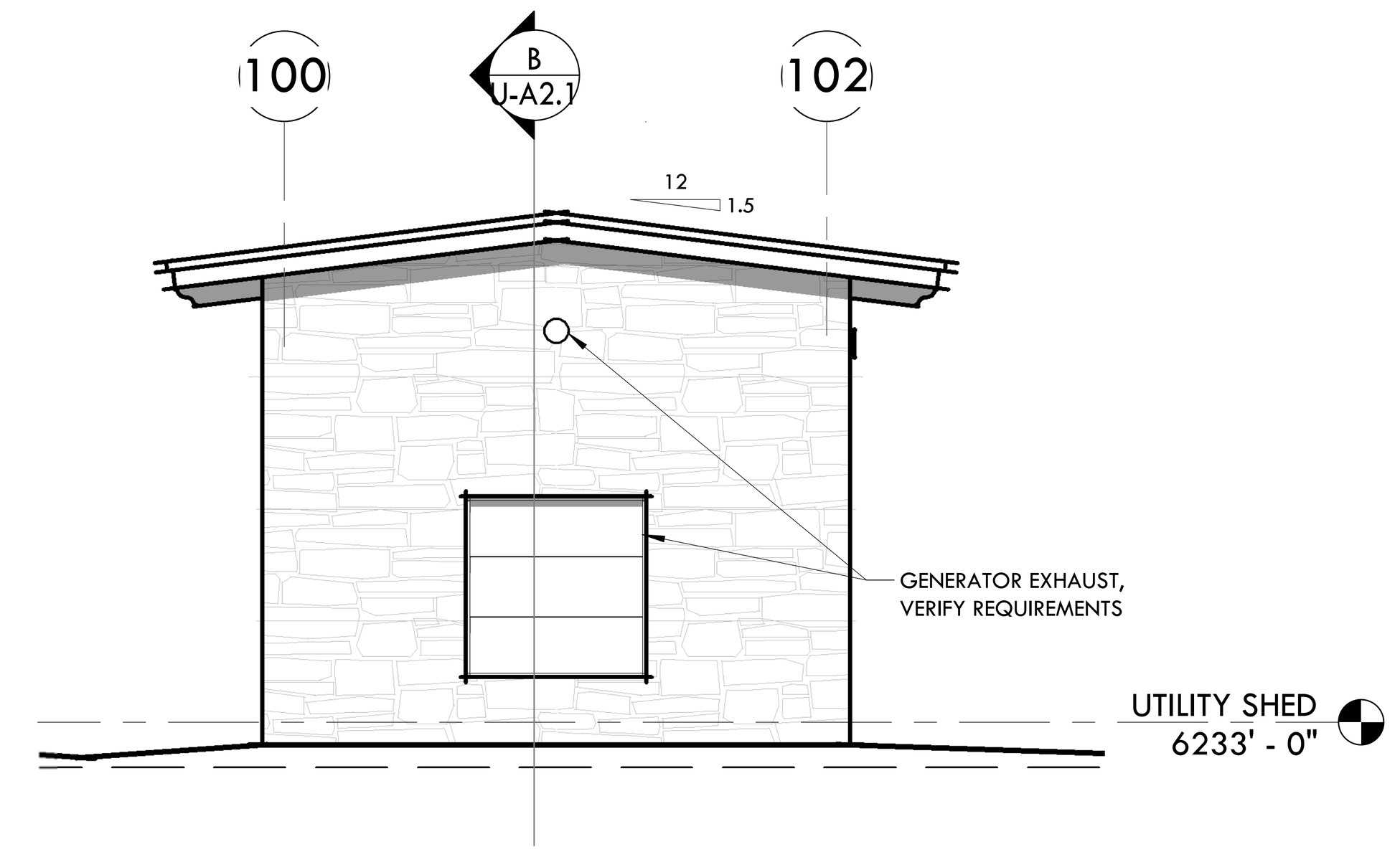
A BUILDING SECTION

1/4" = 1'-0"



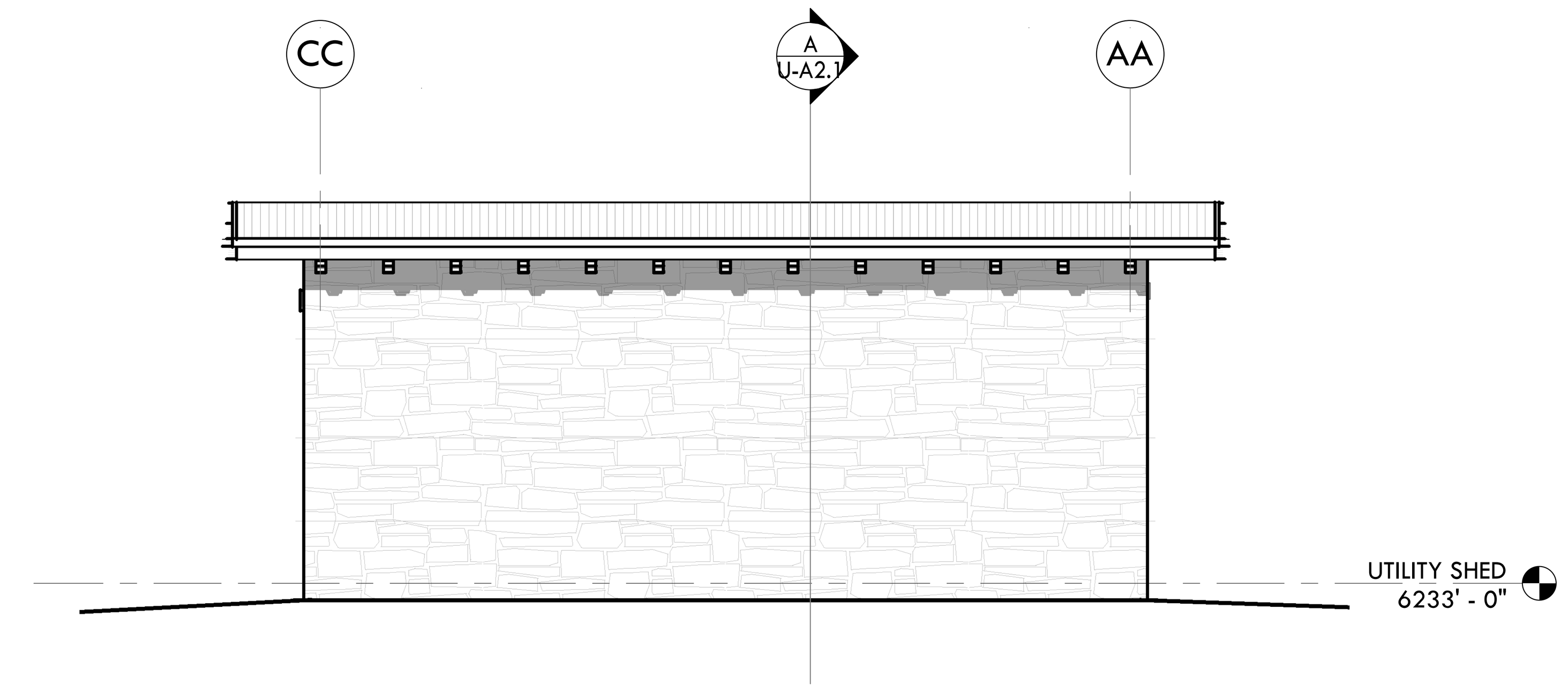
B BUILDING SECTION

1/4" = 1'-0"



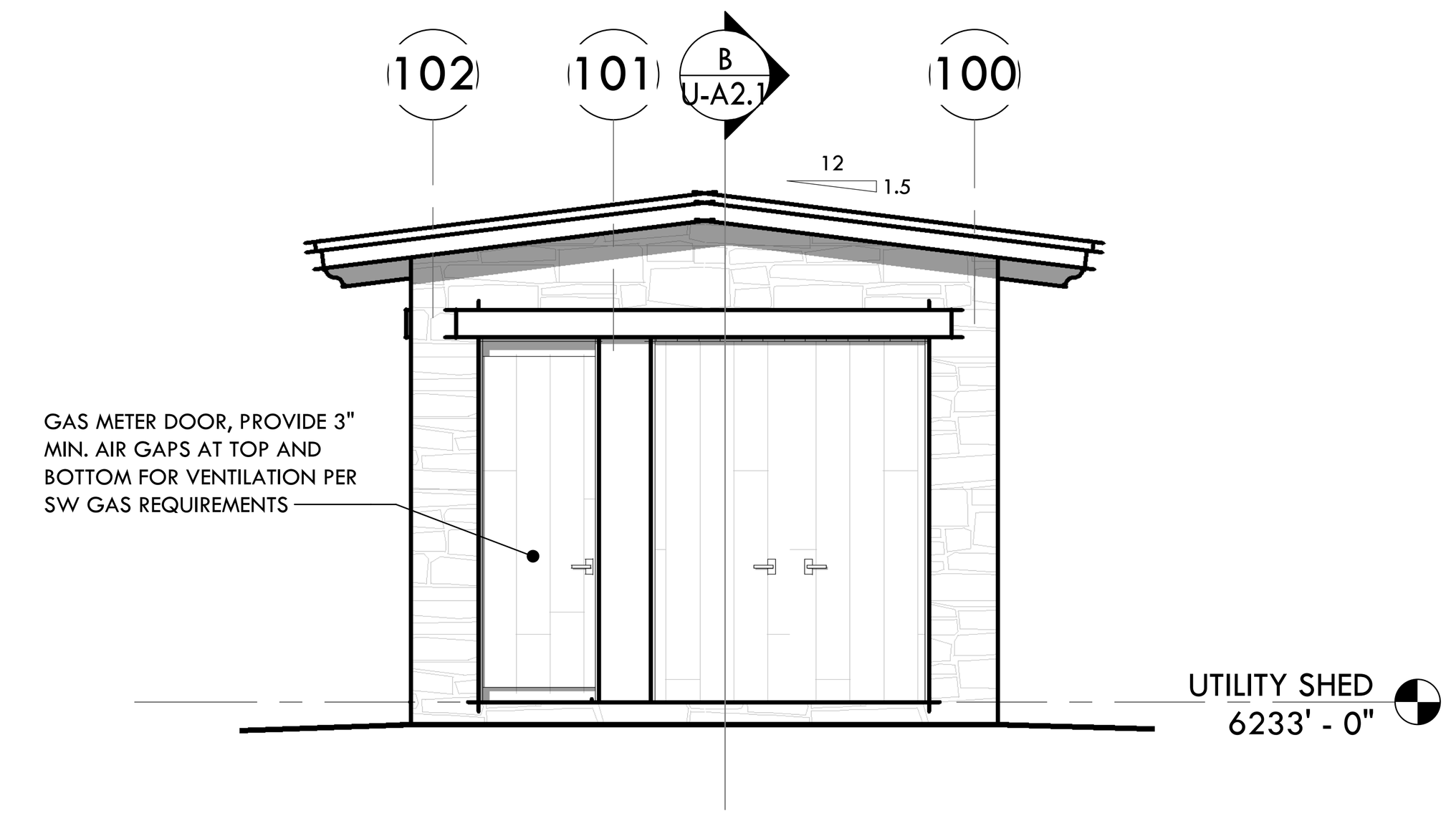
WEST ELEVATION

1/4" = 1'-0"



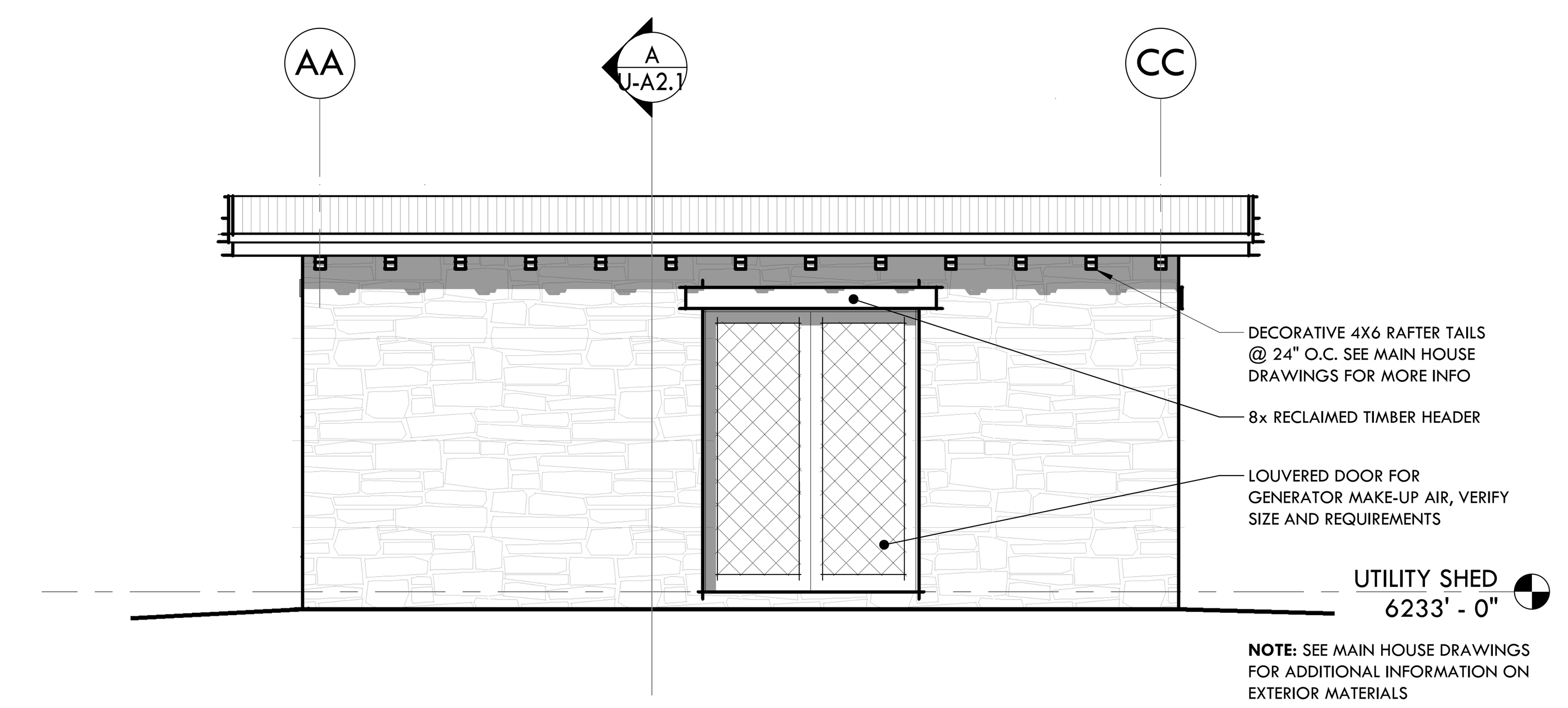
NORTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



NOTE: SEE MAIN HOUSE DRAWINGS FOR ADDITIONAL INFORMATION ON EXTERIOR MATERIALS

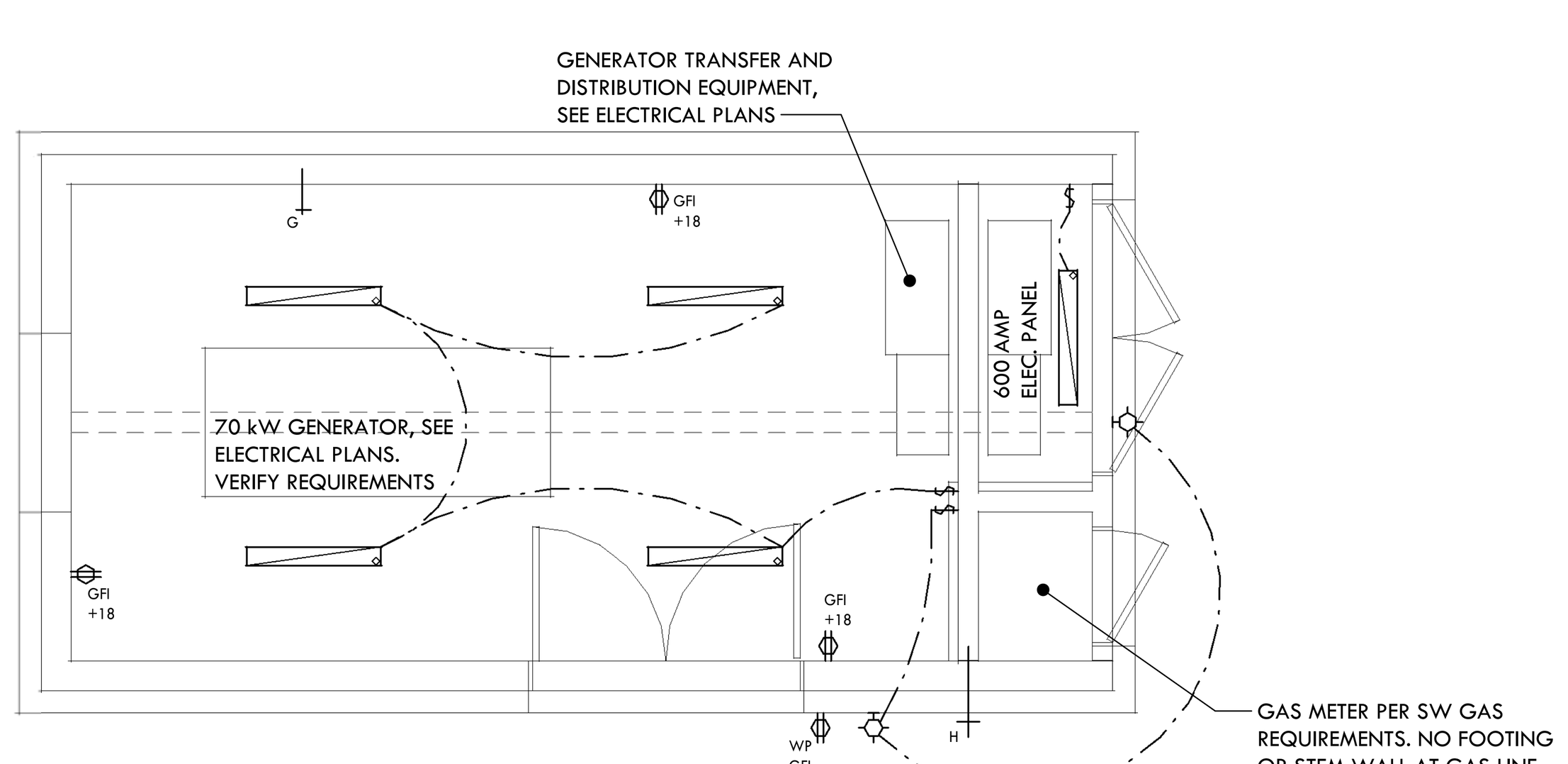
SOUTH ELEVATION

1/4" = 1'-0"

DOOR SCHEDULE

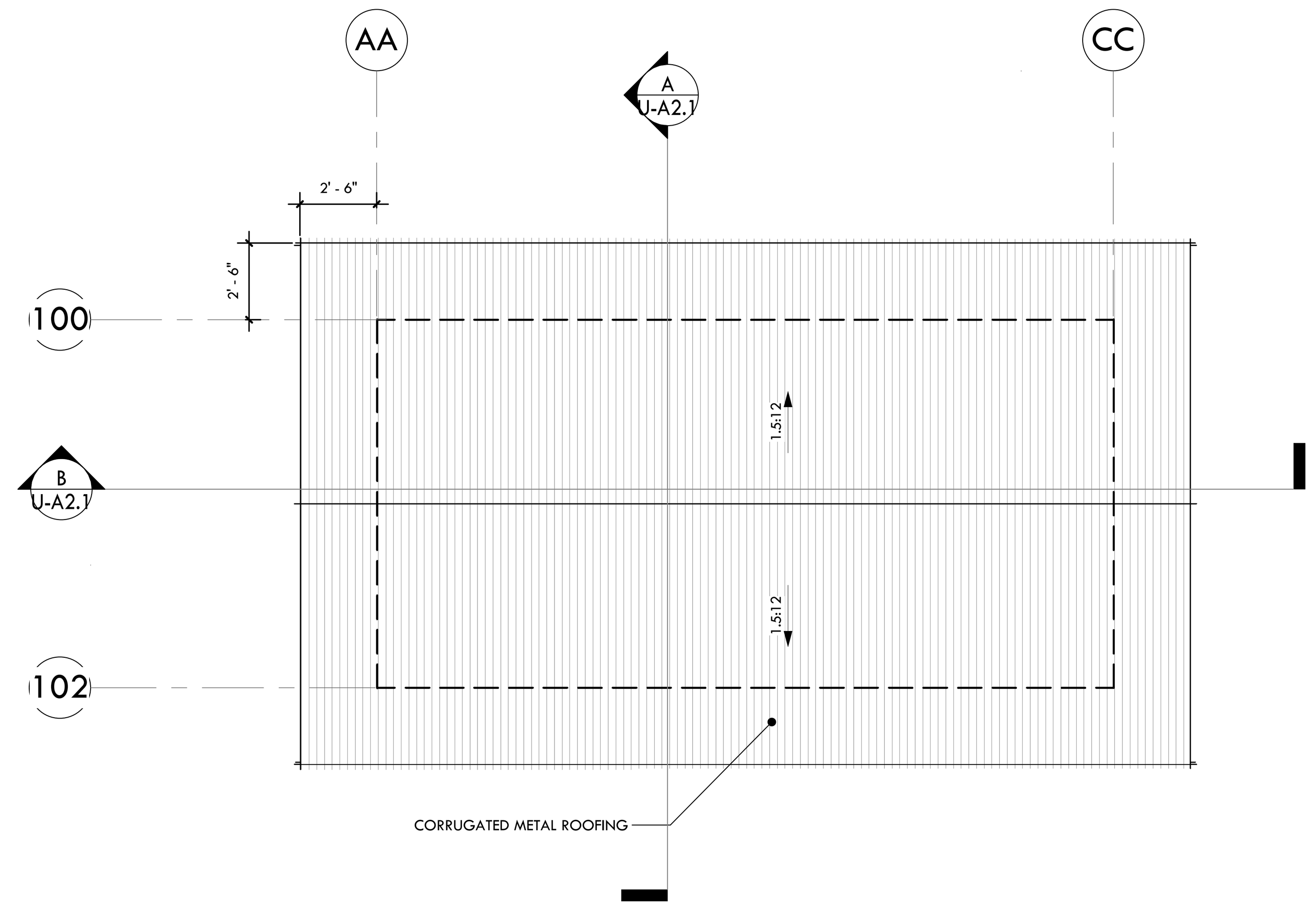
NUMBER	WIDTH	HEIGHT	OPERATION	COMMENTS
101	6' - 0"	8' - 0"	DOUBLE SWING	WOOD CLAD HOLLOW METAL DOOR AT ELEC. CLOSET, VERIFY REQUIREMENTS WITH LIBERTY ELECTRIC
102	2' - 6"	8' - 0"	SWING	WOOD CLAD HOLLOW METAL GAS METER DOOR, VERIFY REQUIREMENTS WITH SW GAS. PROVIDE 3" MIN. AIR GAPS AT TOP AND BOTTOM OF DOOR FOR VENTILATION.
103	6' - 0"	8' - 0"	DOUBLE SWING	LOUVERED HOLLOW METAL DOOR FOR GENERATOR MAKE-UP AIR. VERIFY REQUIREMENTS

NOTE: SEE MAIN HOUSE SCHEDULES, NOTES AND DRAWINGS FOR ADDITIONAL INFO.



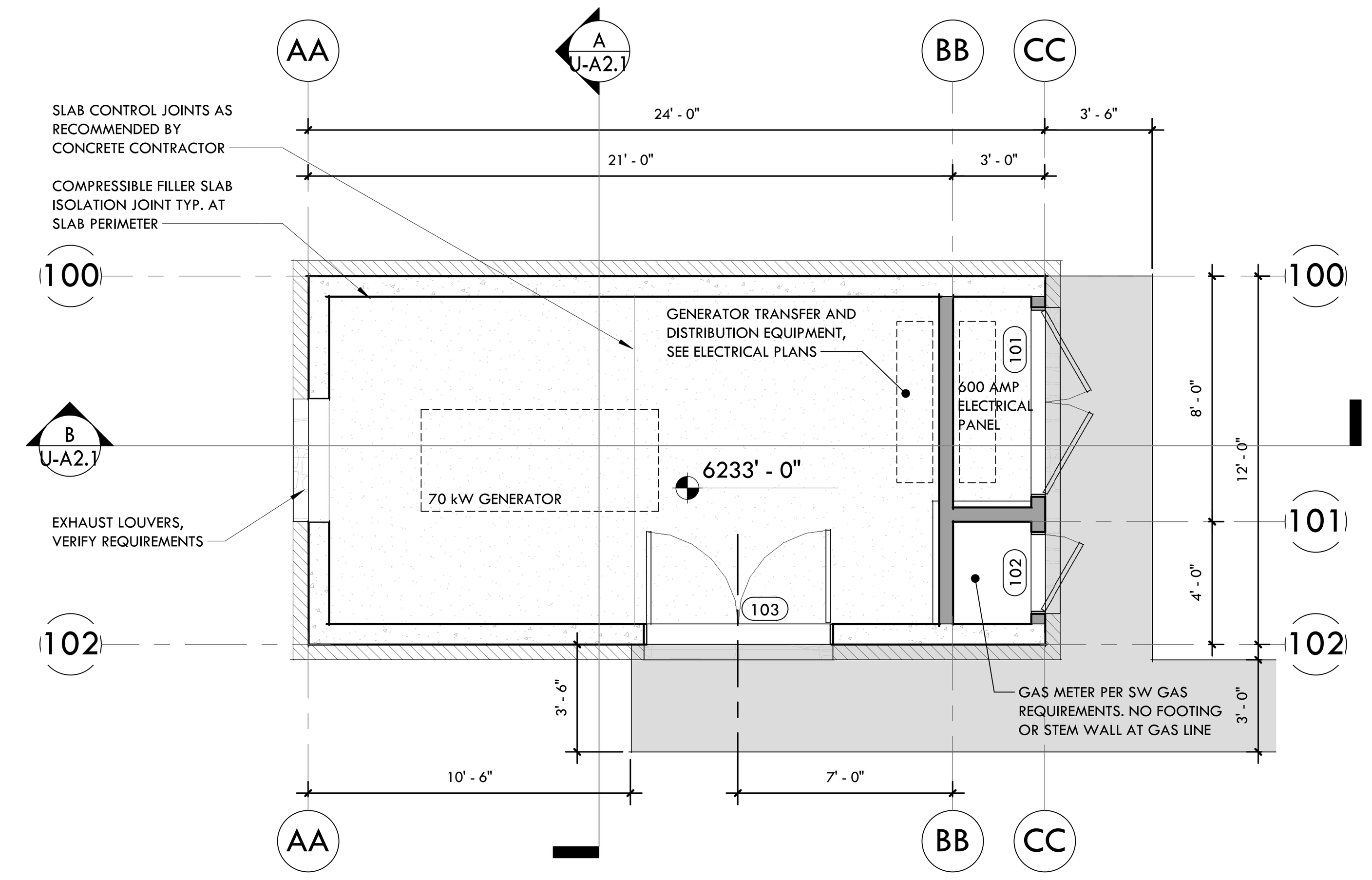
UTILITY SHED MPE PLAN

1/4" = 1'-0"



UTILITY SHED ROOF PLAN

1/4" = 1'-0"



UTILITY SHED FLOOR PLAN

1/4" = 1'-0"

BUILDING AREAS

UTILITY SHED	288 SF
UNCONDITIONED	288 SF
TOTAL	288 SF

SANDBOX

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HEART ROCK ESTATE

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DRAWING ISSUE DATE:
08/04/2023

DRAWING STATUS:
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REVISIONS

1 07.20.23 UTILITY SHED

UTILITY SHED

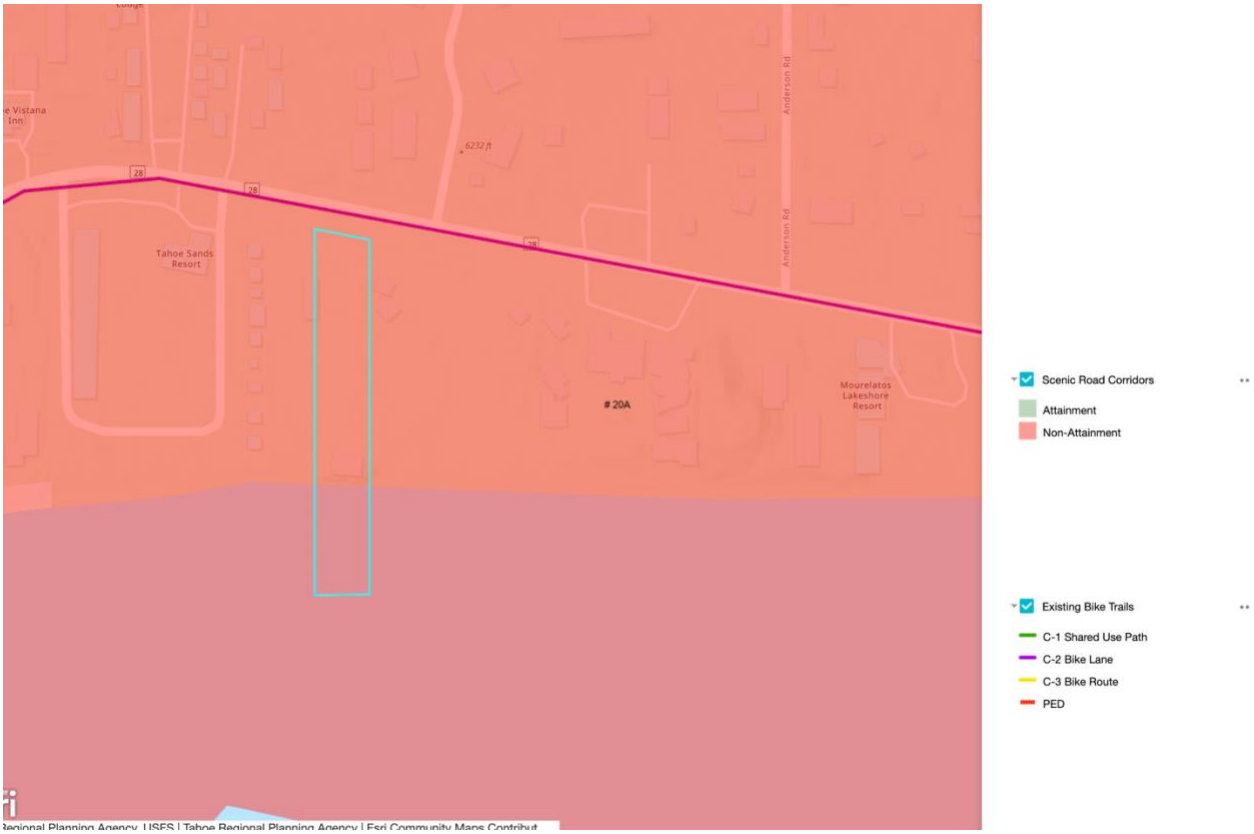
DRAWING SCALE: As indicated

SHEET: U-A2.1

Attachment E
Photos


6650


Tahoe Sands Resort
Mourelatos Lakeshore Resort
Anderson Rd
6232 ft
28
21
Scenic Shoreline Unit
Attainment
Non-Attainment


Tahoe Sands Resort
Mourelatos Lakeshore Resort
Anderson Rd
6232 ft
28
20A
Scenic Road Corridors
Attainment
Non-Attainment
Existing Bike Trails
C-1 Shared Use Path
C-2 Bike Lane
C-3 Bike Route
PED