

STAFF REPORT

Date: January 11, 2024

To: TRPA Hearings Officer

From: Bridget K. Cornell, Associate Planner

Subject: North Tahoe Fire Protection District / Verizon Telecommunications Facility
288 Northshore Boulevard, Kings Beach, Placer County, California
Assessor's Parcel Numbers 117-180-001 & 117-180-003/TRPA File Number ERSP2022-1997

Proposed Action:

Hearings Officer action on the proposed project and related findings based on this staff summary and the draft permit (Attachment A).

Staff Recommendation:

Staff recommends the Hearings Officer make the required findings and approve the project subject to the special conditions in the draft permit.

Project Description:

The proposed project involves the construction of a new, small wireless telecommunications facility on a North Tahoe Fire Protection District (NTFPD) station. The project involves two parcels: APNs 117-180-001 and 117-180-003. The proposed project includes the installation of four wireless antennas on an existing structure. Three antennas will be mounted on the rooftop, screened by a wall painted to match the existing structure. The fourth antenna will be mounted to the building facia, painted to match the existing structure. A single equipment cabinet will be ground mounted under an existing exterior stair well on an existing concrete area. The project also includes grading a trench to provide power directly to the telecommunications facility. No changes to land coverage will result from this project. Best Management Practices (BMPs) will be installed as a part of the project. This permit is written addressing the plans submitted with the application, and an additional BMP Plan provided via email on June 30, 2023.

Land Capability and existing land coverage have not been verified for this property. No changes to land coverage are proposed as a part of this project. Approval of this project does not verify land capability or land coverage. Any future changes to land coverage will require the verification of land capability and existing land coverage.

The antenna and screening will extend approximately seven feet four inches above the existing roof parapet. No increase in the overall building height is proposed. Utilities from the antenna will connect to the utility cabinet along the structure. The equipment cabinet will be connected to dedicated power via proposed utility easement connecting the project with the existing power at the street. No changes to land coverage are proposed. No trees are proposed for removal.

This project area has not been certified for Best Management Practices (BMPs). BMPs will be installed as a part of the project.

Cellular signal maps indicate the proposed antennas will allow cellular providers to fill in cellular phone coverage gaps near the intersection of California State Route 267 and California State Rute 28, as well as along SR 28 through the Kings Beach Commercial Core.

Site Description:

The antenna is proposed on the rooftop of the main existing structure at the North Tahoe Fire Protection District station. No change to the structure's height is proposed with this project. All proposed changes are on the rooftop, and within the existing structure. No changes to land coverage are proposed.

The affected project area consists of two adjacent parcels, housing a station for the North Tahoe Fire Protection District. This parcel is surrounded on the north and east by a residential neighborhood, and to the south by commercial uses. California State Route 267 separates the project area from Old Brockway Golf Course, and some additional commercial uses, to the west. The closest residence is approximately 130 feet from the antenna.

Issues: The proposed project involves a special use determination and therefore requires Hearing Officer review in accordance with Chapter 2, Subsection 2.2.2.a of the TRPA Code. All other issues are discussed in the following staff analysis:

Staff Analysis:

- A. Environmental Documentation: TRPA staff completed the Initial Environmental Checklist (IEC) and "Project Review Conformance Checklist and Article V(g) Findings" in accordance with Chapter 4, Subsection 4.3 of the TRPA Code of Ordinances. All responses contained on said checklists indicate compliance with the environmental threshold carrying capacities and TRPA staff recommends the Hearings Officer make a Finding of No Significant Effect. A copy of the completed checklists will be made available at the Hearings Officer hearing and at TRPA.
- B. Plan Area: The project is located within the Placer County Tahoe Basin Area Plan, Woodvista Subdistrict, where transmission and receiving facilities require a "Minor Use Permit (MUP), which is processed as a Special Use by the Taheo Regional Planning Agency.
- C. Land Coverage: The project will not result in any changes to land coverage. The project area has not been verified for land capability or existing land coverage. Although a land capability verification and land coverage verification were not required for this project, any future project involving changes to land coverage will require the verification of land capability and land coverage.
- D. Height: The proposed antennas on the roof of the existing structure will extend approximately seven feet four inches above the existing structure height. The additional height has been evaluated as a "structure other than building," and can be permitted pursuant to Section 37.6.2 of the TRPA Code of Ordinances, subject to the Chapter 37 height findings below. The antennas will not make the existing structure more nonconforming.
- E. Location: The purpose of the proposed project is to provide better cellular service coverage in the immediate vicinity of the antenna, as well as throughout the California State Route 28 corridor in Kings Beach, California.
- F. Scenic Quality: The proposed project is visible from California State Route 267, within Roadway Unit #41. The proposed antennas will be installed on an existing roof , concealed within a screen wall that will be painted to match the structure's existing colors. The scale, placement, design and

colors will ensure the antennas are not visually obtrusive and blend with the surrounding environment to the greatest extent feasible. As a result, the facility will not result in an adverse impact to the applicable scenic quality threshold.

- G. Radio Frequency Emissions: Congress gave the Federal Communications Commission (“FCC”) “comprehensive powers” over radio communications, and the FCC has exercised “federal primacy” over the technical aspects of such communications. *See Cohen v. Apple, Inc.*, 497 F.Supp.3d 769, 774 and 781 (N.D. Cal. 2020). Congress determined that “it is in the national interest that uniform, consistent requirements, with adequate safeguards of the public health and safety” be established, and it tasked the FCC with adopting regulations for radio frequency (“RF”) emissions. *Id.* at 782; 47 C.F.R. §§ 1.1307(b), 1.1310, 2.1091, 2.1093. While Congress preserved traditional state and local zoning authority, it expressly prohibited states, or instrumentalities thereof, from regulating RF emissions based on health or environmental impacts:

No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's regulations concerning such emissions.

47 U.S.C. § 332(c)(7)(B)(iv). “Environmental effects” as used in this section includes both impacts on human health and the wider environment, including plants and wildlife. *See T-Mobile Northeast, LLC v. Town of Ramapo*, 701 F. Supp. 2d 446, 460 (S.D.N.Y. 2009) (includes human health concerns); *Jaeger v. Cellco Partnership*, 2010 WL 965730, * 10 (D. Conn. 2010) (“The plain meaning of the term ‘environmental effects’ incorporates adverse effects on all biological organisms”).

Thus, the proposed Verizon antennas are required to comply with the FCC limits on RF emissions, and any attempt under state law to impose other limits on RF emissions is preempted. This preemption applies to other federal and state claims as well. For example, the Federal District Court in the Northern District of California recently rejected claims that RF emissions violated the Americans with Disabilities Act, Federal Fair Housing Act, California Fair Employment and Housing Act, and associated tort claims, finding that the Telecommunications Act (TCA) and the FCC’s regulations preempted a city’s ability to regulate radio frequency emissions. *Wolf v. City of Millbrae*, 2021 WL 3727072 (N.D. Cal. Aug. 23, 2021).

As to TRPA, having been created by an interstate compact is a creature of federal law, the application of the TCA to its permitting process is not a matter of preemption. Rather, one must reconcile the intent of Congress in passing both the TCA and the Compact and give meaning to both statutes should there be any conflict in implementation. In furtherance of that standard, the agency position to date is this: TRPA will defer to the FCC regulations over general issues of human health and environmental impacts. However, TRPA could choose to regulate RF in the region should cellular facilities be proven to have a particular adverse effect on the unique environment of the Tahoe Region. TRPA has not received any such proof of adverse impacts of RF particular to Tahoe and therefore will not reexamine the determinations of the FCC.

- H. Prior Approval: This project was originally approved by the TRPA Hearings Officer as TRPA File #ERSP2019-0213. The permit was issued on April 25, 2022. The permit was never fully acknowledged before the permit expired. The applicant then submitted the current application for a permit re-issuance. During the review of the current project, it was discovered that a portion of the previously approved project had already been constructed. Because work commenced without an acknowledged permit and pre-grade inspection, a double-filing fee has been assessed. Special
- AGENDA ITEM NO. V. F.

Condition 3.E. of the draft Conditional Permit assesses a \$2,815.40 double filing fee as a penalty for commencing construction without an acknowledged permit.

Required Findings:

The following is a list of the required findings as set forth in Chapters 4, 21, 37 and 50 of the TRPA Code of Ordinances. Following each finding, agency staff has summarized the evidence on which the finding can be made.

1. Chapter 4 – Required Findings:

- (a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

The project is located within the Woodvista Subdistrict of the Placer County Tahoe Basin Area Plan, where transmission and receiving facilities require a “Minor Use Permit (MUP),” which is processed as a Special Use by TRPA. Policy PS-1.1 of the Regional Plan supports the upgrade and expansion of public service facilities consistent with the Land Use Element of the Regional Plan. There is no evidence showing the proposed project will have an adverse effect on the Land Use, Transportation, Conservation, Recreation, Scenic Quality, Public Service and Facilities, or Implementation sub-elements of the Regional Plan. The project, as conditioned, will not adversely affect the implementation of any applicable elements of the Regional Plan. The project is consistent with the Public Service and Facility Policies of the Placer County Tahoe Basin Area plan.

- (b) The project will not cause the environmental threshold carrying capacities to be exceeded.

TRPA staff has completed the “Article V(g) Findings” in accordance with Section 4.4.2 of the TRPA Code of Ordinances and incorporates the checklist into this analysis. All responses contained in the project findings indicate compliance with the environmental threshold carrying capacities. In addition, the applicant has completed an IEC, which is hereby incorporated into this analysis. Staff has concluded that the project will not have a significant effect on the environment. A copy of the completed checklist and IEC will be made available on the TRPA website, and through the Parcel Tracker.

- (c) Wherever federal, state, or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TPRA Compact, the project meets or exceeds such standards.

The project, as conditioned, will not have an adverse impact on applicable air and water quality standards for the Region. The project includes the installation of water quality best management practices and will not result in the generation of additional vehicle miles travelled.

2. Chapter 21 – Special Use Findings:

- (a) The project, to which the use pertains, is of such a nature, scale, density, intensity and type to be an appropriate use for the parcel on which, and surrounding area in which, it will be located.

The nature of the proposed project is consistent with the public service uses permissible within the Area Plan and will provide an important site for wireless technology providers to improve service in the area. The proposed antennas will be mounted on an existing roof and will be painted to match the colors of the existing structure.

- (b) The project to which the use pertains, will not be injurious or disturbing to the health, safety, enjoyment of property, or general welfare of persons or property in the neighborhood, or general welfare of the region, and the applicant has taken reasonable steps to protect against any such injury and to protect the land, water, and air resources of both the applicant’s property and that of surrounding property owners.

The antennas will not contain lights or generate noise that could be visible or heard outside the immediate vicinity of the facility. The equipment will be housed within existing utility rooms.

At ground/street level, the proposed project will generate a power density that is approximately 16.5 percent of the Federal Communication Commissions (FCC’s) general public limit.

Visual simulations were prepared for the project which demonstrate the telecommunication facilities will be visible from California State Route 267. The antennas will be shielded behind a screen wall, painted to match the existing colors of the existing structure. The project will provide important wireless communication service in emergencies to protect public health, safety, and welfare.

The antennas will help improve public safety by increasing cellular reception for first responders in the area.

- (c) The project, to which the use pertains, will not change the character of the neighborhood or detrimentally affect or alter the purpose of the applicable planning area statement, community plan and specific or master plan, as the case may be.

The communication facility will improve wireless service in the area and will not change the character of the neighborhood. The proposed design will blend with the existing structures. The project is located within the Woodvista Subdistrict of the Placer County Tahoe Basin Area plan, where transmission and receiving facilities require a “Minor Use Permit (MUP), which are processed by TRPA as a special use. Policy PS-1.1 of the Regional Plan supports the upgrade and expansion of public service facilities consistent with the Land Use Element of the Regional Plan.

3. Chapter 37 - Additional Height Findings:

- (a) The function of the structure requires greater maximum height than otherwise provided for in this chapter.

The proposed antennas will be located on the rooftop of an existing structure on the a North Tahoe Fire Protection District station. Antennas require unobstructed locations to ensure they will be functional. The height and location of the proposed antennas ensure they will be functional.

- (b) The additional height is the minimum necessary to feasibly implement the project and there are no feasible alternatives requiring less additional height.

The height of the proposed antennas is the minimum necessary to enable proper function of the antennae by allowing the signals to be transmitted and received over the tops of surrounding structures and tree canopy, providing for adequate cellular service.

4. Chapter 50 – Additional Public Service Facility Findings:

- (a) There is a need for the project.

Cellular coverage maps show service gaps in the area and existing facilities are not meeting service needs associated with increased wireless data needs. This project will provide additional facilities to meet service needs in the area. The additional facilities will provide improved wireless communication service in emergencies to help protect public health, safety, and welfare.

- (b) The project with the Goals and Policies, applicable plan area statements, and Code.

See rationale in Chapter 4 findings, above.

- (c) The project is consistent with the TRPA Environmental Improvement Program.

The project will not affect implementation of the EIP and will not cause TRPA's environmental thresholds to be exceeded. The design of the proposed project will blend with the existing building, which will ensure there are no significant impacts to applicable scenic resource thresholds.

- (d) The project meets the findings adopted pursuant to Article V (g) of the Compact as set forth in Chapter 4: *Required Findings*, as they are applicable to the project's service capacity.

The project's service capacity is shown on wireless propagation maps submitted with the application and shows the areas to be served by the project.

Required Actions:

Staff recommends that the Hearings Officer take the following actions:

- I. Approve the findings contained in this staff summary, and a finding of no significant environmental effect.
- II. Approve the project, based on the staff summary, and record evidence, subject to the conditions contained in the attached Draft TRPA Permit (Attachment A).

Contact Information:

For questions regarding this project please contact Bridget Cornell, TRPA Permitting & Compliance Department, by telephone at (775) 589-5218 or via email to bcornell@trpa.gov. To submit a written public comment, email publiccomment@trpa.gov with the appropriate agenda item in the subject line. Written comments received by 4 p.m. the day before a scheduled public meeting will be distributed and posted to the TRPA website before the meeting begins. TRPA does not guarantee written comments received after 4 p.m. the day before a meeting will be distributed and posted in time for the meeting.

Attachments:

- A. Draft Permit
- B. Project Plans and Simulations

Attachment A
Draft Permit

DRAFT PERMIT

**APN 117-180-001 and 117-180-003
FILE NO. ERSP2022-1997**

Additional Filing Fee (1): Amount \$ 804.40 Paid _____ Receipt No. _____

Additional Filing Fee (2): Amount \$ 2,815.40 Paid _____ Receipt No. _____

Excess Coverage Mitigation Fee (3): Amount \$ _____ Paid _____ Receipt No. _____

Security Posted (4): Amount \$ 10,000.00 Type: _____ Paid _____ Receipt No. _____

Security Administrative Fee (4): Amount \$ _____ Paid _____ Receipt No. _____

Notes:

- (1) See Special Condition 3.D., below.
- (2) See Special Condition 3.E., below.
- (3) See Special Condition 3.F., below.
- (4) See Special Condition 3.G., below.

Required plans determined to be in conformance with approval: Date: _____

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date and is eligible for a county building permit:

TRPA Executive Director/Designee

Date

SPECIAL CONDITIONS

1. This project authorizes the construction of a small wireless telecommunications facility on a North Tahoe Fire Protection District station. The project involves two parcels: APNs 117-180-001 and 117-180-003. The proposed project includes the installation of four wireless antennas on an existing structure. Three antennas will be mounted on the rooftop, screened by a wall painted to match the existing structure. The fourth antenna will be mounted to the building facia, painted to match the existing structure. A single equipment cabinet will be ground mounted under an existing exterior stair well on an existing concrete area. The project also includes grading a trench to provide power directly to the telecommunications facility. No changes to land coverage will result from this project. Best Management Practices (BMPs) will be installed as a part of the project. This permit is written addressing the plans submitted with the application, and an additional BMP Plan provided via email on June 30, 2023.

Land Capability and existing land coverage have not been verified for this property. No changes to land coverage are proposed as a part of this project. Approval of this project does not verify land capability or land coverage. Any future changes to land coverage will require the verification of land capability and existing land coverage.

2. The Standard Conditions of Approval listed in Attachment Q shall apply to this permit.

3. Prior to permit acknowledgement, the following conditions of approval must be satisfied.

A. Page C-1 (Overall Site Plan):

- (1) Please identify the size of each parcel in square feet, and the combined size of the two-parcel project area in square feet.
- (2) Please quantify the existing land coverage within this project area and identify the coverage on the site plan. This number will be utilized in the calculation of the Excess Coverage Mitigation Fee, pursuant to Special Condition 3.E., below.
- (3) Because this property has not been verified for land capability or land coverage, please include a note stating that no changes to land coverage are proposed with this project and land coverage and land capability are not verified with the project approval.
- (4) Please identify a construction staging area with appropriate temporary Best Management Practices (BMPs).
- (5) Please show temporary BMPs for the entire site, including those for the excavation of the utility trench.
- (6) Please include a note on the site plan stating that the permanent BMP plan has been provided separately.

B. Pages A3 (Elevations):

- (1) Please show roof pitches of each roof plane for each affected structure.
- (2) Please show the allowed and proposed height calculation for the structure. Note: additional height resulting from the antenna will not be considered additional height for the structure.
- (3) The permittee shall submit final proposed color samples for all project components visible from Northshore Boulevard (California State Route 267) for approval by TRPA staff.

C. BMP Plan (Submitted via email on June 30, 2023, including notes from TRPA staff):
Applicant shall make the revisions to the proposed BMP Plan outlined below. The final BMP Plan shall be approved by TRPA staff.

- (1) Please label all contributing surfaces and all proposed BMP Treatments. The labels for each contributing surface shall correspond with a BMP treatment. These labels shall be used for the BMP Calculation Spreadsheet.
- (2) Please include a BMP treatment addressing the runoff associated with the front parking lot. All drivable and/or parking surfaces shall include a treatment prior to infiltration.

- (3) Please include a BMP treatment and infiltration for the rear parking area. Consistent with above, all drivable and/or parking surfaces shall include a treatment prior to infiltration.
 - (4) Please provide applicable BMP Details for proposed BMP Treatments.
 - (5) Please provide the BMP Calculation Spreadsheet electronically in Excel format. The spreadsheet shall be used as it is provided on the BMP website (www.tahoebmp.org). The calculation spreadsheet shall include labels for all contributing surfaces and BMP treatments. The labels on the spreadsheet shall correspond with those shown on the BMP Plan.
- D. The initial application fees that were paid when this application was submitted did not apply the fee multiplier required for Hearings Officer review and approval. Applicant shall pay an additional \$804.40 in application fees to account for the additional Hearings Officer Review.
- E. This project was originally approved as a part of TRPA File #ERSP2019-0213. The permit for that project was never acknowledged. Because the applicant moved forward with construction prior to permit acknowledgement, the applicant shall pay a double filing fee of \$2,815.40.
- F. The affected property has approximately 34,416 square feet of unmitigated excess land coverage. Because the coverage for this property has not been verified, this number presumes 100% existing coverage and a 1% base allowable land coverage. The existing coverage may be reduced in response to Special Condition 3.A.(2) above. The permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within Hydrologic Transfer Area 9 – Agate Bay (California side), or by submitting an excess coverage mitigation fee.

To calculate the amount of excess coverage to be removed, use the following formula:

Estimated project construction cost multiplied by the fee percentage of 3.25% (as identified in Table 30.6.1-2 of Subsection 30.6.1.C.3. of the TRPA Code of Ordinances) divided by the mitigation factor of 8. If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

Coverage reduction square footage (as determined by formula above) multiplied by the coverage mitigation cost fee of \$8.50 per square foot for projects within Hydrologic Transfer Area 9 – Agate Bay (California side). If you choose this option, please provide a construction cost estimate by your licensed contractor, architect, or engineer. In no case shall the mitigation fee be less than \$200.00.

- G. The Security required under Standard Condition I.2 of Attachment Q shall be \$10,000.00. Security shall be released upon completion of the project, installation of permanent BMPs and satisfaction of all permit conditions. Please see Attachment J, Security Procedures, for

appropriate methods of posting the security and the applicable security administration fee.

- H. The permittee shall submit final plans to TRPA electronically, incorporating the changes outlined above.
4. Prior to security return, the applicant shall work with the property owner to demonstrate that existing BMPs are being maintained. This shall be documented in a BMP Maintenance Log (https://www.tahoebmp.org/Documents/BMPHandbook/Maintenance_Log_interactive_form.pdf) . TRPA staff is available to assist the property owner with this reporting requirement.
 5. All BMP details and specifications shall be consistent with the TRPA Handbook of Best Management Practices. All BMP handbook details and information sheets can be viewed and downloaded at <http://www.tahoebmp.org/BMPHandbookCh4.aspx>. If sub-surface infiltration facilities are proposed, it will be necessary to submit photo documentation of sub-surface infiltration systems prior to issuance of a BMP Certificate of Completion. The photographs shall clearly show that the infiltration systems have been installed as specified on TRPA approved plans.
 6. Prior to security release photos shall be provided to TRPA taken during the construction of any subsurface BMP's or of any trenching and backfilling with gravel.
 7. Temporary and permanent BMPs may be field fit by the Environmental Compliance Inspector where appropriate.
 8. All Best Management Practices shall be maintained in perpetuity to ensure effectiveness which may require BMPs to be periodically reinstalled or replaced.
 9. Existing natural features outside of the building site shall be retained and incorporated into the site design to the greatest extent feasible. The site shall be designed to avoid disturbance to rock outcrops and to minimize vegetation removal and maintain the natural slope of the project site.
 10. TRPA reserves the right to amend any portion of this permit or construction operation while in progress if it is determined that the project construction is causing significant adverse effects.
 11. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board (including individual members), its Planning Commission (including individual members), its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, administrative appeal, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will

have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

DRAFT

Attachment B
Project Plans and Simulations



PROJECT : NT Center SC

288 NORTSHORE BLVD.
KINGS BEACH, CA 96143

LOCATION NO: 466797

PREPARED FOR
verizon
295 Parkshore Drive
Folsom, California 95630

Vendor:
EPIC
WIRELESS GROUP LLC
Connecting a Wireless World
605 Coolidge Dr. Suite 100
Folsom, CA. 95630

Project Address:
288 NORTSHORE BLVD.
KINGS BEACH, CA 96143

Architect:
Borges
ARCHITECTURAL GROUP
borgesarch.com
1478 STONE POINT DRIVE, SUITE 350
ROSEVILLE CA 95661
916 782 7200 TEL
916 773 3037 FAX

PROJECT NO: 18501-60
LOCATION NO: 466797
DRAWN BY: A.P.E.
CHECKED BY: J.E.S.

NT CENTER SC

REV	DATE	DESCRIPTION
4	09/11/19	100% CD Rev 2
3	08/12/19	100% CD Rev 1
2	07/01/19	100% CD Submittal
1	06/14/19	90% CD Rev 1
0	04/22/19	90% CD Submittal

Licenser:

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

Issued For:
09/11/19
100% CD SUBMITTAL

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
A-0

PROJECT DESCRIPTION	PROJECT INFORMATION	PROJECT TEAM	SHEET INDEX	REV
<p>NEW UNMANNED TELECOMMUNICATION SITE CONSISTING OF (P) 49 SQ. FT ANTENNA LEASE AREA & 117 SQ. FT. EQUIPMENT LEASE AREA, TOTAL = 166 SQ. FT., CONTAINING THE FOLLOWING:</p> <ol style="list-style-type: none"> (P) (1) POWER / BATTERY CABINET ON (P) CONCRETE SLAB (P) 200 AMP METER OUTSIDE (P) (2) SURGE SUPPRESSORS AT EQUIPMENT AREA & (1) AT EACH ANTENNA LOCATION FOR A TOTAL OF (4). (P) 200 AMP A/C CABINET AT EQUIPMENT AREA (P) (4) ROOF MOUNTED ANTENNA AT SECTORS A & G AND (2) ANTENNAS ATTACHED TO BUILDING FACADE AT SECTOR B FOR A TOTAL OF (6). (P) (3) HYBRID TRUNKS. (P) (2) RRHs PER SECTOR FOR A TOTAL OF (6) 	<p>Property Information: Site Name: NT CENTER SC Site Number: 18501-60 Search Ring: NT CENTER SC Site Address: 288 NORTSHORE BLVD. KINGS BEACH, CA 96143 A.P.N. Number: 117-180-001-000, 117-180-003-000 Current Use: PUD Jurisdiction: PLACER COUNTY</p> <p>Property Owner: NORTH TAHOE FIRE PROTECTION P.O. BOX 1308 KINGS BEACH, CA 96143 contact: Battalion Chief Steve McNamara email: mcnamara@ntfire.net ph: (530) 386-7450</p>	<p>Construction Mgr.: EPIC WIRELESS GROUP, LLC. 605 COOLIDGE DR. SUITE 100 FOLSOM, CA 95630 contact: ROB HERNANDEZ email: rob.hernandez@epicwireless.net ph: (916) 216-7931</p> <p>Design Professional: BORGES ARCHITECTURAL GROUP, INC. 1478 STONE POINT DRIVE, SUITE 350 ROSEVILLE, CA 95661 contact: ANTHONY P. ERLER email 1: anthony@borgesarch.com email 2: telecomgroup@borgesarch.com ph: (916) 782-7200</p> <p>Structural Engineer: PZSE STRUCTURAL ENGINEERS 1478 STONE POINT DRIVE, SUITE 190 ROSEVILLE, CA 95661 contact: PAUL ZACHER SE, MLSE email: paul@pzse.com ph: (916) 961-3960</p> <p>Survey: Geil Engineering 1226 High Street Auburn, Ca 95603-5015 contact: NEIL ROHDE email: nrohde@pacbell.net ph: (530) 305-8525</p> <p>Agent for Applicant, Planning and Zoning Mgr: EPIC WIRELESS GROUP, LLC. 605 COOLIDGE DR. SUITE 100 FOLSOM, CA 95630 contact: MARK LOBAUGH email: mark.lobaugh@epicwireless.net cell: (916) 203-4067</p>	<p>A-0 TITLE SHEET GN-1 GENERAL NOTES, ABBREV., & NOTES COA-1 CONDITIONS OF APPROVAL COA-2 TRPA CONDITIONS OF APPROVAL C-1 SURVEY A-1 OVERALL SITE PLAN A-2 ENLARGED EQUIPMENT & ANTENNA PLAN A-3 ELEVATIONS A-4.1 DETAILS A-4.2 EQUIPMENT & CONSTRUCTION DETAILS A-4.3 ACCESS LADDER DETAILS E-1.1 ELECTRICAL GENERAL NOTES E-1.2 ELECTRICAL SCHEDULE & SINGLE LINE DIAGRAM G-1 GROUNDING PLANS G-2 GROUNDING DETAILS</p>	<p>3 0 0 0 1 4 4 3 0 2 0 1 4 0</p>

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2016 CALIFORNIA ADMINISTRATIVE CODE, CHAPTER 10, PART 1, TITLE 24 CODE OF REGULATIONS
- 2016 CALIFORNIA BUILDING CODE (CBC) WITH CALIFORNIA AMENDMENTS, BASED ON THE 2015 IBC (PART 2, VOL 1-2)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC) WITH APPENDIX H, PATIO COVERS, BASED ON THE 2015 IRC (PART 2.5)
- 2016 CALIFORNIA GREEN BUILDINGS STANDARDS CODE (CALGREEN) (PART 11) (AFFECTED ENERGY PROVISIONS ONLY)
- 2016 CALIFORNIA FIRE CODE (CFC), BASED ON THE 2015 IFC, WITH CALIFORNIA AMENDMENTS (PART 9)
- 2016 CALIFORNIA MECHANICAL CODE (CMC), BASED ON THE 2015 UMC (PART 4)
- 2016 CALIFORNIA PLUMBING CODE (CPC), BASED ON THE 2015 UPC (PART 5)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC) WITH CALIFORNIA AMENDMENTS, BASED ON THE 2015 NEC (PART 3)
- 2016 CALIFORNIA ENERGY CODE (CEC)
- ANSI / EIA-TIA-222-H
- 2015 NFPA 101, LIFE SAFETY CODE
- 2016 NFPA 72, NATIONAL FIRE ALARM CODE
- 2016 NFPA 13, FIRE SPRINKLER CODE



SPECIAL INSPECTIONS

DIRECTIONS FROM VERIZON WIRELESS

FROM: 295 PARKSHORE DR, FOLSOM, CA 95630
TO: 288 Northshore Blvd., Kings Beach, CA 96143

- Depart Parkshore Dr toward Coolidge Dr
- Turn right onto Folsom Blvd
- Bear right onto Folsom Auburn Rd
- Turn left onto Oak Avenue Pkwy
- Road name changes to Oak Ave
- Turn right onto Hazel Ave / CR-E3
- Take ramp right for I-80 East toward Reno
- At exit 188B, take ramp right for CA-267 / CA-89 toward Lake Tahoe / Sierraville
- Turn right onto CA-267 / Glenn Carlson Memorial Byp
- Arrive 288 Northshore Blvd. on right

VERIZON SIGNATURE NATURE

DISCIPLINE:	SIGNATURE:	DATE:
SITE ACQUISITION:		
CONSTRUCTION:		
RF:		
MICROWAVE:		
TELCO:		
EQUIPMENT:		
PROJECT ADMINISTRATOR:		
WO ADMINISTRATOR:		

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE FORMATTED TO BE FULL SIZE AT 24" x 36". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOBSITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.

DIGALERT

800-227-2600
Call 2 Full Working Days In Advance

Plot Date: 12/01/19 10:28:35 AM File Name: 120119111801.dwg User: A.P.E. Plot Path: C:\Users\A.P.E.\AppData\Local\Temp\120119111801.dwg

GENERAL CONSTRUCTION NOTES:

- PLANS ARE INTENDED TO BE DIAGRAMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 227-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBC / UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWINGS, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT / ENGINEER.
- THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK, OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT / ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICALLY, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT / ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- ANY DRAIN AND/OR FIELD TILE ENCOUNTERED / DISTURBED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLOTTED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO THE ARCHITECT / ENGINEER AT COMPLETION OF PROJECT.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- INCLUDE MISC. ITEMS PER VERIZON SPECIFICATIONS

APPLICABLE CODES, REGULATIONS AND STANDARDS:

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION.

THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-F, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRICAL EQUIPMENT.
- IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")

TIA 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS TELCORDIA GR-63 NETWORK
EQUIPMENT-BUILDING SYSTEM (NEBS): PHYSICAL PROTECTION
TELCORDIA GR-347 CENTRAL OFFICE POWER WIRING
TELCORDIA GR-1275 GENERAL INSTALLATION REQUIREMENTS
TELCORDIA GR-1503 COAXIAL CABLE CONNECTIONS

ANY AND ALL OTHER LOCAL & STATE LAWS AND REGULATIONS

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

ABBREVIATIONS

A.B.	ANCHOR BOLT	IN. (")	INCH(ES)
ABV.	ABOVE	INT.	INTERIOR
ACCA	ANTENNA CABLE COVER ASSEMBLY	LB.(#)	POUND(S)
ADD'L	ADDITIONAL	L.B.	LAG BOLTS
A.F.F.	ABOVE FINISHED FLOOR	L.F.	LINEAR FEET (FOOT)
A.F.G.	ABOVE FINISHED GRADE	L.	LONGITUDINAL
ALUM.	ALUMINUM	MAS.	MASONRY
ALT.	ALTERNATE	MAX.	MAXIMUM
ANT.	ANTENNA	M.B.	MACHINE BOLT
APPRX.	APPROXIMATE(LY)	MECH.	MECHANICAL
ARCH.	ARCHITECT(URAL)	MFR.	MANUFACTURER
AWG.	AMERICAN WIRE GAUGE	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLK.	BLOCK	MTL.	METAL
BLKG.	BLOCKING	(N)	NEW
BM.	BEAM	NO.(#)	NUMBER
B.N.	BOUNDARY NAILING	N.T.S.	NOT TO SCALE
BTOW.	BARE TINNED COPPER WIRE	O.C.	ON CENTER
B.O.F.	BOTTOM OF FOOTING	OPNG.	OPENING
BU	BACK-UP CABINET	P/C	PRECAST CONCRETE
CAB.	CABINET	PCS	PERSONAL COMMUNICATION SERVICES
CANT.	CANTILEVER(ED)	PLY.	PLYWOOD
C.I.P.	CAST IN PLACE	PPC	POWER PROTECTION CABINET
CLG.	CEILING	PRC	PRIMARY RADIO CABINET
CLP.	CLEAR	P.S.F.	POUNDS PER SQUARE FOOT
COL.	COLUMN	P.S.I.	POUNDS PER SQUARE INCH
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONN.	CONNECTION(OR)	PWR.	POWER (CABINET)
CONST.	CONSTRUCTION	QTY.	QUANTITY
CONT.	CONTINUOUS	RAD.(R)	RADIUS
d	PENNY (NAILS)	REF.	REFERENCE
DBL.	DOUBLE	REINF.	REINFORCEMENT(ING)
DEPT.	DEPARTMENT	REQ'D/	REQUIRED
D.F.	DOUGLAS FIR	RGS.	RIGID GALVANIZED STEEL
DIA.	DIAMETER	SCH.	SCHEDULE
DIAG.	DIAGONAL	SHT.	SHEET
DIM.	DIMENSION	SIM.	SIMILAR
DWG.	DRAWING(S)	SPEC.	SPECIFICATIONS
DWL.	DOWEL(S)	SQ.	SQUARE
EA.	EACH	S.S.	STAINLESS STEEL
EL.	ELEVATION	STD.	STANDARD
ELEC.	ELECTRICAL	STL.	STEEL
ELEV.	ELEVATOR	STRUC.	STRUCTURAL
EMT.	ELECTRICAL METALLIC TUBING	TEMP.	TEMPORARY
E.N.	EDGE NAIL	THK.	THICK(NESS)
ENG.	ENGINEER	T.N.	TOE NAIL
EQ.	EQUAL	T.O.A.	TOP OF ANTENNA
EXP.	EXPANSION	T.O.C.	TOP OF CURB
EXST.(E)	EXISTING	T.O.F.	TOP OF FOUNDATION
EXT.	EXTERIOR	T.O.P.	TOP OF PLATE (PARAPET)
FAB.	FABRICATION(OR)	T.O.S.	TOP OF STEEL
F.F.	FINISH FLOOR	T.O.W.	TOP OF WALL
F.G.	FINISH GRADE	TYP.	TYPICAL
FIN.	FINISH(ED)	U.G.	UNDER GROUND
FLR.	FLOOR	U.L.	UNDERWRITERS LABORATORY
FDN.	FOUNDATION	U.N.O.	UNLESS NOTED OTHERWISE
F.O.C.	FACE OF CONCRETE	V.I.F.	VERIFY IN FIELD
F.O.M.	FACE OF MASONRY	W	WIDE (WIDTH)
F.O.S.	FACE OF STUD	w/	WITH
F.O.W.	FACE OF WALL	WD.	WOOD
F.S.	FINISH SURFACE	W.P.	WEATHERPROOF
FT.(')	FOOT (FEET)	WT.	WEIGHT
FTG.	FOOTING	C	CENTERLINE
G.	GROWTH (CABINET)	L	PLATE, PROPERTY LINE
GA.	GAUGE		
GI.	GALVANIZE(D)		
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER		
GLB. (GLU-LAM)	GLUE LAMINATED BEAM		
GPS	GLOBAL POSITIONING SYSTEM		
GRND.	GROUND		
HDR.	HEADER		
HGR.	HANGER		
HT.	HEIGHT		
ICGB.	ISOLATED COPPER GROUND BUS		

SYMBOLS LEGEND

	BLDG. SECTION		GROUT OR PLASTER
	WALL SECTION		(E) BRICK
	DETAIL		(E) MASONRY
	INTERIOR ELEVATION		CONCRETE
	DOOR SYMBOL		EARTH
	WINDOW SYMBOL		GRAVEL
	TILT-UP PANEL MARK		PLYWOOD
	PROPERTY LINE		SAND
	CENTERLINE		PLYWOOD
	ELEVATION DATUM		SAND
	GRID/COLUMN LINE		(E) STEEL
	KEYNOTE, DIMENSION ITEM		MATCH LINE
	KEYNOTE, CONSTRUCTION ITEM		GROUND CONDUCTOR
	WALL TYPE MARK		OVERHEAD SERVICE CONDUCTORS
	OFFICE		TELEPHONE CONDUIT
	ROOM NAME		POWER CONDUIT
	ROOM NUMBER		COAXIAL CABLE
			CHAIN LINK FENCE
			WOOD FENCE
			(P) ANTENNA
			(P) RRU
			(P) DC SURGE SUPPRESSION
			(F) ANTENNA
			(F) RRU
			(E) EQUIPMENT

PREPARED FOR



295 Parkshore Drive
Folsom, California 95630

Vendor:



605 Coolidge Dr. Suite 100
Folsom, CA. 95630

Project Address:

288 NORTHSHORE BLVD.
KINGS BEACH, CA 96143

Architect:



borgesarch.com
1478 STONE POINT DRIVE, SUITE 350
ROSEVILLE CA 95661
916 782 7200 TEL
916 773 3037 FAX

PROJECT NO: 18501-60

LOCATION NO: 466797

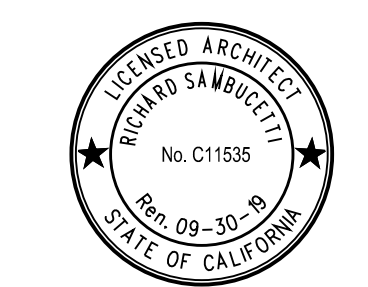
DRAWN BY: A.P.E.

CHECKED BY: J.E.S.

NT CENTER SC

REV	DATE	DESCRIPTION
4	09/11/19	100% CD Rev 2
3	08/12/19	100% CD Rev 1
2	07/01/19	100% CD Submittal
1	06/14/19	90% CD Rev 1
0	04/22/19	90% CD Submittal

Licenser:



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

Issued For:

09/11/19
100% CD SUBMITTAL

SHEET TITLE:

GENERAL NOTES, ABBREV., & NOTES

SHEET NUMBER:

GN-1



DESIGN/SITE REVIEW AGREEMENT

APPLICATION #: PLN18-00359
NT CENTER SC - VERIZON WIRELESS/KB
FIRE STATION
700 North Lake Boulevard in the Tahoe City area
Date Approved: October 25, 2018
Receipt #: 18-039272E
Project: NT CENTER SC - VERIZON WIRELESS/KB FIRE STATION
Property Owner: North Tahoe Fire District
Telephone #: 530-583-6911
Address: P.O. Box 5979, Kings Beach, CA 96143
Contact Person: Mark Lobach
General Location: 288 Northshore Boulevard, Kings Beach, CA 96145
Assessor's Parcel Number: 117-180-003-000
Zoning: Residential

Development Proposal: The Applicant, Verizon Wireless, requests the approval of a permanent wireless cell facility to take the place of the temporary cell site that has been deployed the last two years in order to address coverage deficiencies during peak periods. The Applicant is proposing the permanent installation of (4) roof mounted antennas and (2) antennas mounted to the building facade for a total of (6) antennas. Located within a 166 square foot ground lease area, Verizon Wireless proposes to install (1) miscellaneous power cabinet, (1) 200 amp A/C cabinet, (1) 200 amp meter, and (2) surge suppressors, (2) additional surge suppressors and (6) remote radio heads will be located adjacent to the antennas located within a 49 square foot antenna lease area. All roof mounted equipment is to be located within a new cupola that will help to disguise this cellular installation from public view. The cupola will be located in the north eastern corner of the existing fire station building.

This project was presented before the Tahoe Basin Design Site Review Committee on October 2, 2018. The project received unanimous approval as presented with the inclusion of a recommendation that 1) the colors will match the existing building; 2) any flashing cap added will be painted to match the existing building; and 3) a standard maintenance requirement be included in the conditions of approval.

SITE REVIEW

- A. Building arrangement, setbacks, exterior appearance (type of finish, color, etc.): The project is approved to an antenna installation to be located on the roof or the existing fire station. The proposed cupola that is to screen the antennas that were approved as part of the Minor Use Permit (PLN18-00251) are to be located in the north east corner of the roof. The cupola will be 7 feet by 7 feet and 9 feet in height. A ground level equipment pad will be located to the rear (east) of the existing building. The cupola colors will match the existing building and any flashing cap added will be painted to match the existing building.
B. Parking, traffic circulation, frontage improvements: No changes to the parking configuration are proposed or required as part of this project.

Administrative: Steve Pedwell - Agency Director
3091 County Center Drive - Auburn, CA 95603
(530) 748-3000 office • (530) 745-3120 fax

- C. Grading and storm drainage: The Engineering and Surveying Department (ESD) has reviewed the information provided with this Design/Site Review Application and has recommended approval of the project and has no recommended conditions (see attached memorandum dated February 20, 2018 from Fred Stamm).
D. Improvement plans required: Yes X No. If Yes, plans must be submitted separately to Engineering and Surveying for review and must be accompanied by a copy of this approved Design Review Agreement. The building permit cannot be issued until the improvements plans are approved.
E. Landscaping: (Applicant is responsible for the maintenance and replacement of all plant materials. Failure to do so will result in a violation of the Placer County Zoning Ordinance. Landscaping shall not be removed or severely trimmed without the approval of the D/SRSC. No landscaping is being proposed for this project. The nature of the proposed project does not necessitate the need for additional landscaping to be provided as the screening is accomplished through the proposed cupola design.
F. Walls, fences, and trash enclosures: No walls, fences, or trash enclosures are proposed therefore, there are no requirements associated with this approval.
G. Exterior lighting: No lighting is proposed as part of this project.
H. Signs: No signage associated with this project has been proposed or approved.
I. Engineering and Surveying comments and/or conditions: The Engineering and Surveying Department (ESD) has reviewed the information provided with this Design/Site Review Application and has recommended approval of the project and has no additional conditions to place on this approval (see attached memorandum dated September 17, 2018 from Fred Stamm).
J. Environmental Health comments and/or conditions: Placer County Health and Human Services Department has reviewed the information provided with this Design/Site Review Application and has recommended approval of the project and has no recommended conditions (see attached memorandum dated August 24, 2018 from Joey Scarborough).

- 1. Hazardous materials as defined in Health and Safety Code Division 20, Chapter 6.95 shall not be allowed on any premises in regulated quantities (55 gallons, 200 cubic feet, 500 pounds) without notification to Environmental Health Services. A property owner/occupant who handles or stores regulated quantities of hazardous materials shall comply with the following within 30 days of commencing operations.
a. Operator must complete an electronic submission to California Environmental Reporting System (CERS) and pay required permit fees.
b. If the business will generate hazardous waste from routine operations, obtain an EPA ID number from the Department of Toxic Substances Control (DTSC).
If Business Owner/Operator is unsure of what constitutes a hazardous material or waste, please contact Environmental Health Services for assistance at 530-745-2300
2. The discharge of fuels, oils, or other petroleum products, chemicals, detergents, cleaners, or similar chemicals to the surface of the ground or to drainage ways on or adjacent to, the site is prohibited.
3. Project status shall remain unannounced, locked and accessible to employees only. In the event this status should change, additional conditions relating to sewage disposal and water supply will be required by Environmental Health Services.
K. Maintenance: The project will be required to be maintained in a good state of repair. This shall include the screening materials as well as the paint to match the existing building.
L. Other: The applicant shall, upon written request of the County, defend, indemnify, and hold harmless the County of Placer, the County Board of Supervisors, and its officers, agents, and employees, from any and all actions, lawsuits, claims, damages, or costs, including attorney's fees awarded by a certain development project known as the NT Center SC - Verizon Wireless/KB Fire Station Design Review PLN18-00359. The applicant shall, upon written request of the County, pay or, at the County's option,

reimburse the County for all costs for preparation of an administrative record required for any such action, including the costs of transcription, County staff time, and duplication. The County shall retain the right to elect to appear in and defend any such action on its own behalf regardless of any tender under this provision. This indemnification obligation is intended to include, but not be limited to, actions brought by third parties to invalidate any determination made by the County under the California Environmental Quality Act (Public Resources Code Section 21000 et seq.) for the Project or any decisions made by the County relating to the approval of the Project. Upon request of the County, the applicant shall execute an agreement in a form approved by County Counsel incorporating the provision of the condition (County Counsel).

- M. Approval period: Design Review approval shall be valid for two (2) years from the date of approval: October 25, 2018. Expiration shall be October 25, 2020. Extensions may be granted by the Planning Department at the applicant's request. Such extensions must be made at least thirty (30) days prior to the expiration date and accompanied by the appropriate fee. No more than two extensions may be granted.
N. Appeal: If the applicant elects to appeal any of the conditions of the Design Review, such appeal must be made in writing within ten (10) calendar days of the approval date (October 25, 2018) along with the current filing fee. If no appeal is made, this Design Review is valid for two (2) years only unless exercised by actual construction on-site.
O. Modification: Modification to any of the approved Design Review plans, including but not limited to window design, location and details, and/or to the light fixture, must be approved prior to construction/installation of such changes. Failure to do so may result in the requirement to modify the project to comply with the approved Design Review and/or result in the inability to issue a final approval for occupancy of your project.

REVIEWED AND APPROVED AS PROVIDED ABOVE BY:

Planning Services Division: [Signature] Date: 10/25/18
Engineering & Surveying Division: [Signature] Date: 10/25/18
Environmental Health Department: [Signature] Date: 10/25/18
APPLICANT'S SIGNATURE: Scott Stewart Date: 4/5/19
SCOTT STEWART DIRECTOR PLACER COUNTY HEALTH AND HUMAN SERVICES

NOTE: IMPROVEMENT PLANS AND BUILDING PERMIT PLAN CHECK CANNOT BE COMPLETED UNTIL THIS FORM HAS BEEN SIGNED AND RETURNED TO THE PLANNING SERVICES DIVISION.



To: Planning Department
DSA #: PLN18-00359 NAME OF PROJECT: NT Center SC-Verizon
ASSESSOR PARCEL: 117-180-003

- The project shall comply with conditions of:
The Environmental Health Division has no design review concerns.
Hold the design review for the following information to be submitted to Environmental Health:
Condition the DSA as follows:

- 1. Hazardous materials as defined in Health and Safety Code Division 20, Chapter 6.95 shall not be allowed on any premises in regulated quantities (55 gallons, 200 cubic feet, 500 pounds) without notification to Environmental Health Services. A property owner/occupant who handles or stores regulated quantities of hazardous materials shall comply with the following within 30 days of commencing operations:
a. Operator must complete an electronic submission to California Environmental Reporting System (CERS) and pay required permit fees.
b. If the business will generate hazardous waste from routine operations, obtain an EPA ID number from the Department of Toxic Substances Control (DTSC).
If Business Owner/Operator is unsure of what constitutes a hazardous material or waste, please contact Environmental Health Services for assistance at 530-745-2300
2. The discharge of fuels, oils, or other petroleum products, chemicals, detergents, cleaners, or similar chemicals to the surface of the ground or to drainage ways on or adjacent to, the site is prohibited.
3. Project status shall remain unannounced, locked and accessible to employees only. In the event this status should change, additional conditions relating to sewage disposal and water supply will be required by Environmental Health Services.

Joey Scarborough, Technical Specialist August 24, 2018
Signed Date



MEMORANDUM

TO: STEVE BUELNA - PLANNING SERVICES DIVISION
ALEXANDRIA SULLIVAN - ADMINISTRATIVE SECRETARY
FROM: FRED STAMM, ENGINEERING AND SURVEYING DIVISION
SUBJECT: PLN18-00359 NT CENTER SC - VERIZON DESIGN REVIEW; VERIZON WIRELESS/KB FIRE STATION; VERIZON WIRELESS/KB FIRE STATION PROPERTY; 288 NORTHSORE BOULEVARD, KINGS BEACH (APN: 117-180-003)
DATE: SEPTEMBER 17, 2018

The applicant, Verizon Wireless, has a Minor Use Permit (PLN18-00251) and is now going through the Design Review process to install a permanent wireless cell facility at the Kings Beach, North Tahoe fire station that will prevent the need for the temporary cell site that has been deployed the last two years.

The permanent installation includes (4) roof mounted antennas and (2) antennas mounted to the building facade for a total of (6) antennas. Power and fiber will be brought to the site from adjacent utility points of connection, via a 3' non-exclusive Verizon Wireless utility easement on the North Tahoe Fire District property. Located within a 166 square foot ground lease area, Verizon Wireless proposes to install (1) miscellaneous power cabinet, (1) 200 amp A/C cabinet, (1) 200 amp meter, and (2) surge suppressors, (2) additional surge suppressors and (6) remote radio heads will be located adjacent to the antennas located within a 49 square foot antenna lease area. A 10' non-exclusive Verizon Wireless access and utility easement is proposed on the North Tahoe Fire District property to access the facility from State Highway 297 (Northshore Boulevard).

The Engineering and Surveying Division (ESD) supports the Development Review Committee's recommendation for this application with no conditions of approval.

Engineering and Surveying Division • 3091 County Center Drive, Suite 120 • Auburn, CA 95603
(530) 745-3110 office • (530) 745-7589 fax

PREPARED FOR
verizon
295 Parkshore Drive
Folsom, California 95630

Vendor:
EPIC
WIRELESS GROUP LLC
Connecting a Wireless World
605 Coolidge Dr. Suite 100
Folsom, CA. 95630

Project Address:
288 NORTHSORE BLVD.
KINGS BEACH, CA 96143

Architect:
Borges
borgesarch.com
1478 STONE POINT DRIVE, SUITE 350
ROSEVILLE CA 95661
916 782 7200 TEL
916 773 3037 FAX

PROJECT NO: 18501-60
LOCATION NO: 466797
DRAWN BY: A.P.E.
CHECKED BY: J.E.S.

NT CENTER SC

Table with 3 columns: REV, DATE, DESCRIPTION. Rows show revision history for CD Rev 2, CD Rev 1, CD Submittal, and CD Rev 1.

Licensors:
Professional Engineer Seal
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

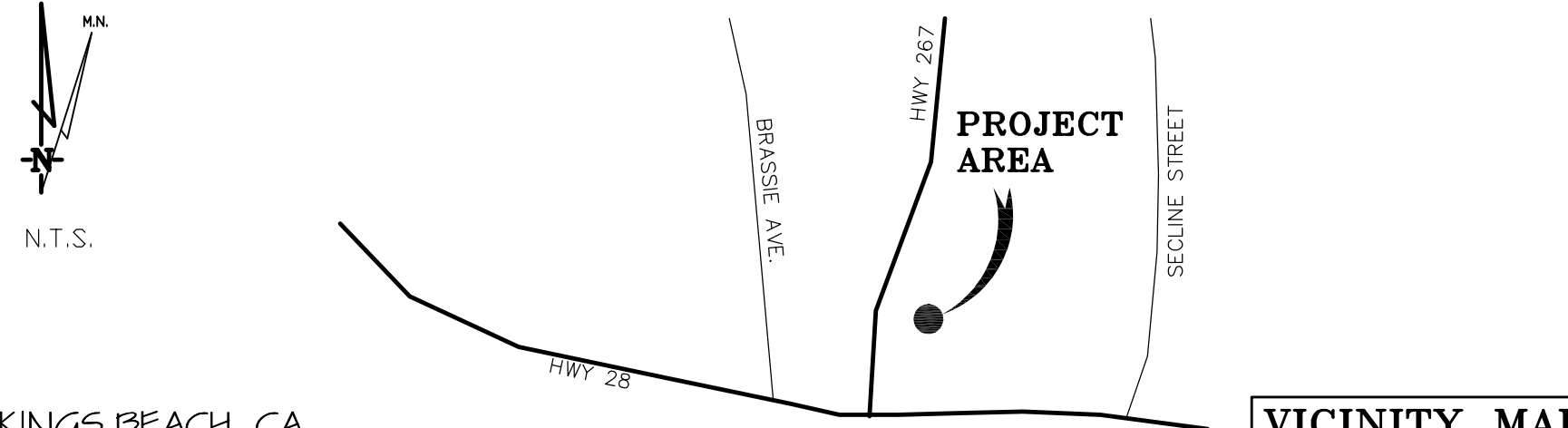
Issued For:
09/11/19
100% CD SUBMITTAL

SHEET TITLE:
CONDITIONS OF APPROVAL

SHEET NUMBER:
COA-1

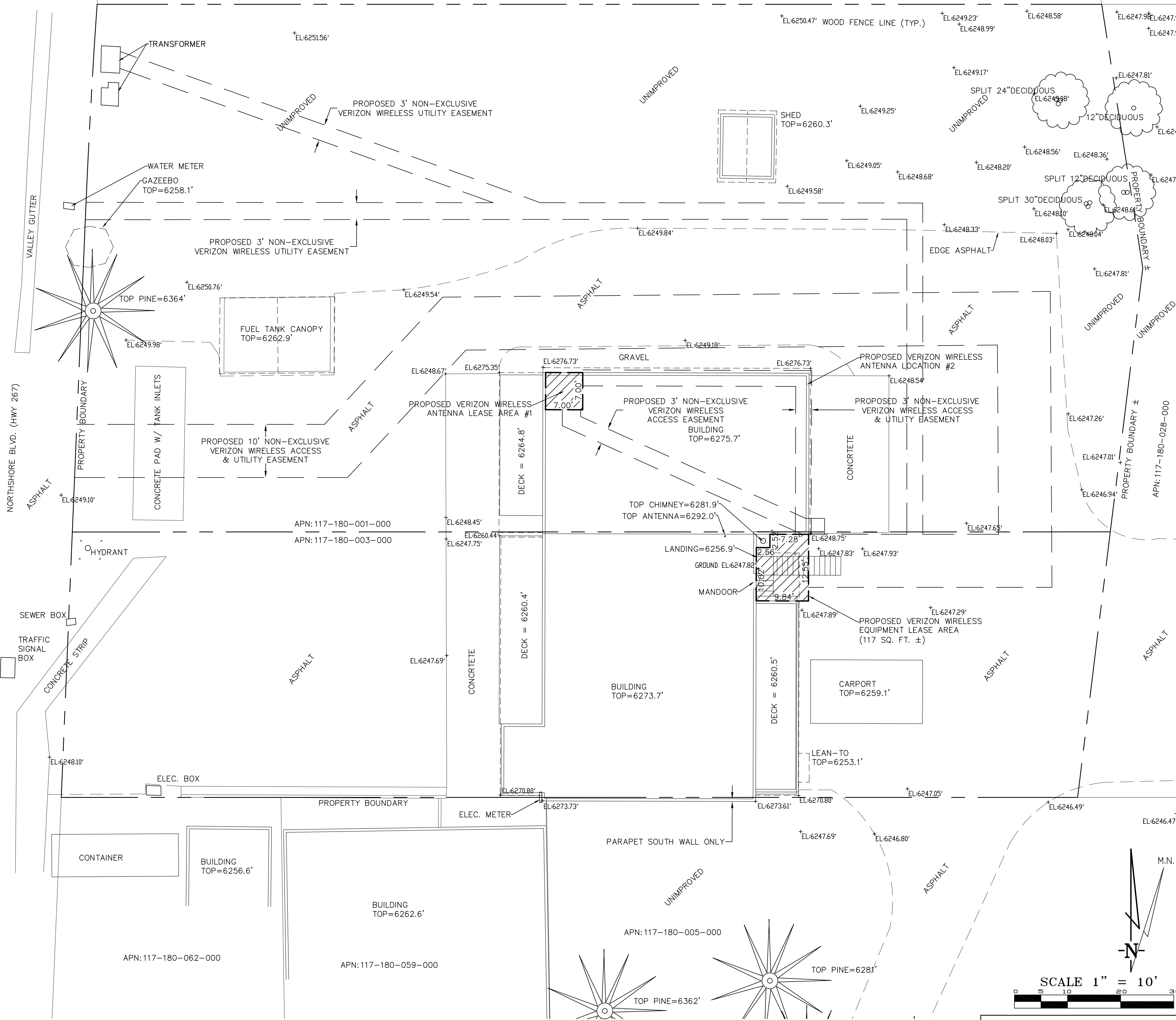
BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. NO EASEMENTS WERE RESEARCHED OR PLOTTED. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED EXCEPT AS SHOWN ON THIS PLAN. NO PROPERTY MONUMENTS WERE SET.

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APN: 117-200-048-000

PROPERTY BOUNDARY



KINGS BEACH, CA
Lease Area Description

All those certain lease areas being a portion of Lots 28, 31, and 32 as are shown on that certain Subdivision Map filed for record at Book "D" of Maps at Page 12, Official Records of Placer County, being located in Kings Beach, County of Placer, State of California., being more particularly described as follows:

EQUIPMENT LEASE AREA:
Beginning at a point from which a 5/8" Rebar and Cap stamped RCE 32239 set at the Southeast corner of Lot 26 as is shown on that certain Record of Survey filed for record at Book 11 of Surveys at Page 58, Official Records bears North 69°13'42" East 280.98 feet; thence from said point of beginning North 89°51'18" West 7.28 feet; thence South 00°08'42" West 2.52 feet; thence North 89°51'18" West 2.56 feet; thence South 00°08'42" West 10.02 feet; thence South 89°49'51" East 9.84 feet; thence North 00°08'42" East 12.55 feet to the point of beginning.

ANTENNA LEASE AREA #1:
Beginning at a point on the roof of an existing building from which a 5/8" Rebar and Cap stamped RCE 32239 set at the Southeast corner of Lot 26 as is shown on that certain Record of Survey filed for record at Book 11 of Surveys at Page 58, Official Records bears North 77°13'34" East 312.98 feet; thence from said point of beginning North 89°52'32" West 7.00 feet; thence South 00°08'30" West 7.00 feet; thence South 89°52'32" East 7.00 feet to the point of beginning.

Together with a non-exclusive easement for access and utility purposes ten feet in width the centerline of which is described as follows: beginning at a point which bears South 00°23'29" West 4.97 feet from the Northeast corner of the above described equipment lease area and running thence East 1.52 feet to a point hereafter defined as Point "A"; thence continuing East 18.50 feet to a point hereafter defined as Point "B"; thence continuing East 20.79 feet; thence North 00°19'30" West 45.65 feet; thence South 89°27'36" West 107.24 feet; thence South 42°54'16" West 32.71 feet; thence West 49 feet more or less to the public right of way.

Also together with a non-exclusive easement for access purposes three feet in width the centerline of which is described as follows: beginning at Point "A" as previously defined and running thence North 00°08'42" East 6.48 feet; thence South 89°58'40" West 2.39 feet; thence North 65°39'41" West 47.78 feet; thence North 00°11'02" East 2.26 feet more or less to the above described antenna lease area.

Also together with a non-exclusive easement for utility purposes three feet in width the centerline of which is described as follows: beginning at Point "B" as previously defined and running thence North 00°00'08" West 65.84 feet; thence North 89°58'50" West 70.63 feet to a point hereafter defined as Point "C"; thence continuing North 89°58'50" West 81.6 feet more or less to the public right of way.

Also together with a non-exclusive easement for utility purposes three feet in width the centerline of which is described as follows: beginning at Point "C" as previously defined and running thence North 70°13'15" West 87.7 feet more or less to the existing transformer.

Also together with a non-exclusive easement for access and utility purposes three feet in width the centerline of which is described as follows: beginning at a point which bears North 89°49'51" West 1.00 feet from the Northeast corner of the above described lease area and running thence North 00°08'27" East 29.34 feet; thence North 89°51'18" West 41.59 feet more or less to the above described antenna lease area.

DATE OF SURVEY: 02-15-18
 SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GEIL, R.C.E. 14803
 LOCATED IN THE COUNTY OF PLACER, STATE OF CALIFORNIA
 BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.
 ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S. N.A.V.D. 88 DATUM. ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 N.G.V.D. 1929 CORRECTION: SUBTRACT 4.05' FROM ELEVATIONS SHOWN.
 CONTOUR INTERVAL: N/A
 ASSESSOR'S PARCEL NUMBER: 117-180-001-000
 117-180-003-000
 OWNER(S): NORTH TAHOE FIRE PROTECTION
 PO BOX 1308
 KINGS BEACH, CA 96143

Geil Engineering
 Engineering * Surveying * Planning
 1226 High Street
 Auburn, California 95603-5015
 Phone: (530) 885-0426 * Fax: (530) 823-1309

VERIZON WIRELESS
 Project Name: NT CENTER SC
 Project Site Location: 288 Northshore Blvd.
 Kings Beach, CA 96143
 Placer County

Date of Observation: 02-15-18
 Equipment/Procedure Used to Obtain Coordinates: Trimble Geo-XT post processed with Pathfinder Office software.

Antenna Location #1:
 NAD 83 Coordinates: Latitude: N 39° 14' 19.13" Longitude: W 120° 01' 51.86"
 NAD 27 Coordinates: Latitude: N 39° 14' 19.46" Longitude: W 120° 01' 48.17"

Antenna Location #2:
 NAD 83 Coordinates: Latitude: N 39° 14' 19.12" Longitude: W 120° 01' 51.28"
 NAD 27 Coordinates: Latitude: N 39° 14' 19.46" Longitude: W 120° 01' 47.59"

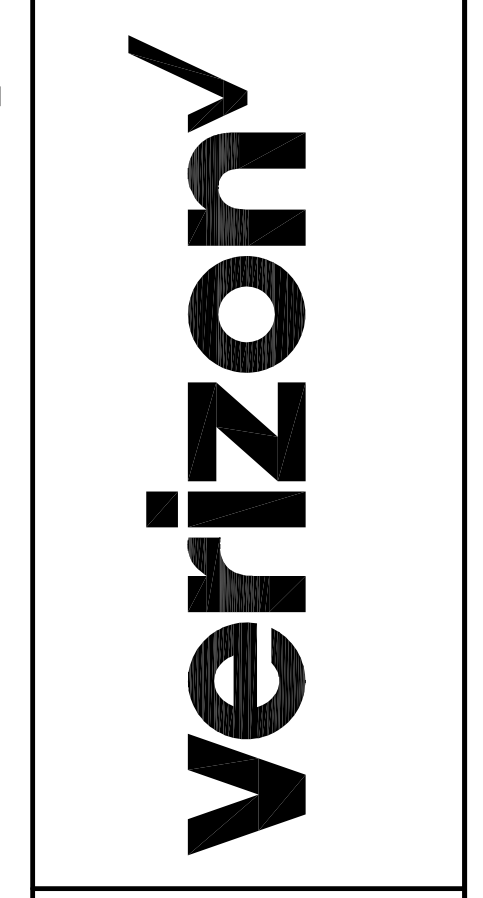
ELEVATION OF Ground at Structure (NAVD88): 6247.8' AMSL
 STRUCTURE HEIGHT: (Top Parapet) 28.9' AGL
 OVERALL HEIGHT: (Top Antenna) 44.2' AGL

CERTIFICATION: I, the undersigned, do hereby certify elevation listed above is based on a field survey done under my supervision and that the accuracy of those elevations meet or exceed 1-A Standards as defined in the FAA ASAC Information Sheet 91.003, and they are true and accurate to the best of my knowledge and belief.

Kenneth D. Geil California R.C.E. 14803

DEPT	APPROVED	DATE
A&C		
RE		
RF		
INT		
EE\IN		
OPS		
EE\OUT		

Surveyor
GEIL ENGINEERING
 ENGINEERING * SURVEYING * PLANNING
 1226 HIGH STREET
 AUBURN, CALIFORNIA 95603
 Phone: (530) 885-0426



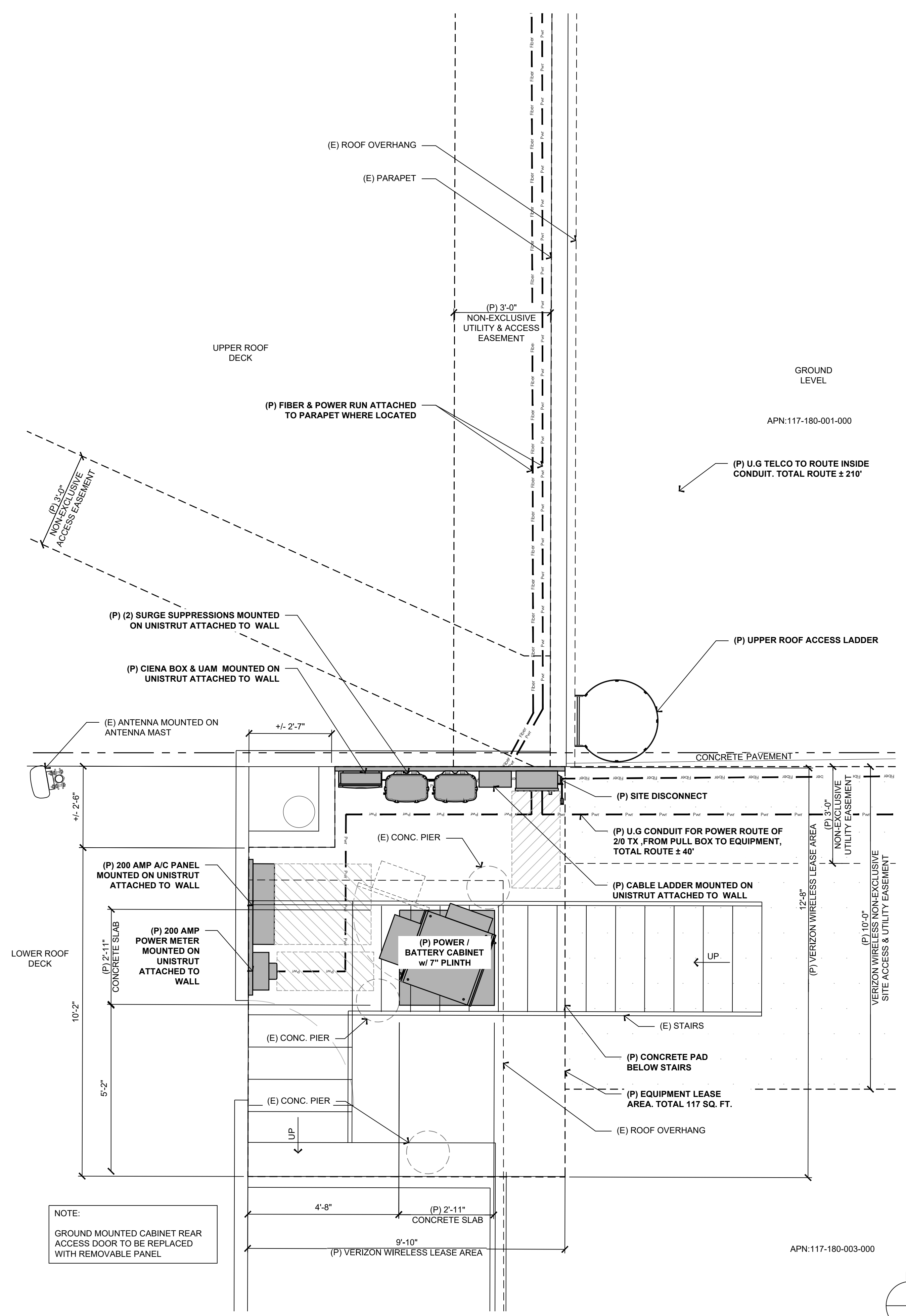
NT CENTER SC
 288 NORTHSHORE BLVD.
 KINGS BEACH, CA 96143
 PLOT PLAN AND
 SITE TOPOGRAPHY

REV	NO	DATE	DESCRIPTION
06-20-19	1		Easement Mod.

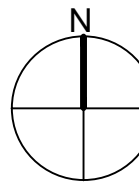
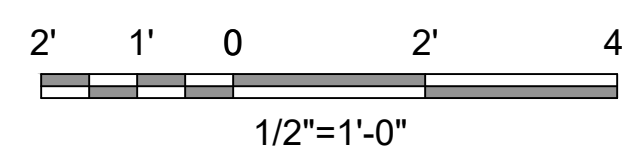
REV	NO	DATE	DESCRIPTION
02-16-18	1		Drawing Submittal
03-19-18	2		Lease Area Placed
05-08-18	3		Easement Mod.
05-14-18	4		Easement Mod.
11-05-18	5		Add. Survey Added

Sheet
C-1

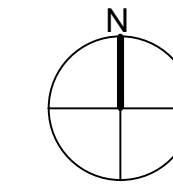
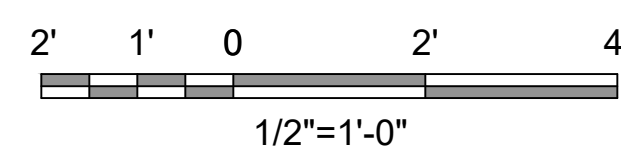
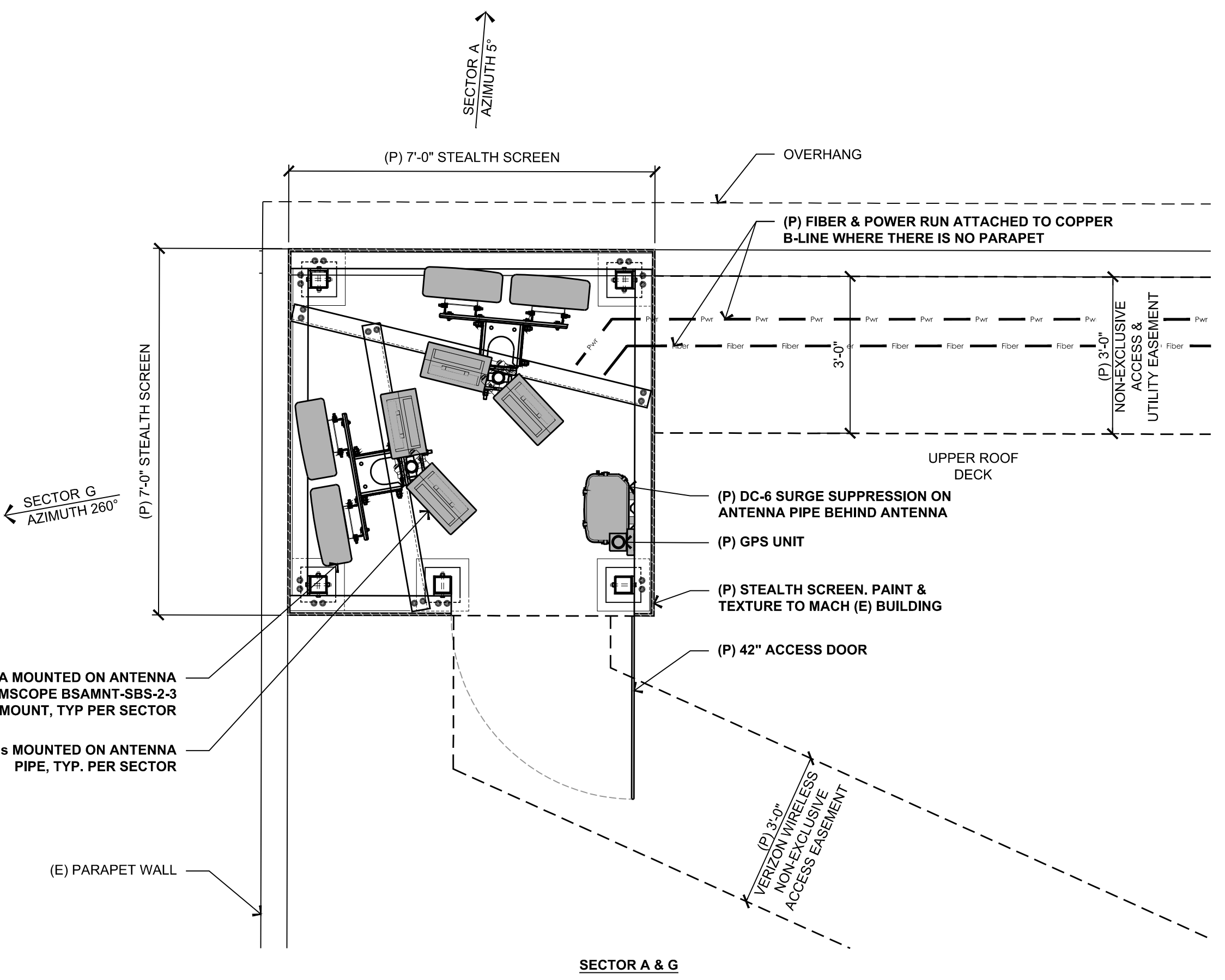
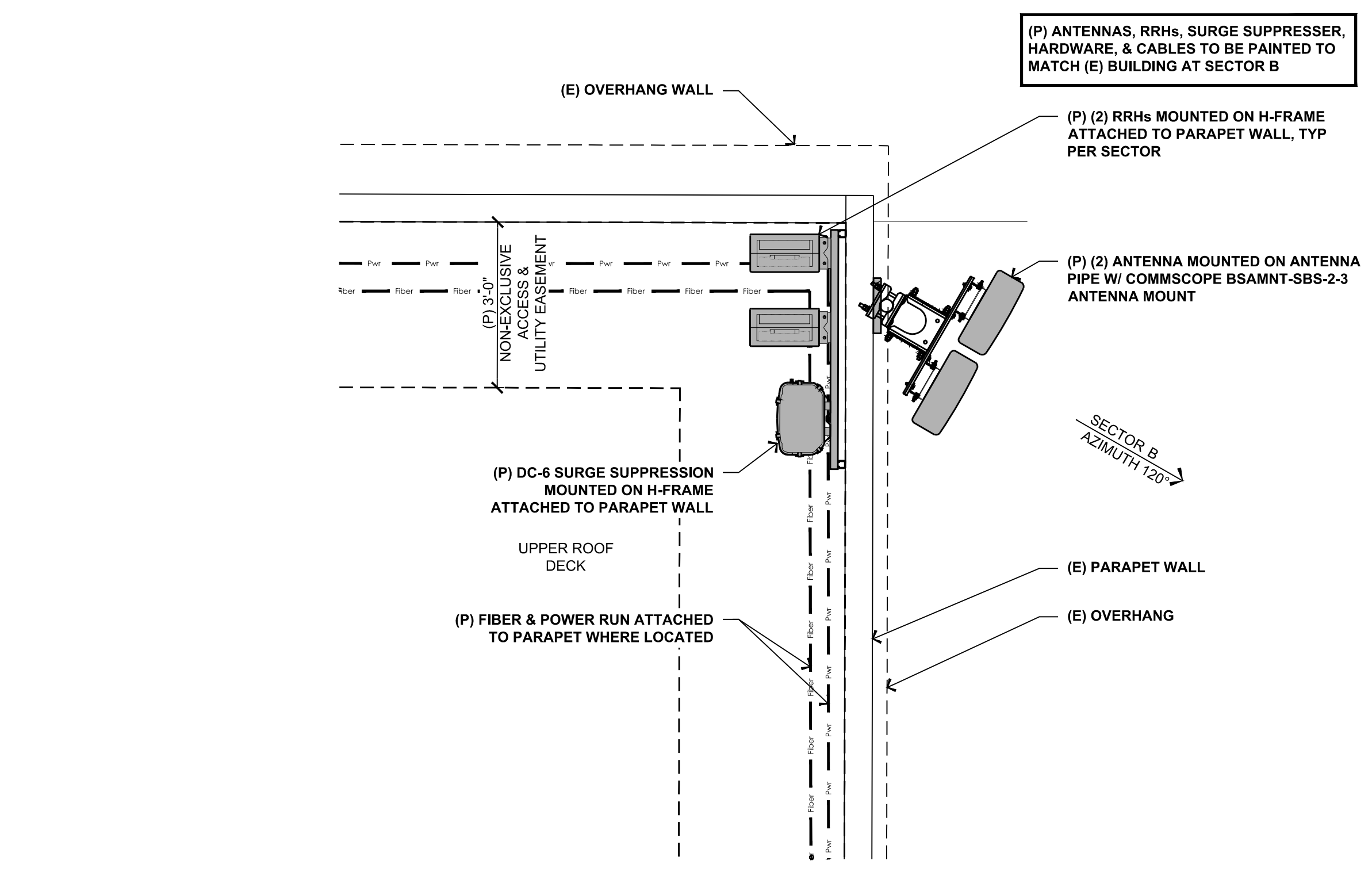
Project: 18501-60 - NT Center SC - Enlarged Equipment & Antenna Plan - Issued for: 09/11/19 - Prepared by: Anthony Efer



NOTE:
 GROUND MOUNTED CABINET REAR ACCESS DOOR TO BE REPLACED WITH REMOVABLE PANEL



17 ENLARGED EQUIPMENT PLAN
 1/2" = 1'-0"



9 ENLARGED ANTENNA PLAN
 1/2" = 1'-0"

PREPARED FOR
verizon
 295 Parkshore Drive
 Folsom, California 95630

Vendor:
EPIC
 WIRELESS GROUP LLC
 Connecting a Wireless World
 605 Coolidge Dr. Suite 100
 Folsom, CA. 95630

Project Address:
 288 NORTSHORE BLVD.
 KINGS BEACH, CA 96143

Architect:
Borges
 ARCHITECTURAL GROUP
 borgesarch.com
 1478 STONE POINT DRIVE, SUITE 350
 ROSEVILLE CA 95661
 916 782 7200 TEL
 916 773 3037 FAX

PROJECT NO: 18501-60
 LOCATION NO: 466797
 DRAWN BY: A.P.E.
 CHECKED BY: J.E.S.

NT CENTER SC

REV	DATE	DESCRIPTION
4	09/11/19	100% CD Rev 2
3	08/12/19	100% CD Rev 1
2	07/01/19	100% CD Submittal
1	06/14/19	90% CD Rev 1
0	04/22/19	90% CD Submittal

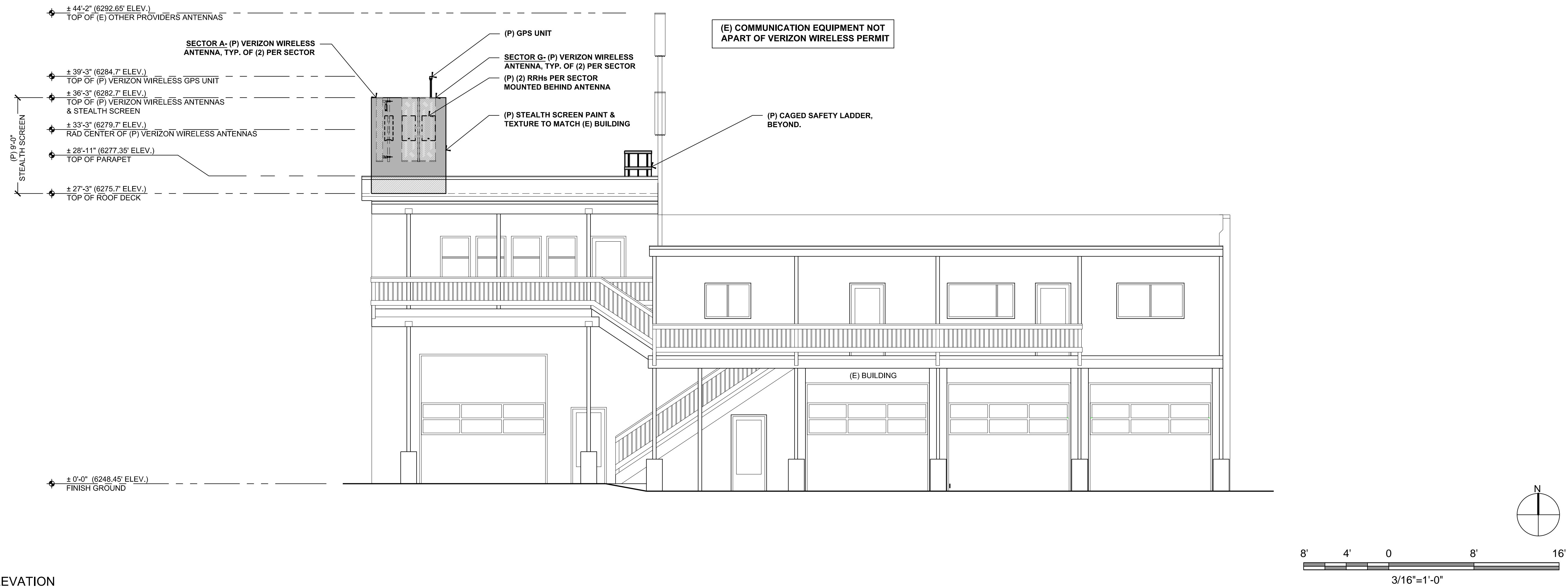
Licensor:

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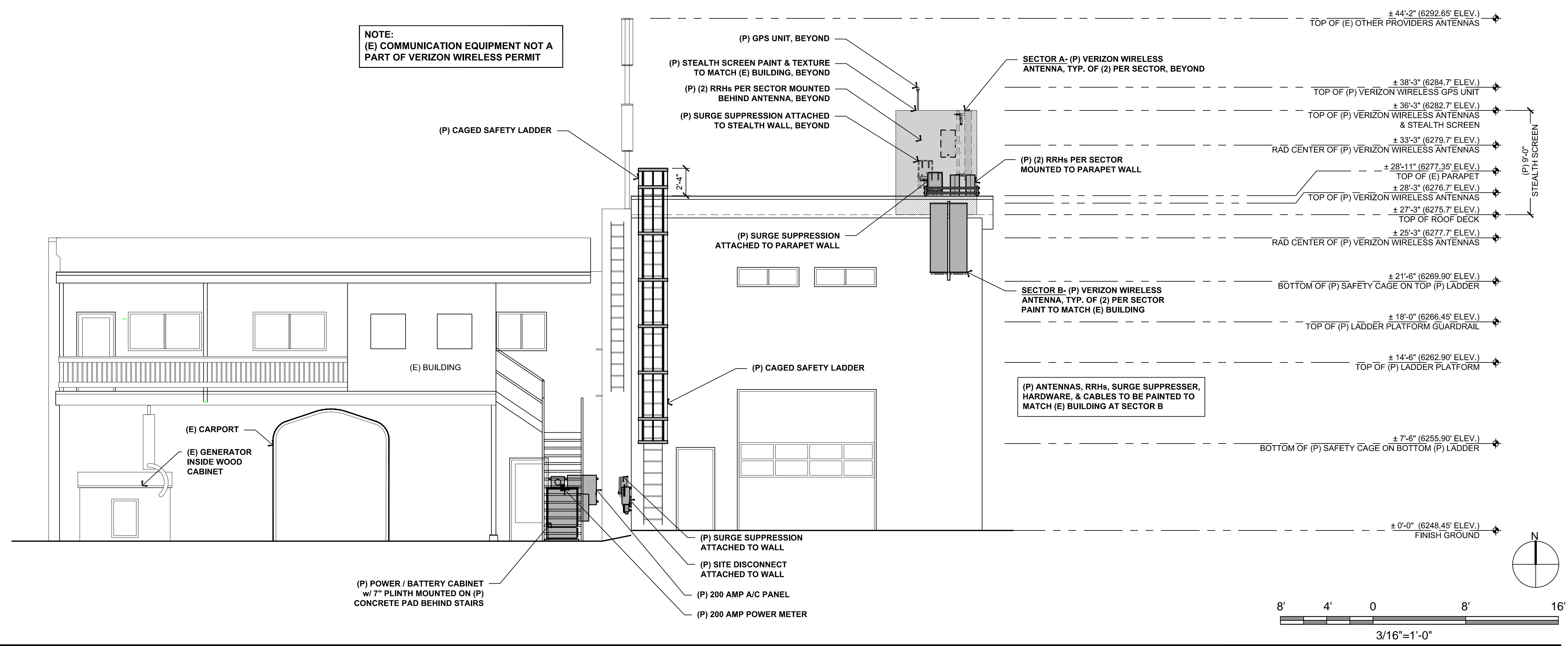
Issued For:
 09/11/19
 100% CD SUBMITTAL

SHEET TITLE:
 ENLARGED EQUIPMENT & ANTENNA PLAN

SHEET NUMBER:
A-2



19 PROPOSED WEST ELEVATION
3/16" = 1'-0"



17 PROPOSED EAST ELEVATION
3/16" = 1'-0"

PREPARED FOR
verizon
295 Parkshore Drive
Folsom, California 95630

Vendor:
EPIC
WIRELESS GROUP LLC
Connecting a Wireless World
605 Coolidge Dr. Suite 100
Folsom, CA. 95630

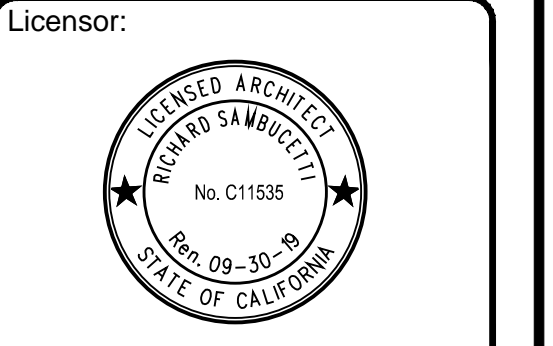
Project Address:
288 NORTSHORE BLVD.
KINGS BEACH, CA 96143

Architect:
Borges
ARCHITECTURAL GROUP
borgesarch.com
1478 STONE POINT DRIVE, SUITE 350
ROSEVILLE CA 95661
916 782 7200 TEL
916 773 3037 FAX

PROJECT NO: 18501-60
LOCATION NO: 466797
DRAWN BY: A.P.E.
CHECKED BY: J.E.S.

NT CENTER SC

REV	DATE	DESCRIPTION
4	09/11/19	100% CD Rev 2
3	08/12/19	100% CD Rev 1
2	07/01/19	100% CD Submittal
1	06/14/19	90% CD Rev 1
0	04/22/19	90% CD Submittal



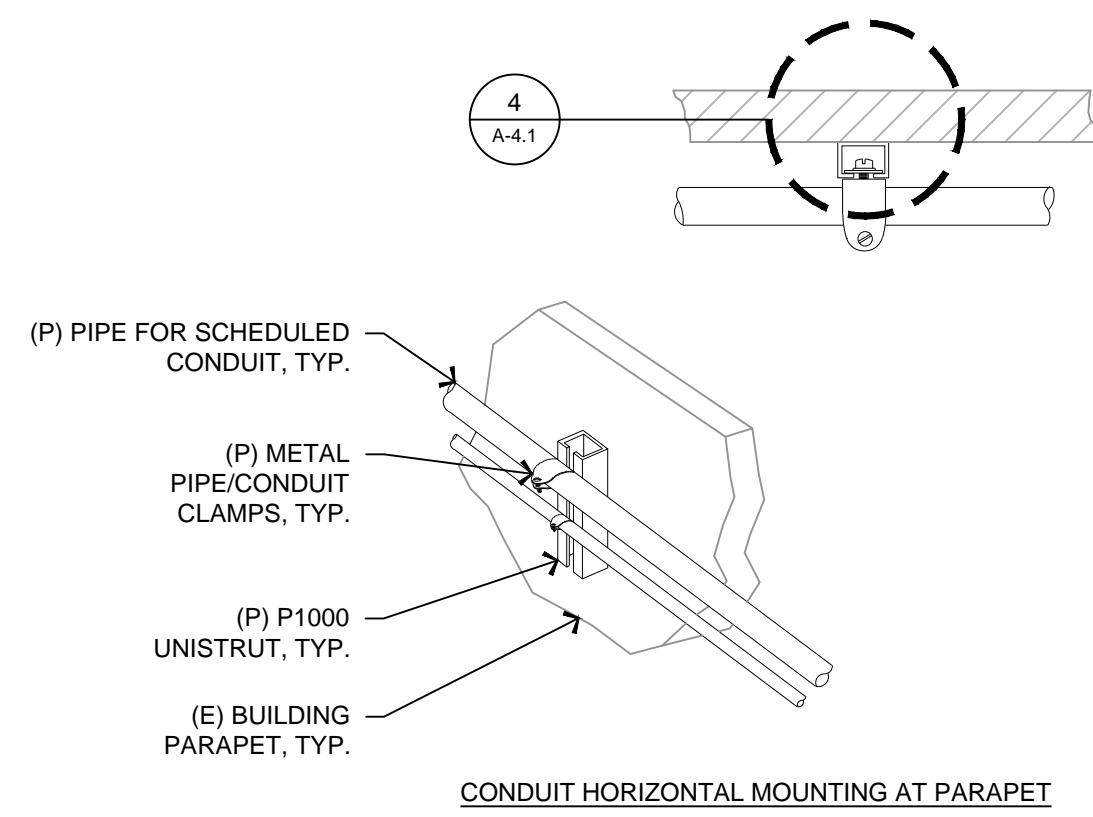
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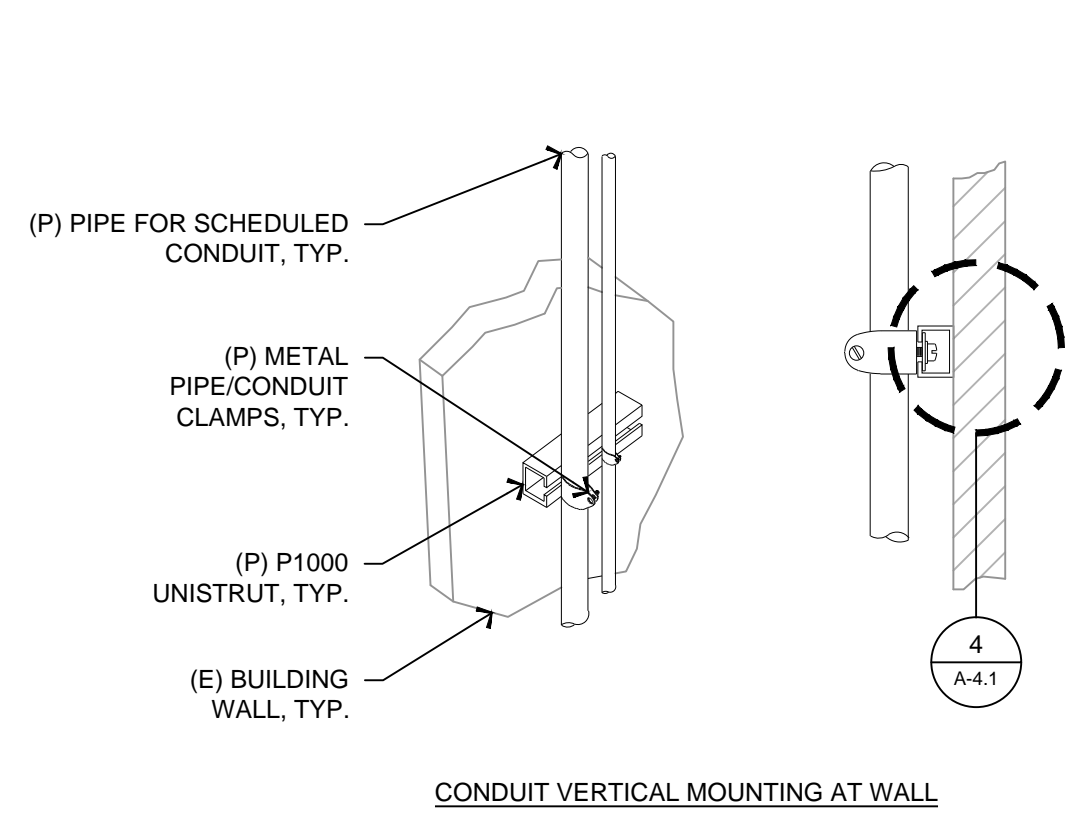
SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A-3

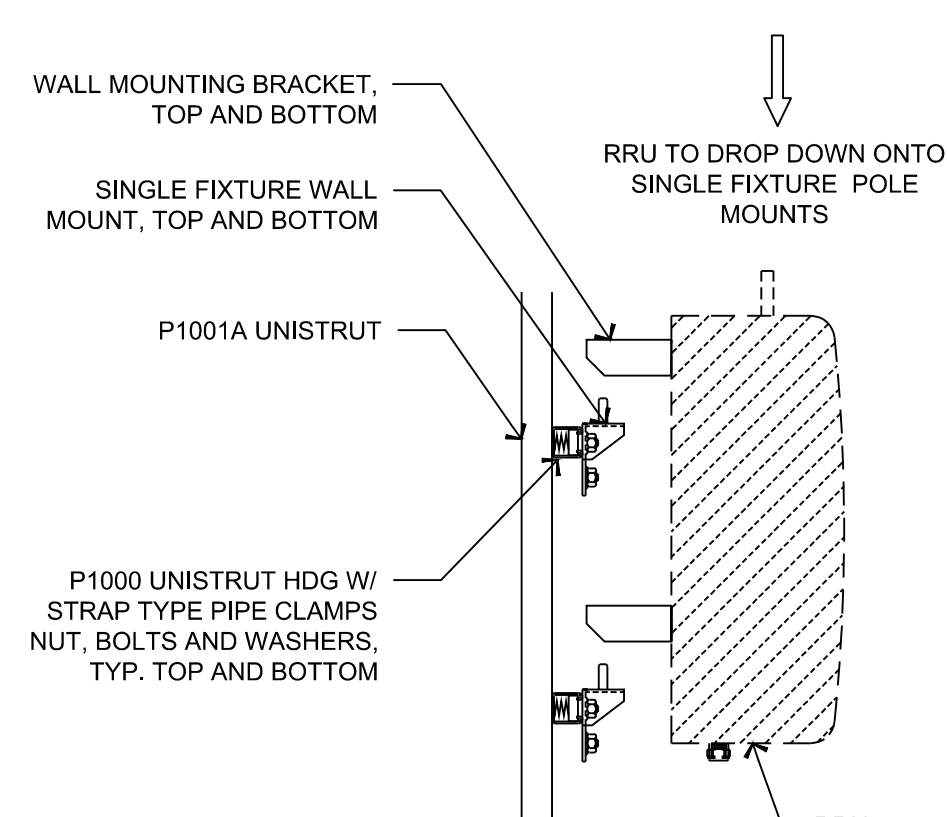
Plot Date: 09/11/2019 10:27:34 AM File Name: 17091119 - 18501 - NT Center SC - 18501-60-NT Center SC - 18501-60-NT Center SC.dwg Plotter: E2DPlotter333 Elevation.dwg Plotted By: Anthony Eder



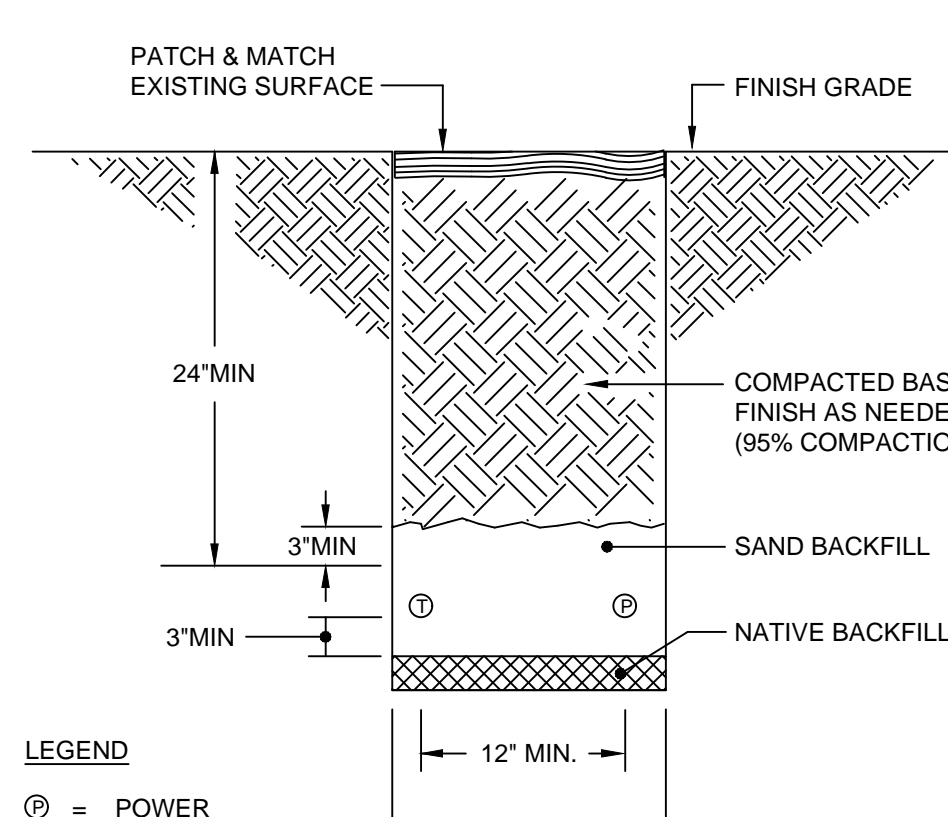
CONDUIT HORIZONTAL MOUNTING AT PARAPET



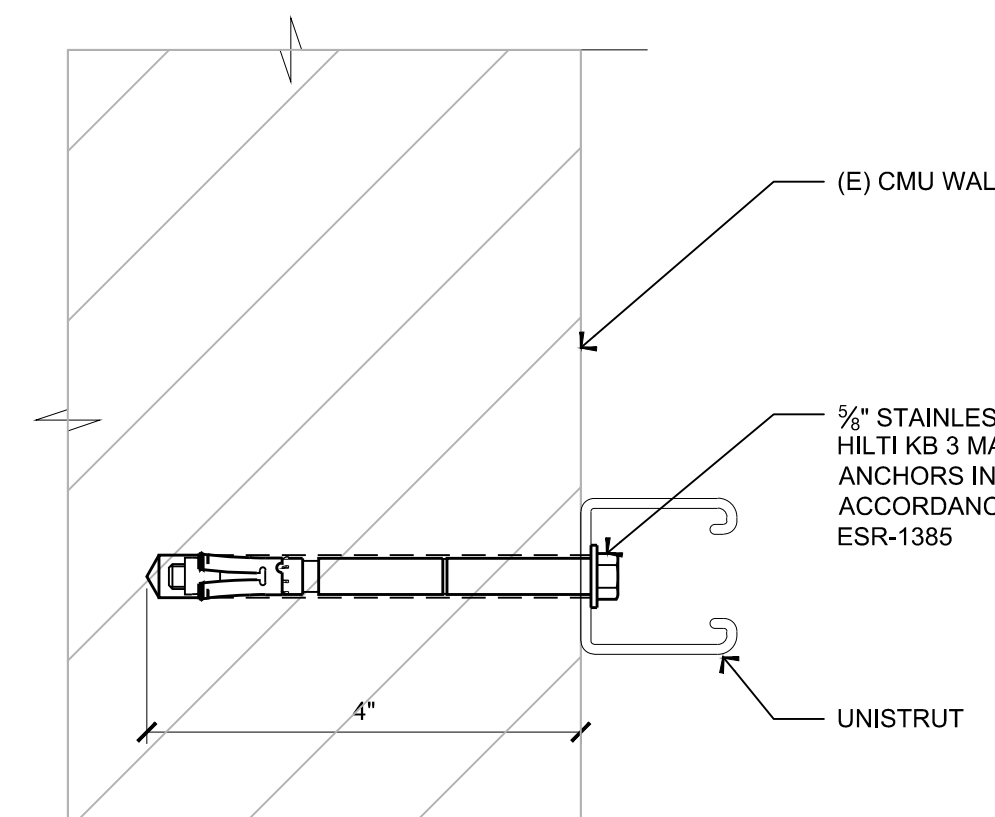
CONDUIT VERTICAL MOUNTING AT WALL



12 RRU MOUNTING DETAIL TO UNISTRUT



8 UTILITY TRENCH DETAIL

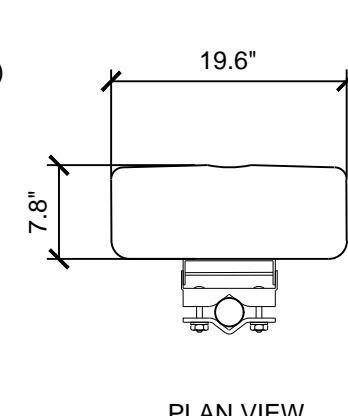


4 FASTENING @ FULL GROUT CMU WALL

20 CONDUIT MOUNTING DETAIL

N.T.S.

ANTENNA: COMMSCOPE NNH4-65B-R6
 HEIGHT: 72.0"
 WIDTH: 19.6"
 DEPTH: 7.8"
 WEIGHT: 82.0 lb (w/o MOUNTING HARDWARE)

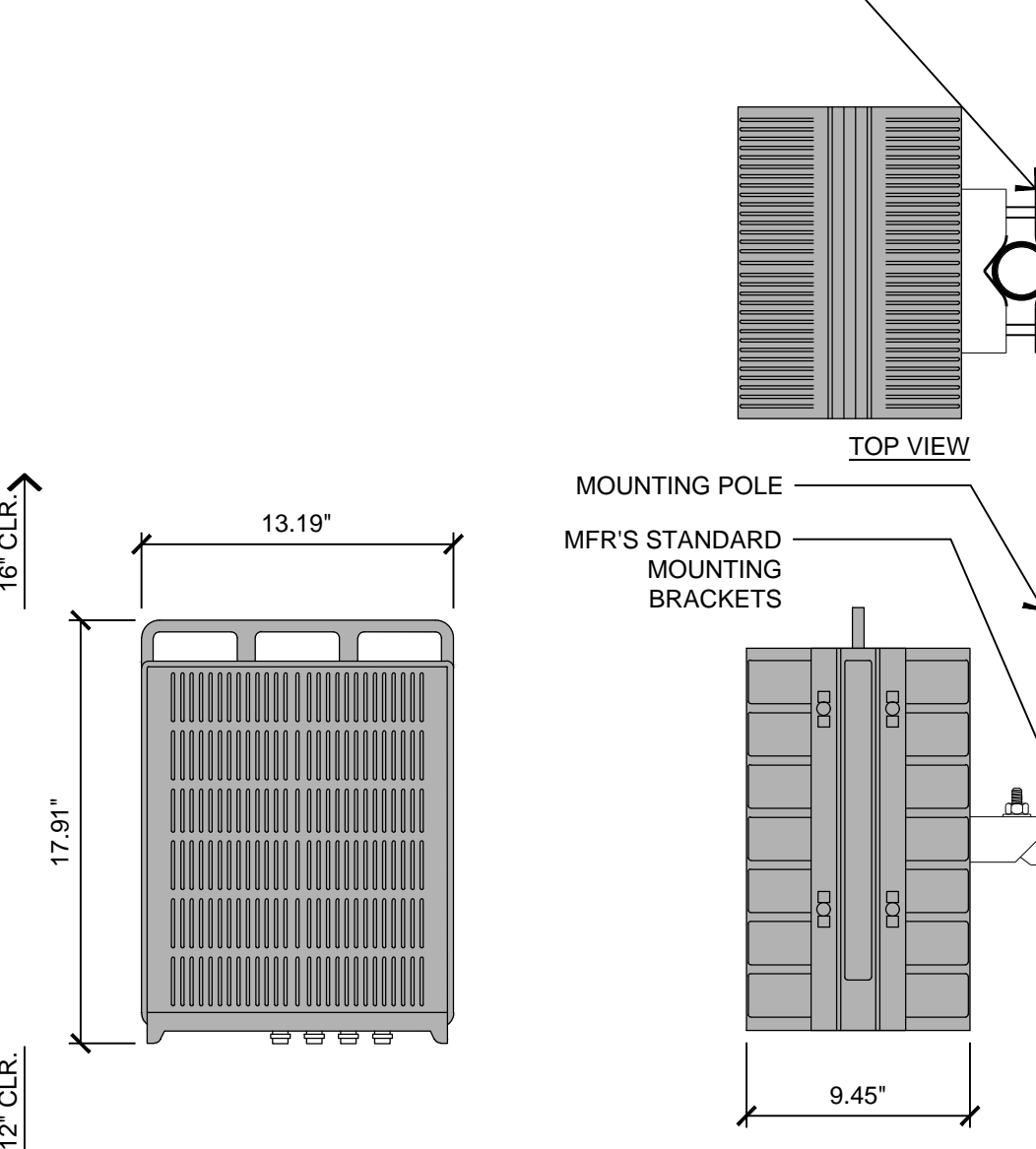


PLAN VIEW

ERICSSON RRU-4449 REMOTE RADIO UNIT

COLOR: WHITE
 DIMENSIONS: 17.91" (455mm) TALL X 13.19" (335mm) WIDE X 9.45" (240mm) DEEP
 WEIGHT: +/- 70.55 LBS. (32kg) EXCLUDING MOUNTING HARDWARE

MANUFACTURER'S STANDARD MOUNTING BRACKETS

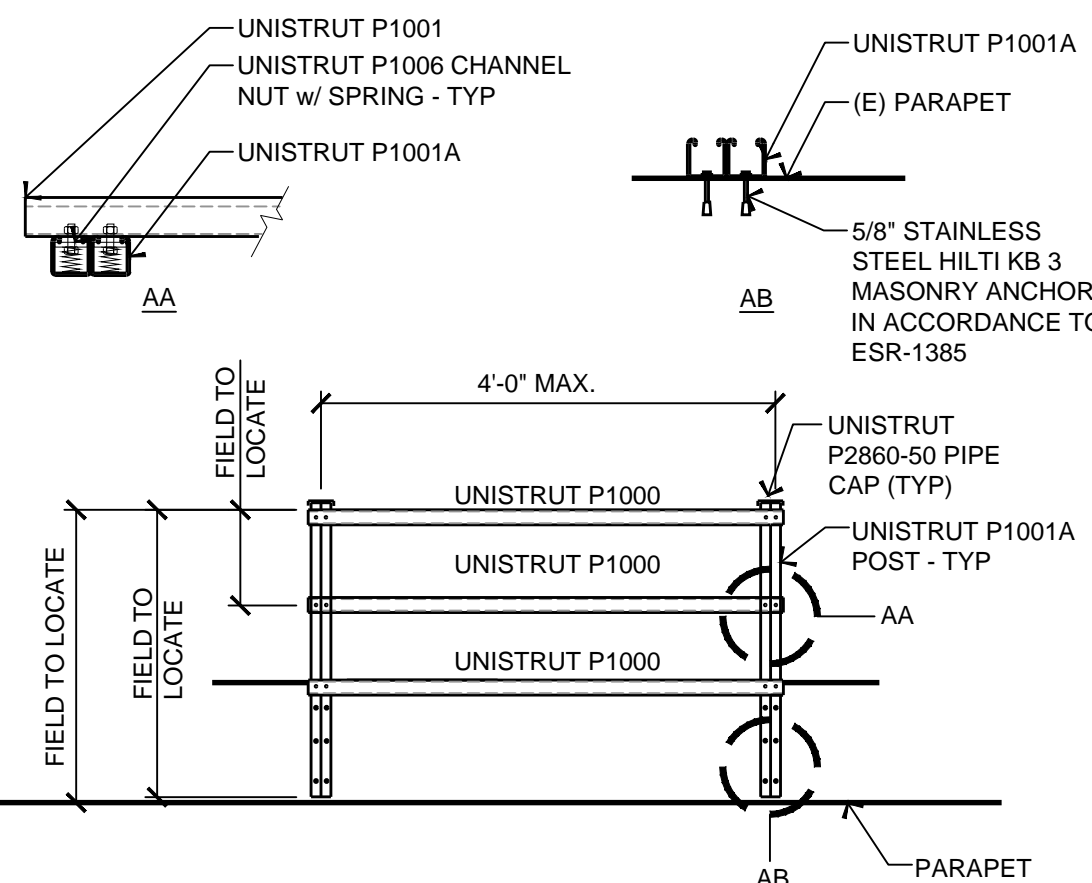


14 4449 RRUS DETAIL

1 1/2" = 1'-0"

12 RRU MOUNTING DETAIL TO UNISTRUT

3/4" = 1'-0"

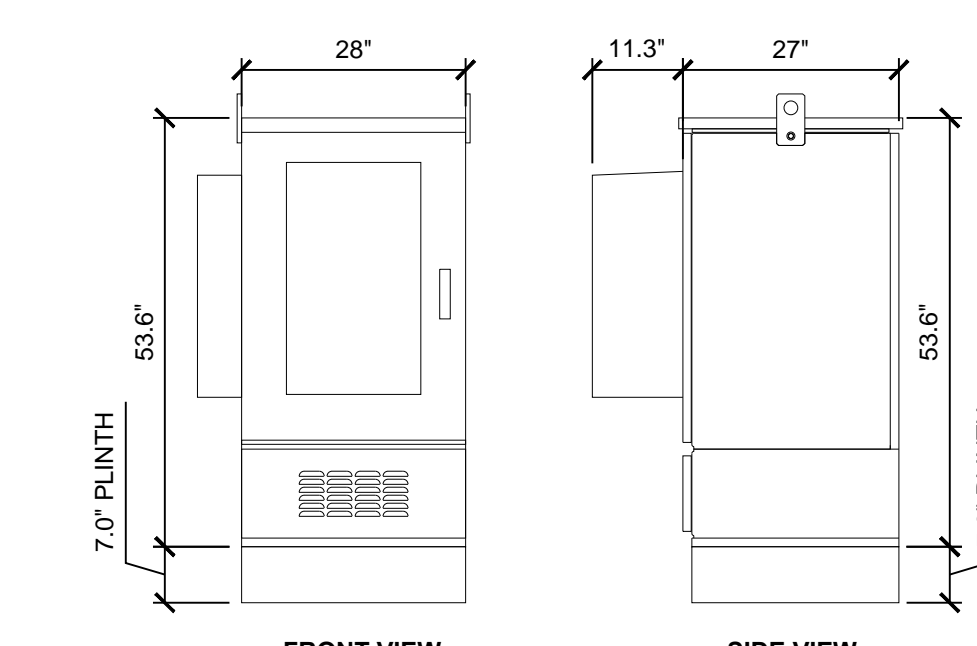
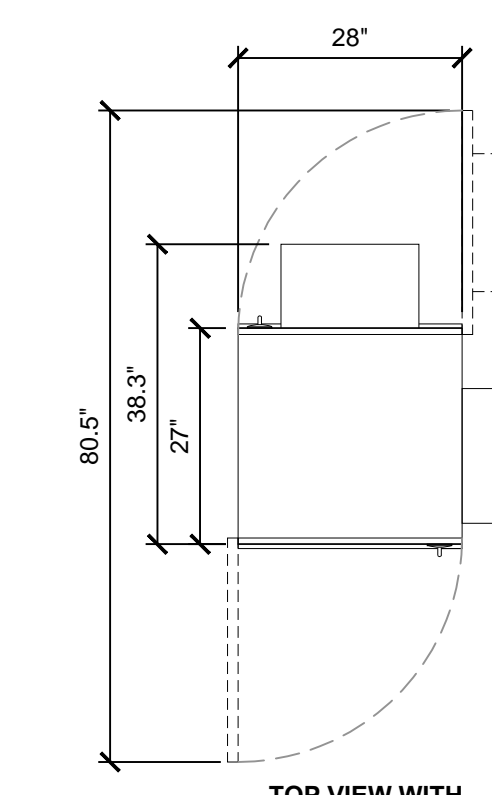


11 H-FRAME TO PARAPET

3/8" = 1'-0"

EQUIPMENT CABINET

MANUFACTURER: CHARLES
 MODEL: CUBE-PM52022JB2
 DIMENSIONS, HxWxD.in(min): 53.6"H x 28"W x 27"
 TOTAL WEIGHT: +/-310 lbs (EMPTY)



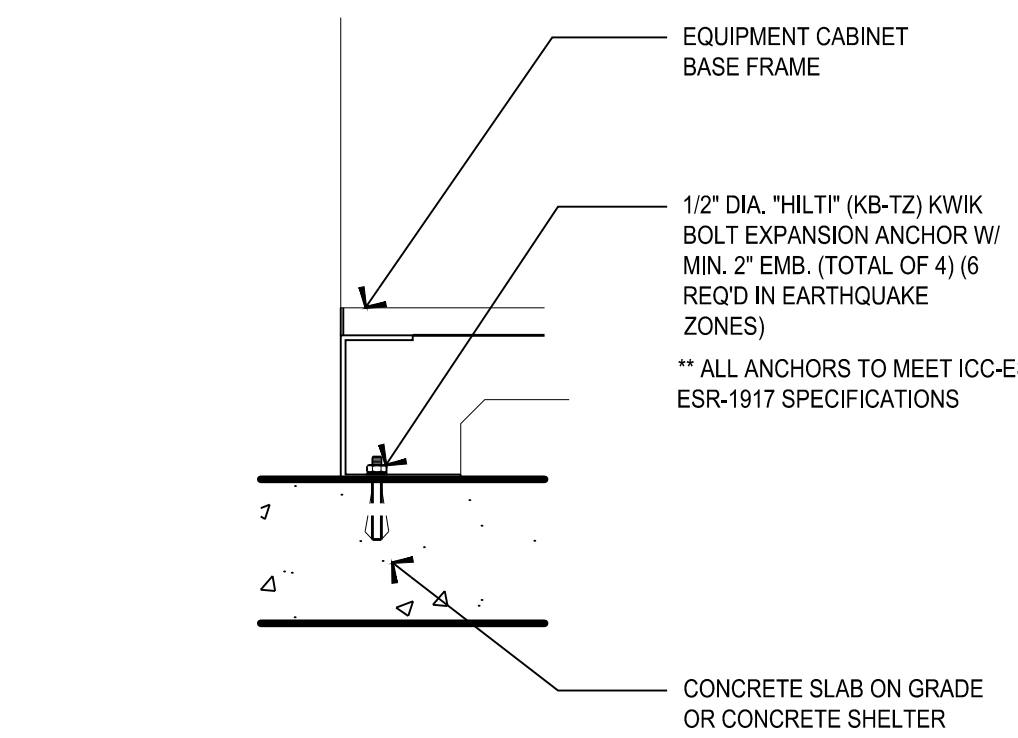
9 CHARLES CUBE PM52022JB2

1/2" = 1'-0"

8 UTILITY TRENCH DETAIL

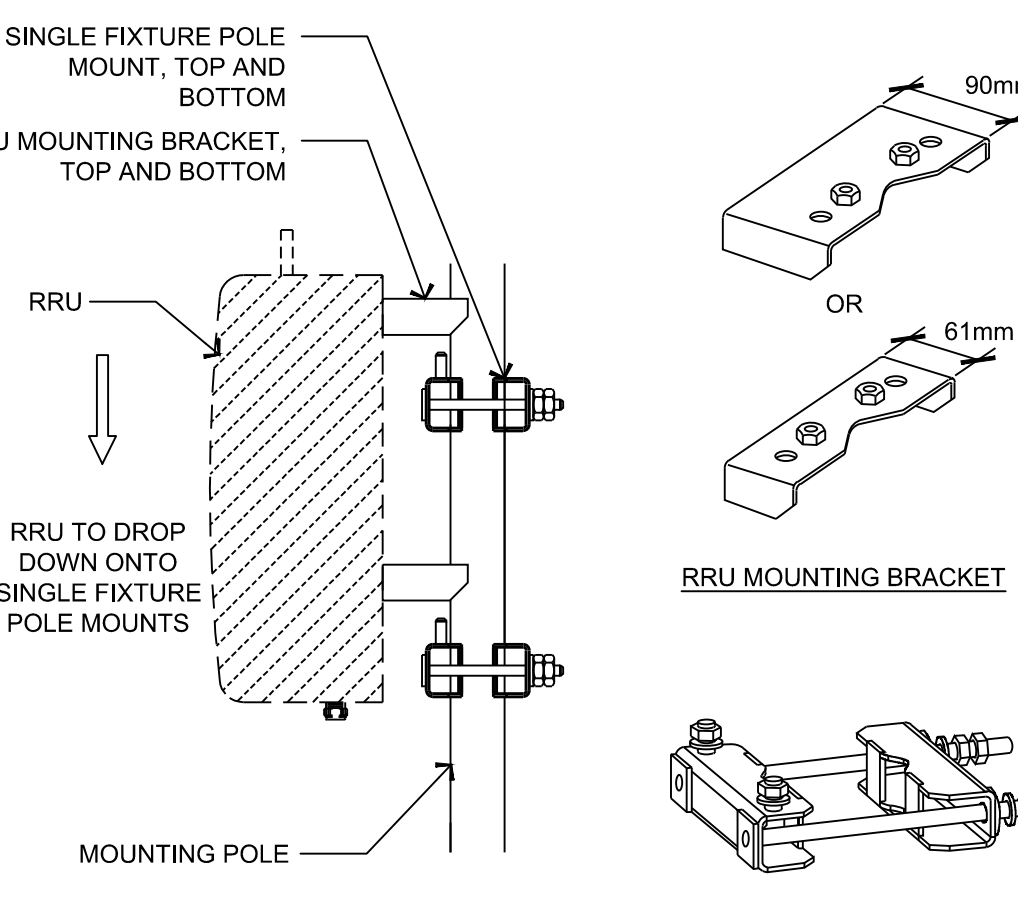
3/4" = 1'-0"

* REFER TO BOLTING PATTERN DETAIL FOR BOLT LAYOUT AND SPACING



7 EQUIPMENT ATTACHMENT TO CONCRETE SLAB

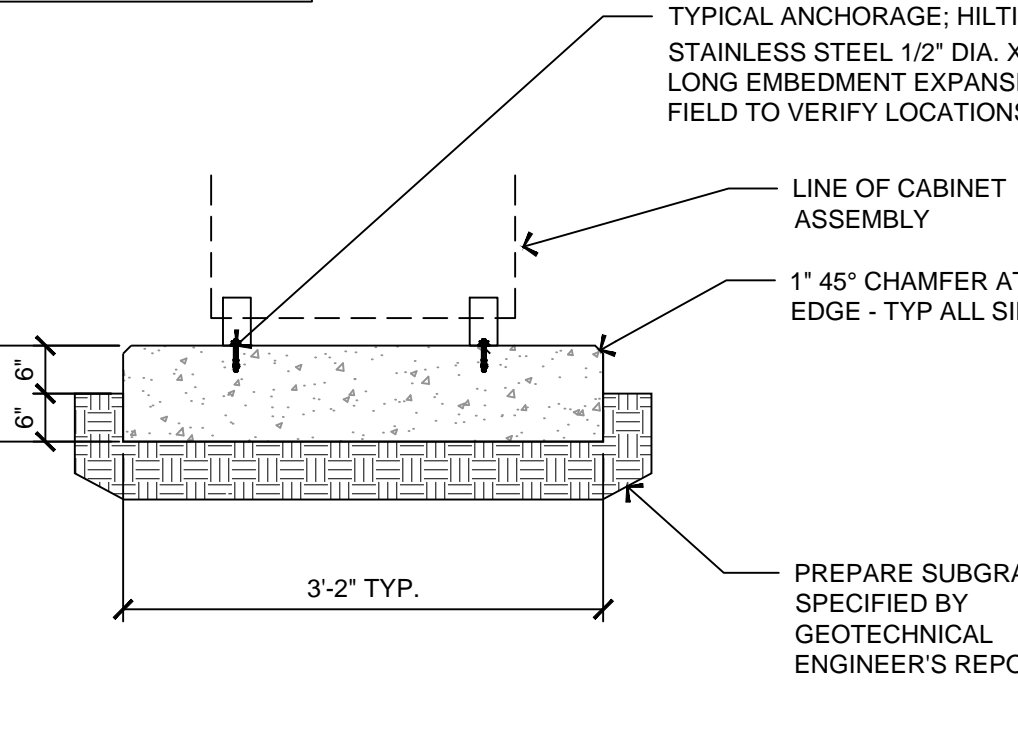
1 1/2" = 1'-0"



6 RRU MOUNTING DETAIL - POLE

3/4" = 1'-0"

NOTE: MAINTAIN MINIMUM 3" COVER AT ALL REINFORCING STEEL



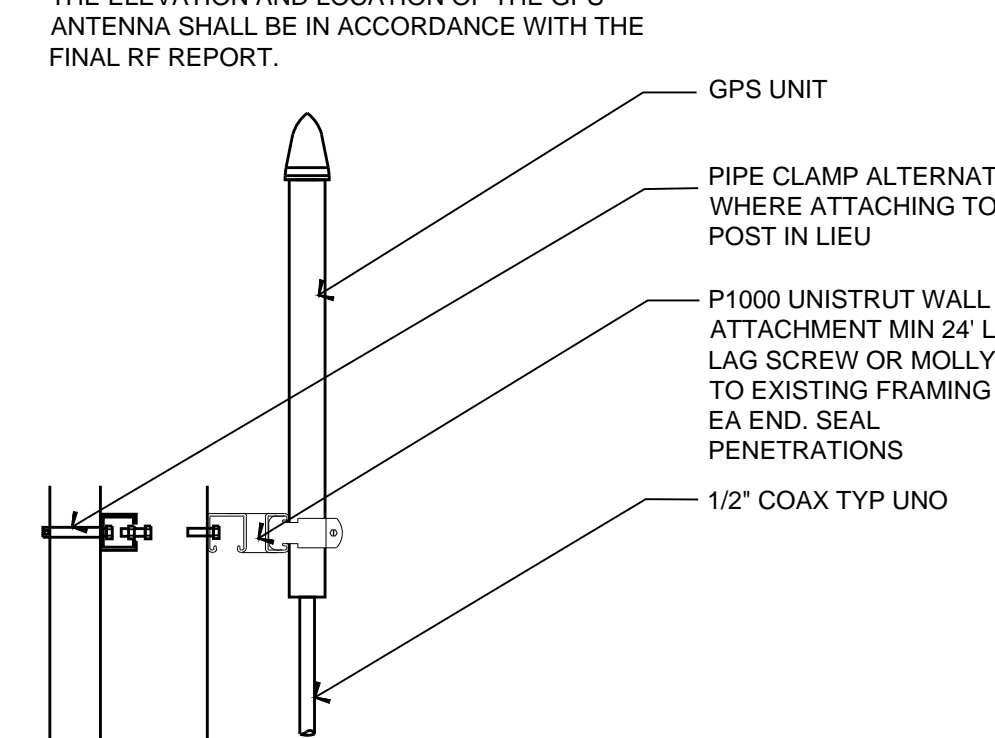
5 CABINET CONCRETE PAD

N.T.S.

4 FASTENING @ FULL GROUT CMU WALL

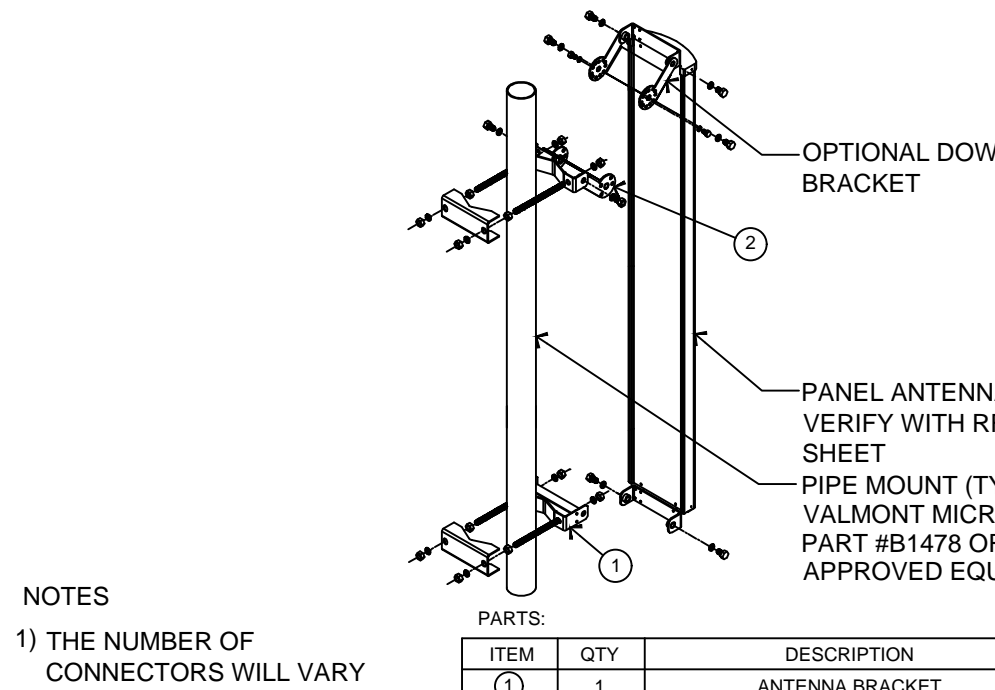
3/4" = 1'-0"

NOTES:
 THE ELEVATION AND LOCATION OF THE GPS ANTENNA SHALL BE IN ACCORDANCE WITH THE FINAL RF REPORT.



3 GPS MOUNT DETAIL

3/4" = 1'-0"



CONTRACTOR TO VERIFY EXACT PARTS LIST AND ANTENNA INSTALLATION WITH MANUFACTURERS SPECIFICATIONS AND CONSTRUCTION MANAGER

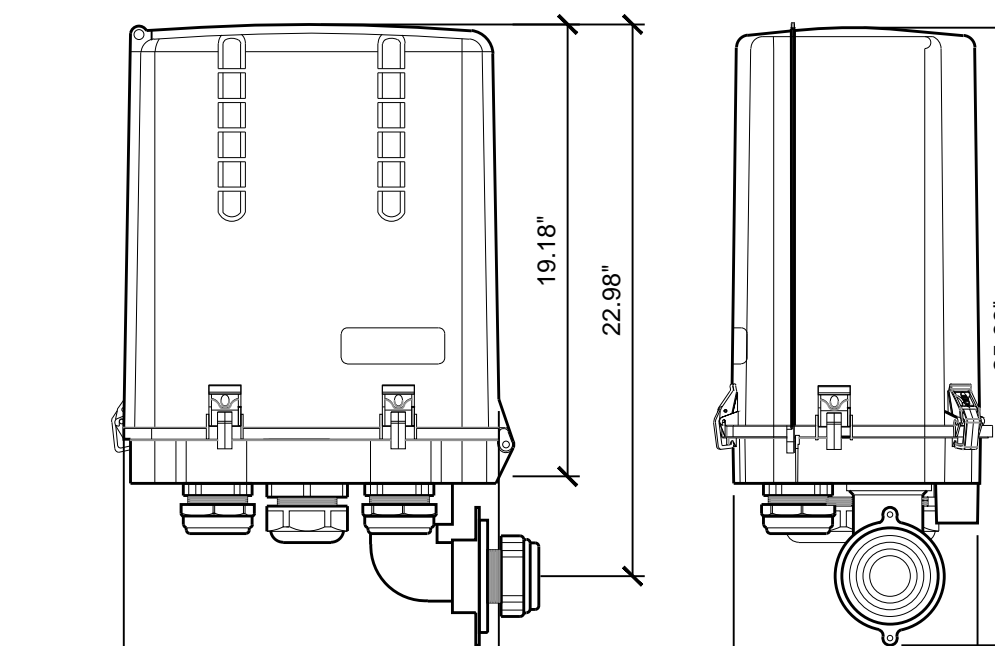
ITEM	QTY	DESCRIPTION
1	1	ANTENNA BRACKET
2	1	DOWNTILT ANTENNA - REFER TO RF DATA SHEETS

2 ANTENNA MOUNT DETAIL

3/4" = 1'-0"

RAYCAP RCMD-3315PF-48 SURGE SUPPRESSION SOLUTION

COLOR: LIGHT GRAY
 DIMENSIONS: 15.73" WIDE X 25.66" TALL X 10.25" DEEP
 WEIGHT: +/- 26.9 LBS. (INCLUDING MOUNTING HARDWARE)



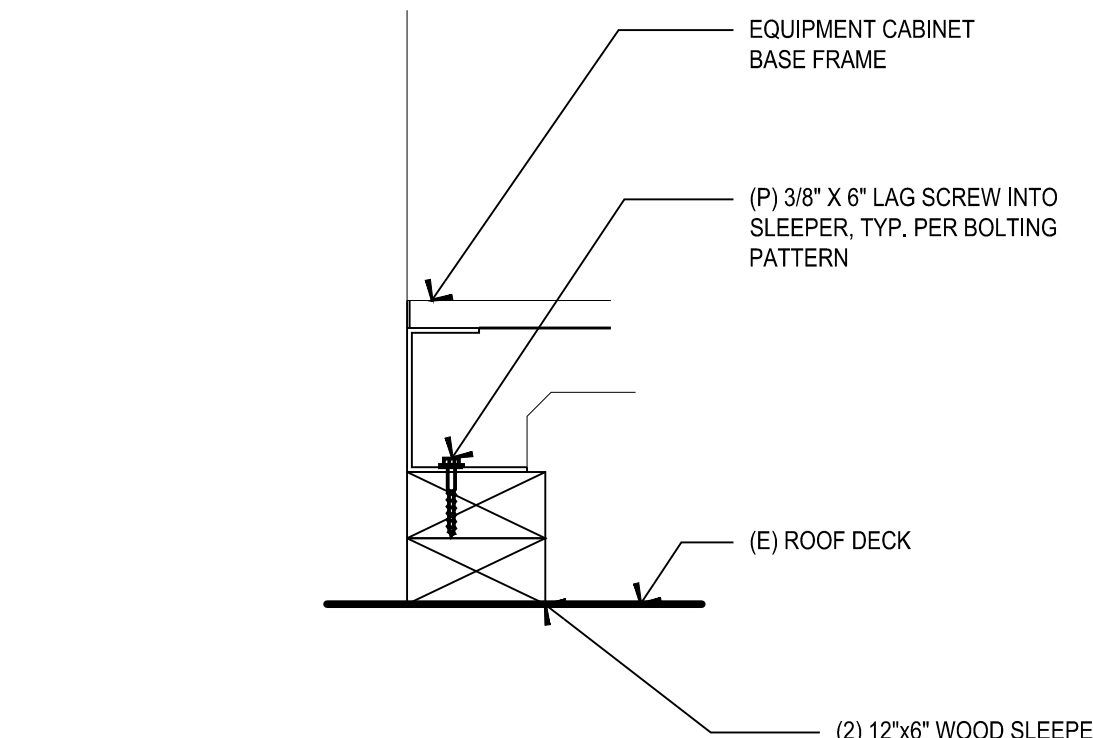
1 DC SURGE SUPPRESSION

1 1/2" = 1'-0"

18 COMMSCOPE NNH4-65B-R6

3/4" = 1'-0"

* REFER TO BOLTING PATTERN DETAIL FOR BOLT LAYOUT AND SPACING



17 EQUIPMENT ATTACHMENT TO WOOD SLEEPER

1 1/2" = 1'-0"

PREPARED FOR
verizon
 295 Parkshore Drive
 Folsom, California 95630

Vendor:
EPIC
 WIRELESS GROUP LLC
 Connecting a Wireless World
 605 Coolidge Dr. Suite 100
 Folsom, CA. 95630

Project Address:
 288 NORTHSHORE BLVD.
 KINGS BEACH, CA 96143

Architect:
Borges
 ARCHITECTURAL GROUP
 borgesarch.com
 1478 STONE POINT DRIVE, SUITE 350
 ROSEVILLE CA 95661
 916 782 7200 TEL
 916 773 3037 FAX

PROJECT NO:	18501-60
LOCATION NO:	466797
DRAWN BY:	A.P.E.
CHECKED BY:	J.E.S.

NT CENTER SC

REV	DATE	DESCRIPTION
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Licenser:

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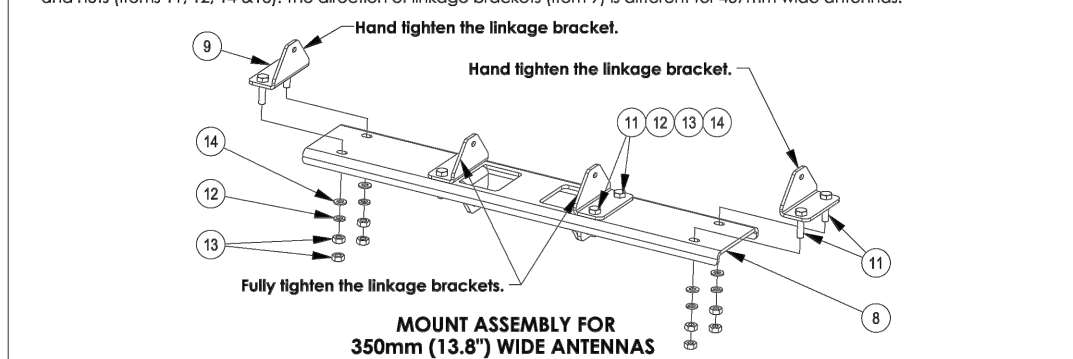
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 DETAILS

SHEET NUMBER:
A-4.1

Instruction Sheet

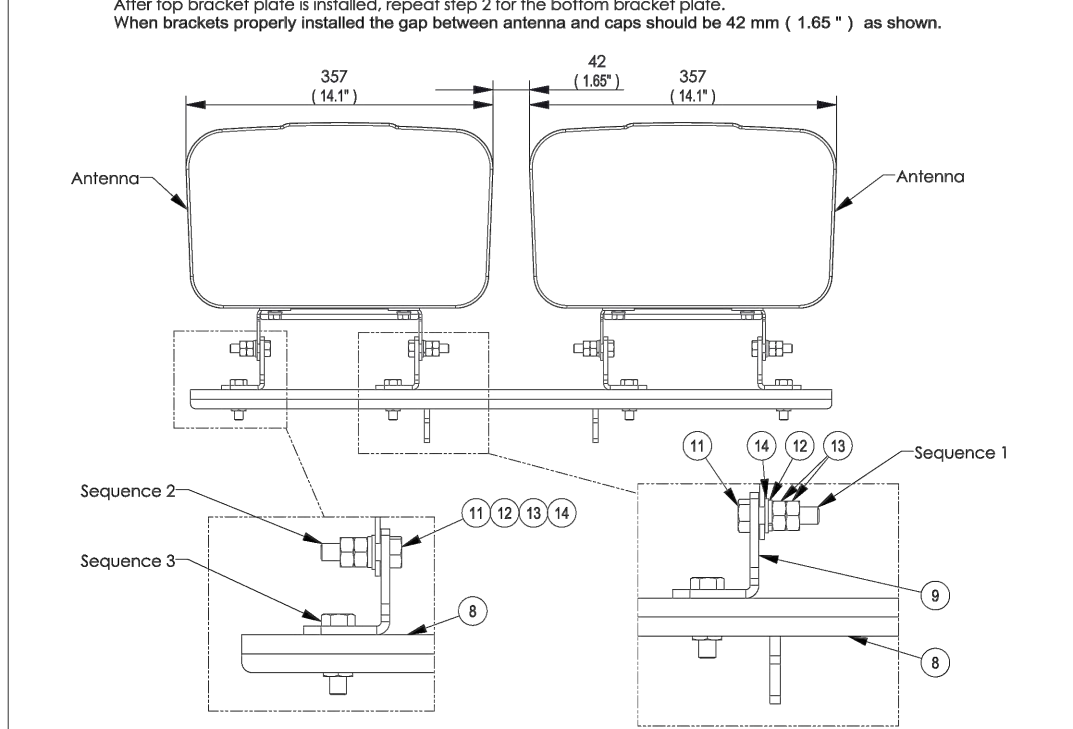
639848

(Continued from page 3)
 Note: These instructions are for 350mm (14 inch) wide antennas. For 457mm (18 inch) wide antennas, see page 4.
 Step 1 (350mm): Hand tighten the linkage bracket (Item 9) onto plate bracket (Item 8) using M10 screws, lock washers, flat washers and nuts (Items 11, 12, 14 & 13). The direction of linkage brackets (Item 9) is different for 457mm wide antenna.



MOUNT ASSEMBLY FOR 350mm (13.8") WIDE ANTENNAS

Step 2: Keep the antenna parallel.
 (1) Assemble an antenna on the middle linkage bracket (Item 7) using M10 screws, lock washers, flat washers and nuts (Items 11, 12, 14 & 13). Hand tighten these nuts (Item 13). See sequence 1.
 (2) Assemble the antenna on the side linkage bracket (Item 9) using M10 screws, lock washers, flat washers and nuts (Items 11, 12, 14 & 13). Hand tighten these nuts (Item 13). See sequence 2.
 (3) Repeat the sequences 1 & 2 to install another antenna.
 (4) Fully tighten all nuts.
 After top bracket plate is installed, repeat step 2 for the bottom bracket plate. When brackets properly installed the gap between antenna and caps should be 42mm (1.65") as shown.



BOLT DIAMETER	TORQUE
M10	37 N.m (27 ft. lbs.)

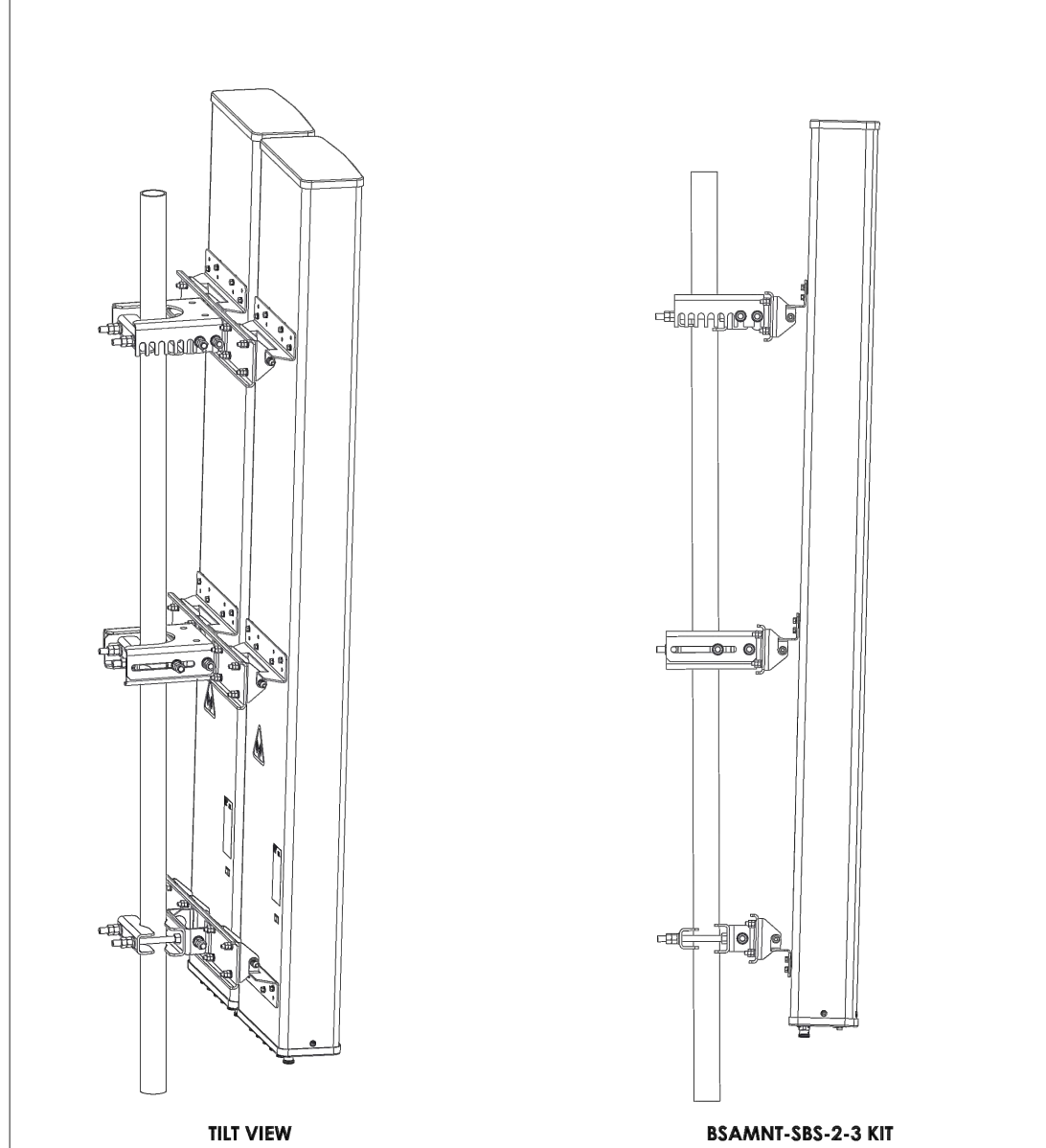
MOUNT ASSEMBLY FOR 350mm (13.8") WIDE ANTENNAS

(continued on page 4)
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Instruction Sheet

639848

(Continued from page 10)
 8. The smallest dovetail degree is 1.5°.



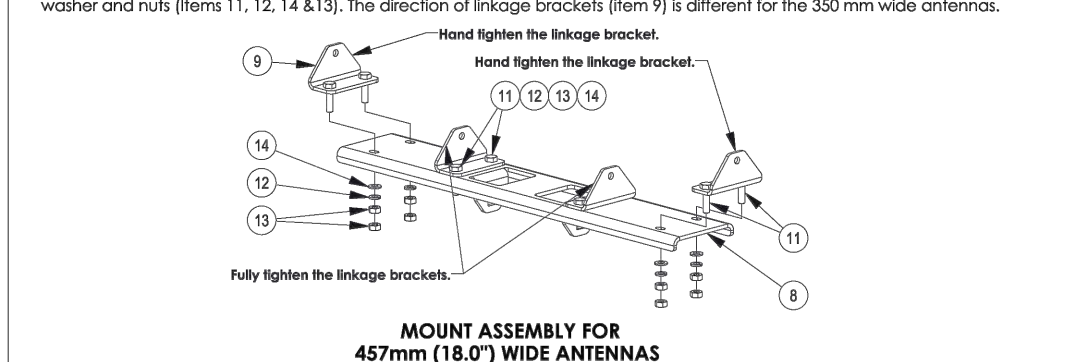
BOLT DIAMETER	TORQUE
M16	94 N.m (71 ft. lbs.)

(continued on page 12)
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Instruction Sheet

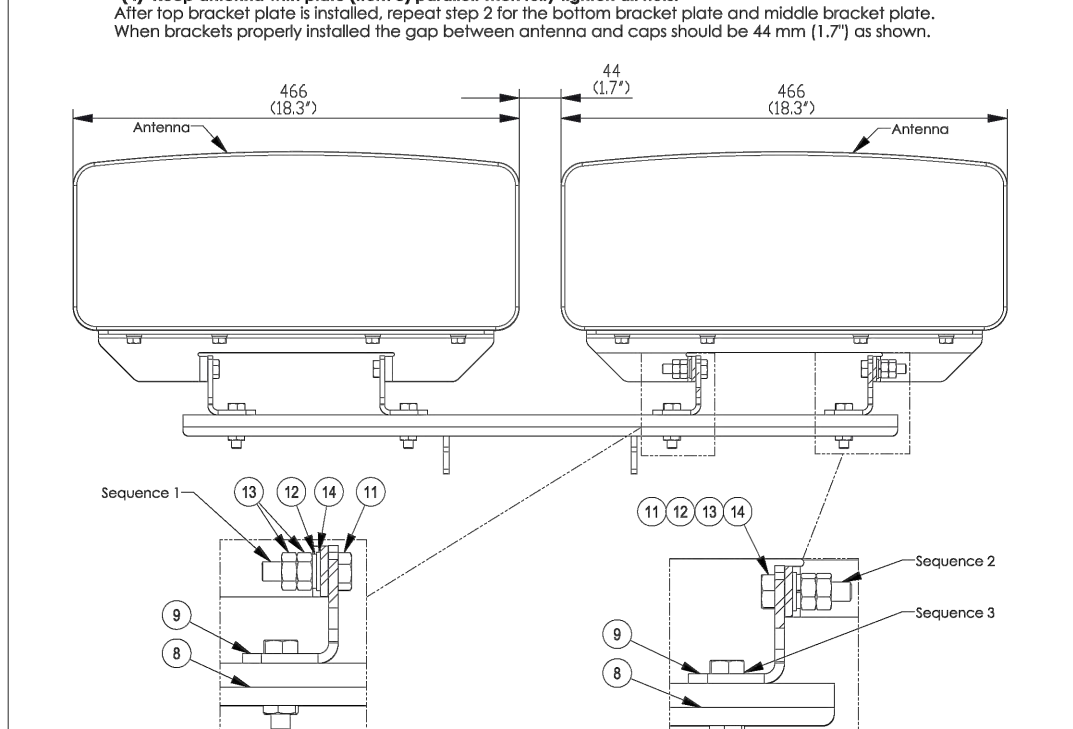
639848

(Continued from page 3)
 Note: These instructions are for 457mm (18 inch) wide antennas. For 350mm (14 inch) wide antennas, see page 3.
 Step 1 (457mm): Hand tighten the linkage bracket (Item 9) onto plate bracket (Item 8) using M10 screws, lock washers, flat washers and nuts (Items 11, 12, 14 & 13). The direction of linkage brackets (Item 9) is different for the 350mm wide antenna.



MOUNT ASSEMBLY FOR 457mm (18.0") WIDE ANTENNAS

Step 2: Keep the antenna parallel.
 (1) Assemble an antenna on the middle linkage bracket (Item 7) using M10 screws, lock washers, flat washers and nuts (Items 11, 12, 14 & 13). Hand tighten these nuts (Item 13). See sequence 1.
 (2) Assemble the antenna on the side linkage bracket (Item 9) using M10 screws, lock washers, flat washers and nuts (Items 11, 12, 14 & 13). Hand tighten these nuts (Item 13). See sequence 2.
 (3) Repeat the sequences 1 & 2 to install another antenna.
 (4) Keep antenna with plate (Item 8) parallel. Then fully tighten all nuts.
 After top bracket plate is installed, repeat step 2 for the bottom bracket plate and middle bracket plate. When brackets properly installed the gap between antenna and caps should be 44mm (1.7") as shown.



BOLT DIAMETER	TORQUE
M10	37 N.m (27 ft. lbs.)

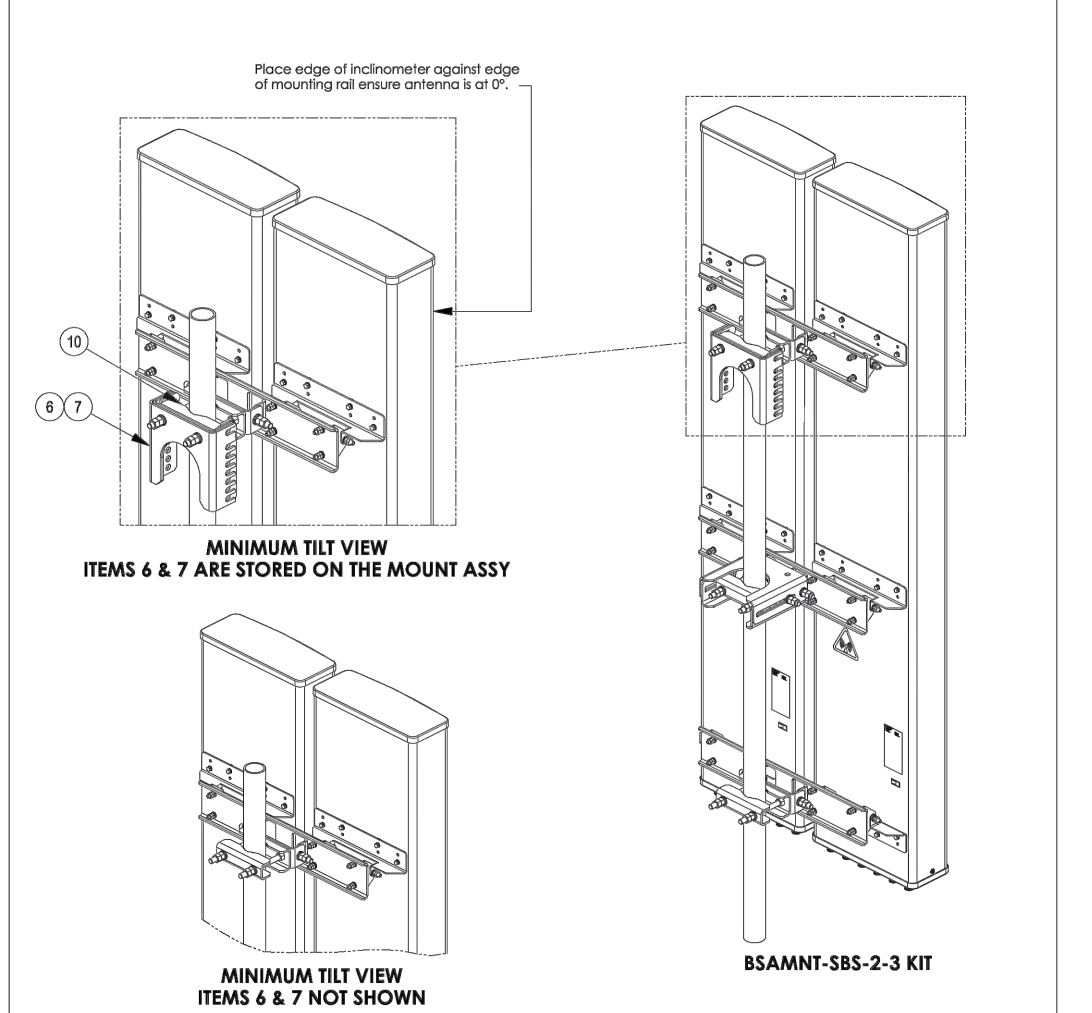
MOUNT ASSEMBLY FOR 457mm (18.0") WIDE ANTENNAS

(continued on page 5)
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Instruction Sheet

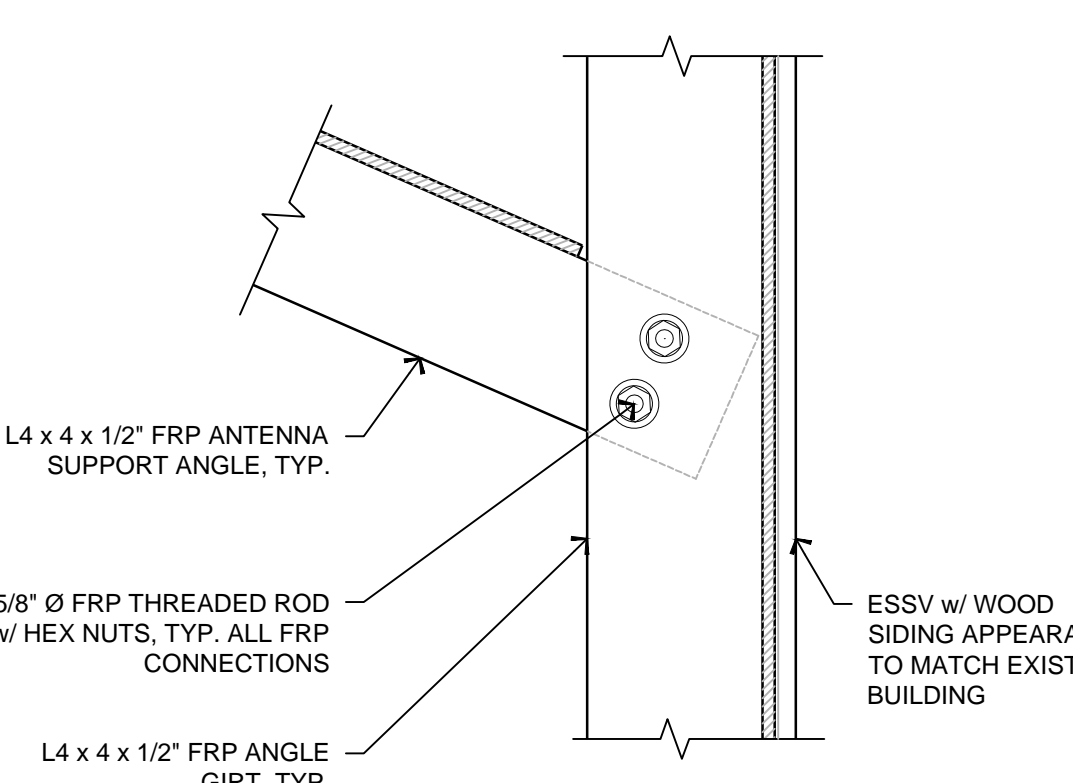
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(Continued from page 11)
 9. Items 6 & 7 are only used for adjusting the dovetail.
 For 0 deg tilt, they are not used and could be stowed on the mounting bracket (Item 10).

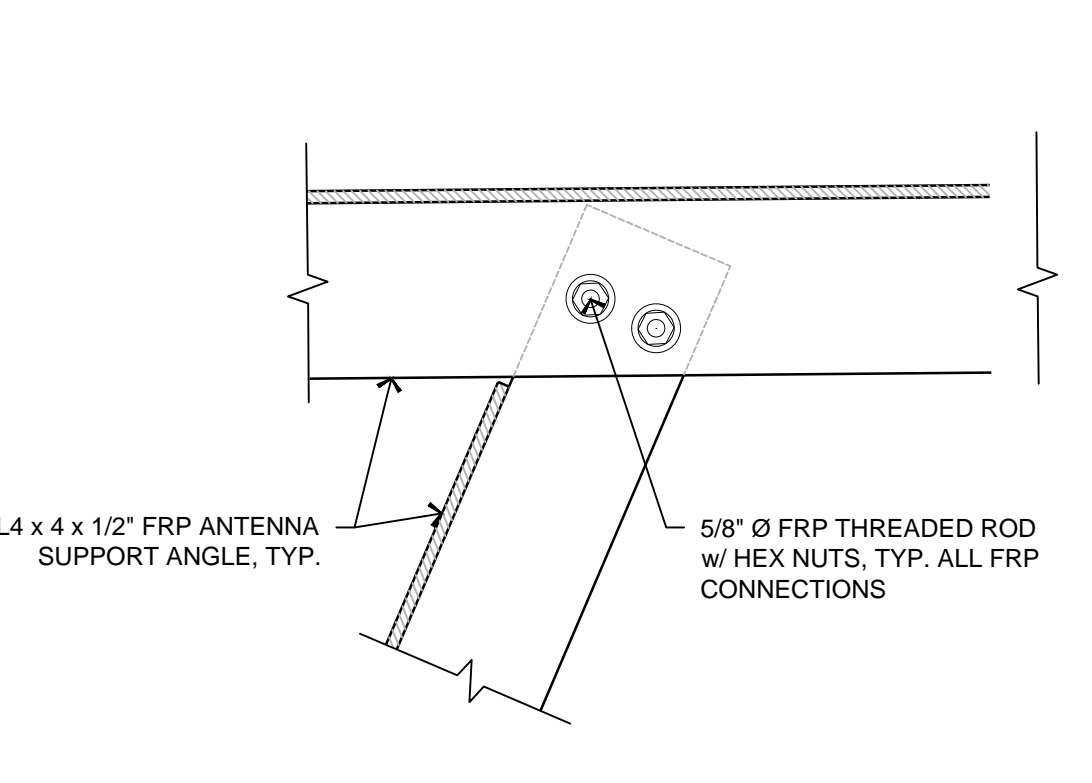


SAFETY NOTICE
 The installation, maintenance, or removal of an antenna requires qualified, experienced personnel. Commscope installation instructions are written for such installation personnel. Antenna systems should be inspected once a year by qualified personnel to verify proper installation, maintenance, and condition of equipment.
 Commscope disclaims any liability or responsibility for the results of improper or unsafe installation practices.
 It is recommended that transmit power be turned off when the field installation is performed. Follow all applicable safety precautions as shown on this page.

(continued on page 12)
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17 STEALTH CONNECTION A
 3" = 1'-0"



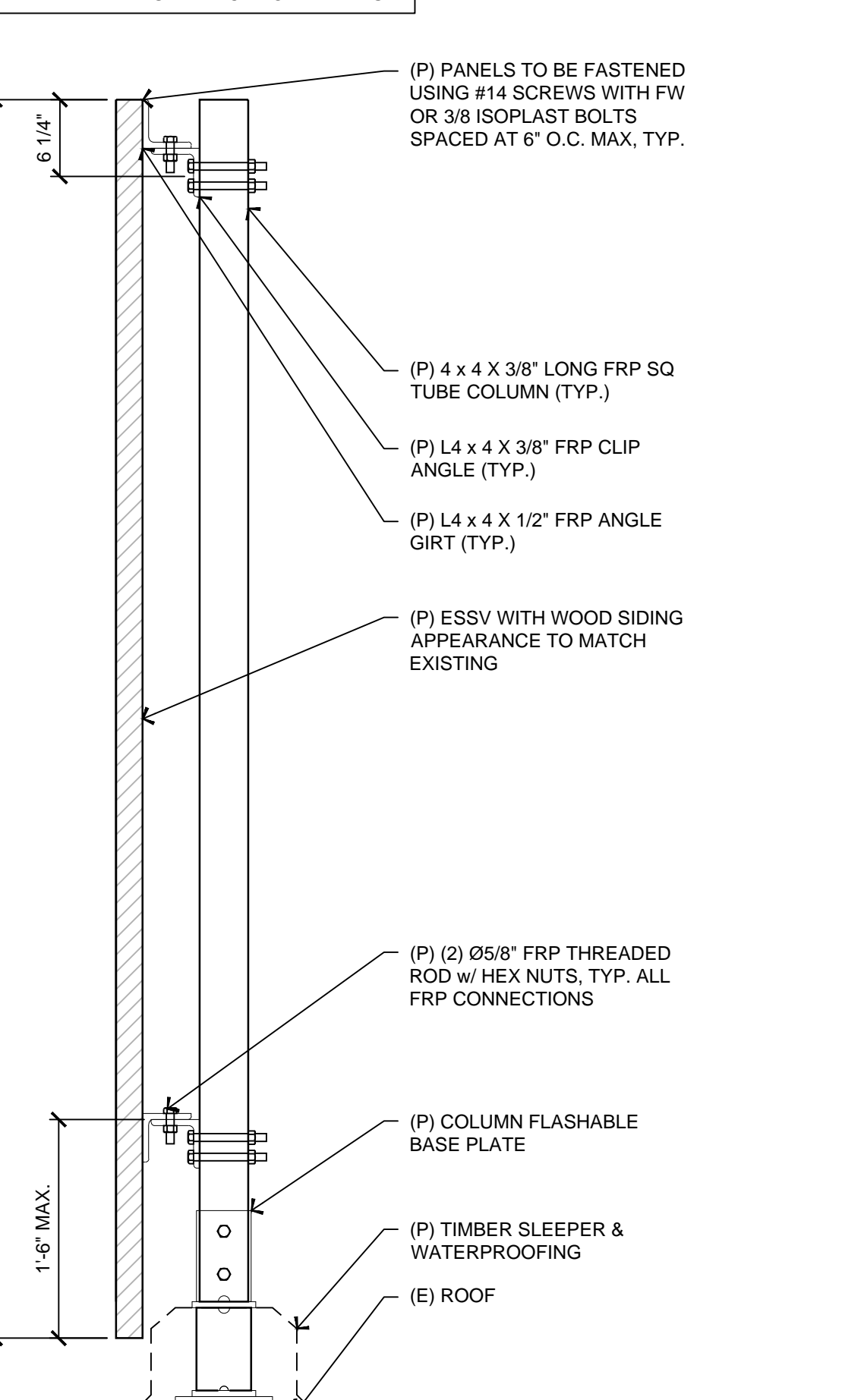
13 STEALTH CONNECTION B
 3" = 1'-0"



9 ANTENNA STEALTHING SECTION
 1" = 1'-0"

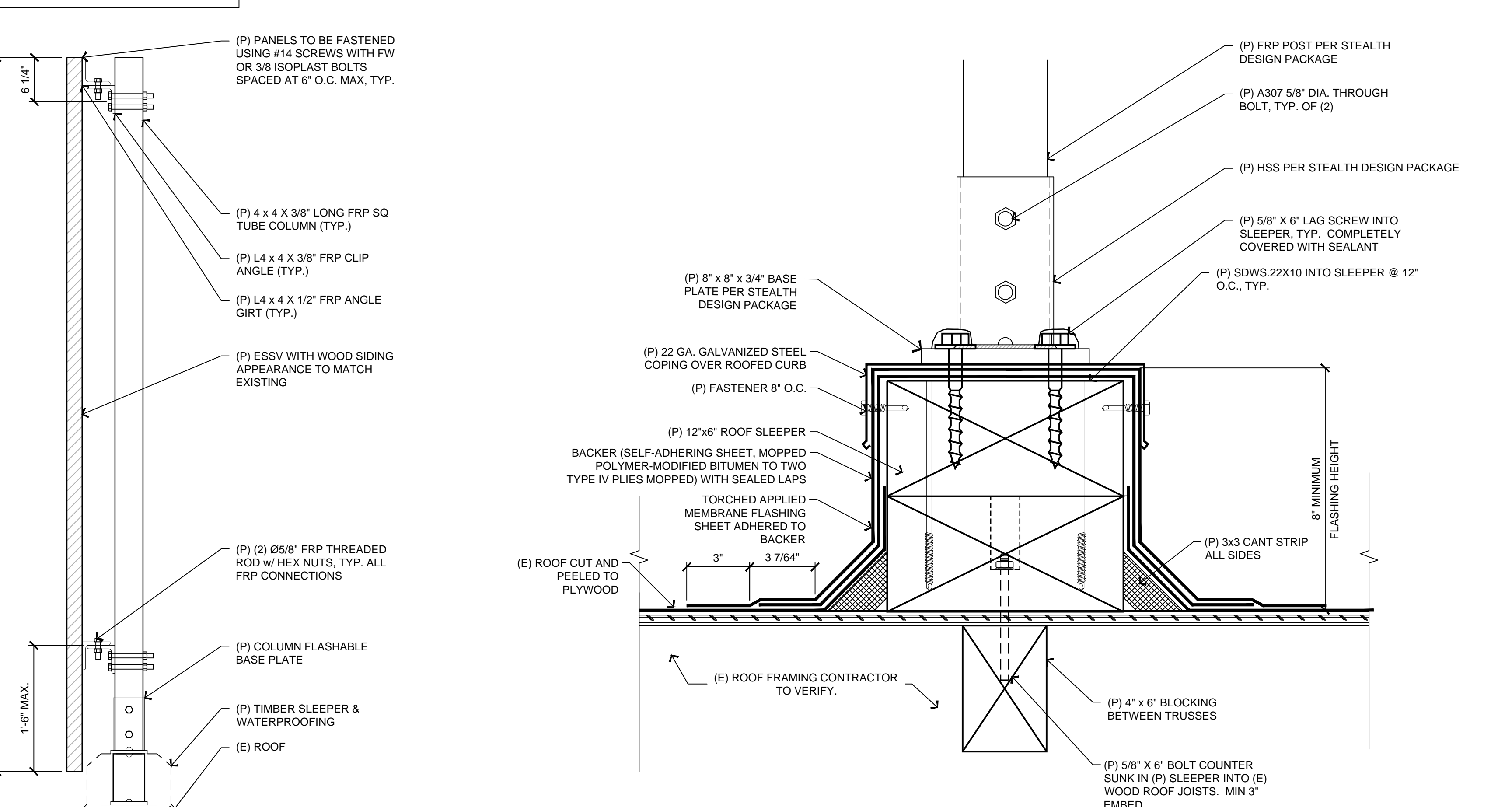
11 BASE PLATE DETAILS
 6" = 1'-0"

NOTE:
 PANEL TEXTURE NOT VISIBLE. FINAL APPEARANCE AND OVERALL CONCEALMENT WIDTH PENDING FABRICATION DETAILS.



9 ANTENNA STEALTHING SECTION
 1" = 1'-0"

5 BASE FLASHING AT EQUIPMENT SUPPORT CURB FOR BUILT UP ROOF
 3" = 1'-0"



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PROJECT NO:	18501-60
LOCATION NO:	466797
DRAWN BY:	A.P.E.
CHECKED BY:	J.E.S.

NT CENTER SC

REV	DATE	DESCRIPTION
4	09/11/19	100% CD Rev 2
3	08/12/19	100% CD Rev 1
2	07/01/19	100% CD Submittal
1	06/14/19	90% CD Rev 1
0	04/22/19	90% CD Submittal

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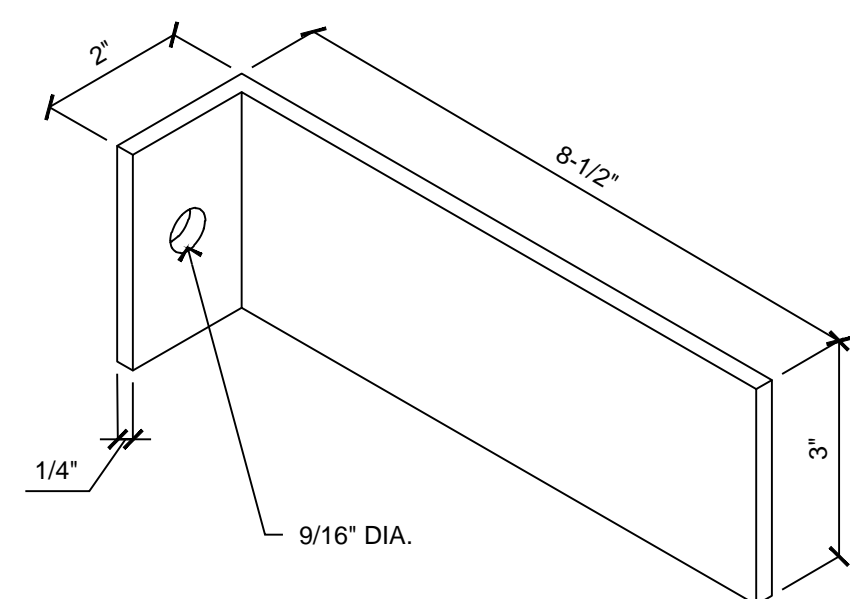
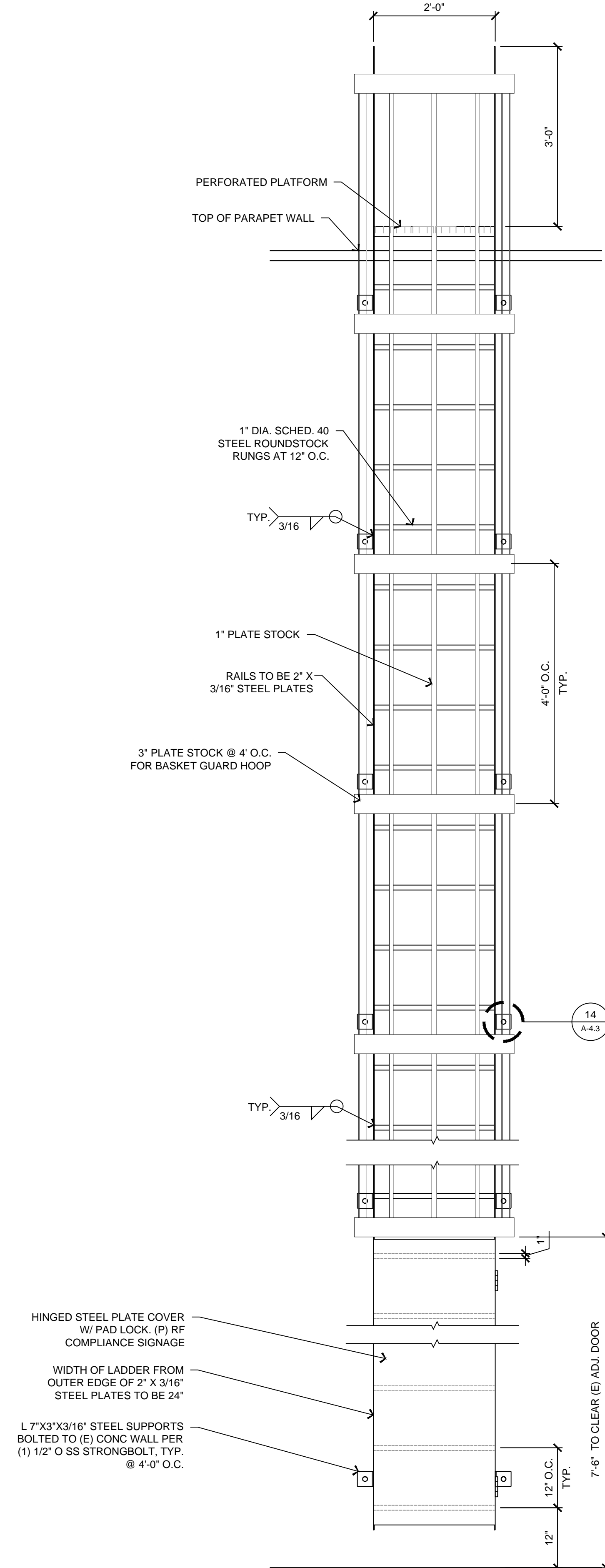
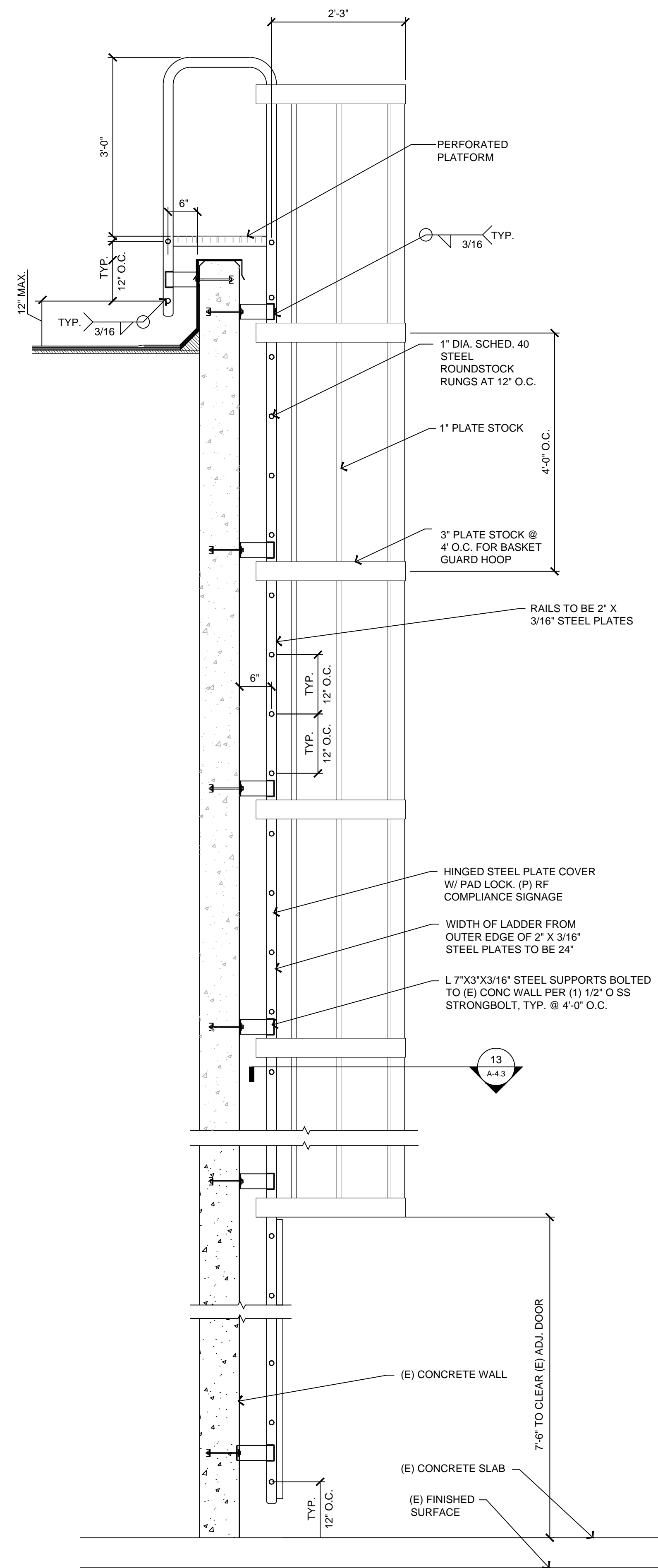
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SHEET TITLE:
EQUIPMENT & CONSTRUCTION DETAILS

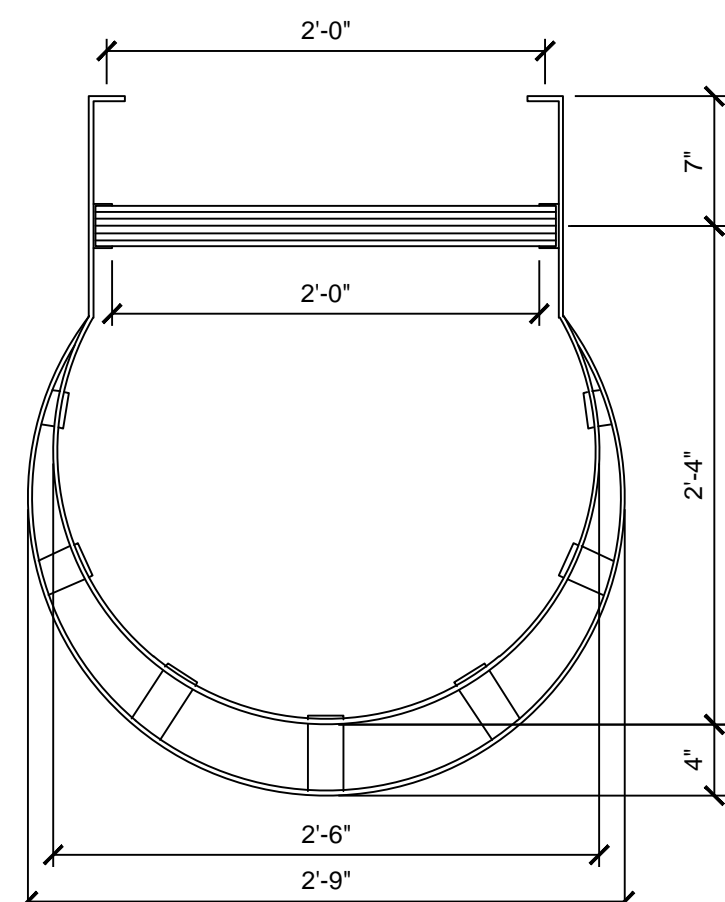
SHEET NUMBER:
A-4.2

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P:\Drawings\15019\15019-10-28-22.dwg File Name: 2018111801 - Epic Wireless, L2V1_Serial CallT11801100_NT_Center_SC_A43.dwg Project: 288 Northshore Blvd. Kings Beach, CA 96143 Access Ladder Details.dwg Plotted By: Anthony Elmer



14 ACCESS LADDER BRACKET
N.T.S.



13 ACCESS LADDER SECTION
N.T.S.

9 ACCESS LADDER DETAILS
3/4" = 1'-0"

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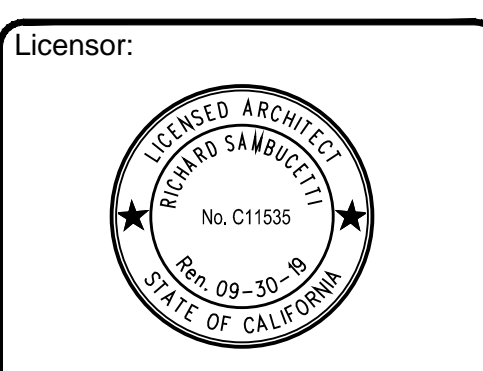
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SHEET TITLE:
ACCESS LADDER
DETAILS

SHEET NUMBER:
A-4.3

ELECTRICAL NOTES

GENERAL REQUIREMENTS

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRICAL CODE AND ALL STATE AND LOCAL CODES. NOTHING IN THESE PLANS OR SPECIFICATIONS SHALL BE CONSTRUED AS TO PERMIT WORK NOT CONFORMING TO THE MOST STRINGENT OF THESE CODES. SHOULD CHANGES BE NECESSARY IN THE DRAWINGS OR SPECIFICATIONS TO MAKE THE WORK COMPLY WITH THESE REQUIREMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND CEASE WORK ON PARTS OF THE CONTRACT WHICH ARE AFFECTED.
2. THE CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING AND CONSTRUCTION TO VERIFY ALL EXISTING CONDITIONS AND SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES. THE CONTRACTOR ASSUMES ALL LIABILITY FOR FAILURE TO COMPLY WITH THIS PROVISION.
3. THE EXTENT OF THE WORK IS INDICATED BY THE DRAWINGS, SCHEDULES, AND SPECIFICATIONS AND IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CONTRACT. THE WORK SHALL CONSIST OF FURNISHING ALL LABOR, EQUIPMENT, MATERIALS, AND SUPPLIES NECESSARY FOR A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM. THE WORK SHALL ALSO INCLUDE THE COMPLETION OF ALL ELECTRICAL WORK NOT MENTIONED OR SHOWN WHICH IS NECESSARY FOR SUCCESSFUL OPERATION OF ALL SYSTEMS.
4. THE CONTRACTOR SHALL PREPARE A BID FOR A COMPLETE AND OPERATIONAL SYSTEM, WHICH INCLUDES THE COST FOR MATERIAL AND LABOR.
5. WORKMANSHIP AND NEAT APPEARANCE SHALL BE AS IMPORTANT AS THE OPERATION. DEFECTIVE OR DAMAGED MATERIALS SHALL BE REPLACED OR REPAIRED PRIOR TO FINAL ACCEPTANCE IN A MANNER ACCEPTABLE TO OWNER AND ENGINEER.
6. COMPLETE THE ENTIRE INSTALLATION AS SOON AS THE PROGRESS OF THE WORK WILL PERMIT. ARRANGE ANY OUTAGE OF SERVICE WITH THE OWNER AND BUILDING MANAGER IN ADVANCE. MINIMIZE DOWNTIME ON THE BUILDING ELECTRICAL SYSTEM.
7. THE ENTIRE ELECTRICAL SYSTEM INSTALLED UNDER THIS CONTRACT SHALL BE DELIVERED IN PROPER WORKING ORDER. REPLACE, WITHOUT ADDITIONAL COST TO THE OWNER, ANY DEFECTIVE MATERIAL AND EQUIPMENT WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
8. ANY ERROR, OMISSION OR DESIGN DISCREPANCY ON THE DRWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION OR CORRECTION BEFORE CONSTRUCTION.
9. "PROVIDE" INDICATES THAT ALL ITEMS ARE TO BE FURNISHED, INSTALLED AND CONNECTED IN PLACE.
10. CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS AND PAY ALL REQUIRED FEES.

EQUIPMENT LOCATION

1. THE DRAWINGS INDICATE DIAGRAMMATICALLY THE DESIRED LOCATIONS OR ARRANGEMENTS OF CONDUIT RUNS, OUTLETS, EQUIPMENT, ETC., AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. PROPER JUDGEMENT MUST BE EXERCISED IN EXECUTING THE WORK SO AS TO SECURE THE BEST POSSIBLE INSTALLATION IN THE AVAILABLE SPACE LIMITATIONS OR INTERFERENCE OF STRUCTURE CONDITIONS ENCOUNTERED.
2. IN THE EVENT CHANGES IN THE INDICATED LOCATIONS OR ARRANGEMENTS ARE NECESSARY, DUE TO FIELD CONDITIONS IN THE BUILDING CONSTRUCTION OR REARRANGEMENT OF FURNISHINGS OR EQUIPMENT, SUCH CHANGES SHALL BE MADE WITHOUT COST, PROVIDING THE CHANGE IS ORDERED BEFORE THE CONDUIT RUNS, ETC., AND WORK DIRECTLY CONNECTED TO THE SAME IS INSTALLED AND NO EXTRA MATERIALS ARE REQUIRED.
3. LIGHTING FIXTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ONLY. COORDINATE THE FIXTURE LOCATION WITH MECHANICAL EQUIPMENT TO AVOID INTERFERENCE.
4. COORDINATE THE WORK OF THIS SECTION WITH THAT OF ALL OTHER TRADES, WHERE CONFLICTS OCCUR. CONSULT WITH THE RESPECTIVE CONTRACTOR AND COME TO AGREEMENT AS TO CHANGES NECESSARY. OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER FOR THE PROPOSED CHANGES BEFORE PROCEEDING.

SHOP DRAWINGS

1. N/A UNLESS NOTED OTHERWISE.

SUBSTITUTIONS

1. NO SUBSTITUTIONS ARE ALLOWED

TESTS

1. BEFORE FINAL ACCEPTANCE OF WORK, THE CONTRACTOR SHALL INSURE THAT ALL EQUIPMENT, SYSTEMS, FIXTURES, ETC., ARE WORKING SATISFACTORILY AND TO THE INTENT OF THE DRAWINGS.

PERMITS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING OUT AND PAYING FOR ALL REQUIRED PERMITS, INSPECTION AND EXAMINATION WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

GROUNDING

1. THE CONTRACTOR SHALL PROVIDE A COMPLETE, AND APPROVED GROUNDING SYSTEM INCLUDING ELECTRODES, ELECTRODE CONDUCTOR, BONDING CONDUCTORS, AND EQUIPMENT CONDUCTORS AS REQUIRED BY ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
2. CONDUITS CONNECTED TO EQUIPMENT AND DEVICES SHALL BE METALICALLY JOINED TOGETHER TO PROVIDE EFFECTIVE ELECTRICAL CONTINUITY.
3. FEEDERS AND BRANCH CIRCUIT WIRING INSTALLED IN A NONMETALLIC CONDUIT SHALL INCLUDE A CODE SIZED GROUNDING CONDUCTOR HAVING GREEN INSULATION. THE GROUND CONDUCTOR SHALL BE PROPERLY CONNECTED AT BOTH ENDS TO MAINTAIN ELECTRICAL CONTINUITY.
4. REFER TO GROUND BUS DETAILS. PROVIDE NEW GROUND SYSTEM COMPLETE WITH CONDUCTORS, GROUND ROD AND DESCRIBED TERMINATIONS.
5. ALL GROUNDING CONDUCTORS SHALL BE SOLID TINNED COPPER AND ANNEALED #2 UNLESS NOTED OTHERWISE.
6. ALL NON-DIRECT BURIED TELEPHONE EQUIPMENT GROUND CONDUCTORS SHALL BE #2 STRANDED THHN (GREEN) INSULATION.
7. ALL GROUND CONNECTIONS SHALL BE MADE WITH "HYGROUND" COMPRESSION SYSTEM BURNDY CONNECTORS EXCEPT WHERE NOTED OTHERWISE.
8. PAINT AT ALL GROUND CONNECTIONS SHALL BE REMOVED.
9. GROUNDING SYSTEM RESISTANCE SHALL NOT EXCEED 5 OHMS. IF THE RESISTANCE VALUE IS EXCEEDED, NOTIFY THE OWNER FOR FUTURE INSTRUCTION ON METHODS FOR REDUCING THE RESISTANCE VALUE. SUBMIT TEST REPORTS AND FURNISH TO SMART SMR ONE COMPLETE SET OF PRINTS SHOWING "INSTALLED WORK".

UTILITY SERVICE

1. TELEPHONE AND ELECTRICAL METERING FACILITIES SHALL CONFORM TO THE REQUIREMENTS OF THE SERVING UTILITY COMPANIES. CONTRACTOR SHALL VERIFY SERVICE LOCATIONS AND REQUIREMENTS. SERVICE INFORMATION WILL BE

FURNISHED BY THE SERVING UTILITIES.

2. CONFORM TO ALL REQUIREMENTS OF THE SERVING UTILITY COMPANIES.

RO U I T S

1. ALL MATERIALS SHALL BE NEW, CONFORMING WITH NEC, ANSI, NEMA, AND THEY SHALL BE U.L. LISTED AND LABELED.
2. CONDUIT:
 - A) RIGID CONDUIT SHALL BE U.L. LABEL GALVANIZED ZINC COATED WITH ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR, RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
 - B) ELECTRICAL METALLIC TUBING SHALL U.L. LABEL. FITTINGS SHALL BE COMPRESSION TYPE. EMT SHALL BE USED ONLY FOR INTERIOR RUNS.
 - C) FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE. SEAL TIGHT FLEXIBLE CONDUIT. ALL CONDUIT EXCESS OF SIX FEET IN LENGTH SHALL HAVE FULL SIZE GROUND WIRE.
 - D) CONDUIT RUNS MAY BE SURFACE MOUNTED IN CEILING OR WALLS UNLESS INDICATED OTHERWISE. CONDUIT INDICATED SHALL RUN PARALLEL OR AT RIGHT ANGLES TO CEILING, FLOOR OR BEAMS. VERIFY EXACT ROUTING OF ALL EXPOSED CONDUIT WITH ARCHITECT PRIOR TO INSTALLING.
 - E) ALL UNDERGROUND CONDUITS SHALL BE PVC SCHEDULE 40 (UNLESS NOTED OTHERWISE) AT A MINIMUM DEPTH OF 24" BELOW GRADE
 - F) ALL CONDUIT ONLY (C.O.) SHALL HAVE PULL ROPE.
 - G) CONDUITS RUN ON ROOFS SHALL BE INSTALLED ON 4x4 REDWOOD SLEEPERS, 6'-0" ON CENTER, SET IN NON-HARDENING MASTIC.

3. ALL WIRE AND CABLE SHALL BE COPPER, 600 VOLT, #12 AWG MINIMUM UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. CONDUCTORS #10 AWG AND SMALLER SHALL BE SOLID. CONDUCTORS #8 AWG AND LARGER SHALL BE STRANDED TYPE THHN INSULATION USED UNLESS CONDUCTORS INSTALLED IN CONDUIT EXPOSED TO WEATHER, IN WHICH CASE TYPE THWN INSULATION SHALL BE USED.
4. PROVIDE GALVANIZED COATED STEEL BOXES AND ACCESSORIES SIZED PER CODE TO ACCOMMODATE ALL DEVICES AND WIRING.
5. DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE WITH WHITE FINISH (UNLESS NOTED BY ENGINEER), 20 AMP, 125 VOLT, THREE WIRE GROUNDING TYPE, NEMA 5-20R. MOUNT RECEPTACLE AT +12" ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED ON DRAWINGS OR IN DETAILS. WEATHERPROOF RECEPTACLES SHALL BE GROUND FAULT INTERRUPTER TYPE WITH SIERRA #WPD-8 LIFT COVERPLATES.
6. TOGGLE SWITCHES SHALL BE 20 AMP, 120 VOLT AC, SPECIFICATION GRADE WHITE (UNLESS NOTED OTHERWISE) FINISH. MOUNT SWITCHES AT +48" ABOVE FINISHED FLOOR.
7. PANELBOARDS SHALL BE DEAD FRONT SAFETY TYPE WITH ANTI-BURN SOLDERLESS COMPRESSION APPROVED FOR COPPER CONDUCTORS, COPPER BUS BARS, FULL SIZED NEUTRAL BUS, GROUND BUS AND EQUIPPED WITH QUICK-MAKE QUICK-BREAK BOLT-IN TYPE THERMAL MAGNETIC CIRCUIT BREAKERS. MOUNT TOP OF THE PANELBOARDS AT 6'-3" ABOVE FINISHED FLOOR. PROVIDE TYPE WRITTEN CIRCUIT DIRECTORY.
8. ALL CIRCUIT BREAKERS, MAGNETIC STARTERS AND OTHER ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED.
9. GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8" ROUND AND 10' LONG. COPPERWELD OR APPROVED EQUAL.

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INSTALLATION

1. PROVIDE SUPPORTING DEVICES FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, BOXES, PANEL, ETC., SUPPORT LUMINARIES FROM UNDERSIDE OF STRUCTURAL CEILING. EQUIPMENT SHALL BE BRACED TO WITHSTAND HORIZONTAL FORCES IN ACCORDANCE WITH STATE AND LOCAL CODE REQUIREMENTS. PROVIDE PRIOR ALIGNMENT AND LEVELING OF ALL DEVICES AND FIXTURES.
2. CUTTING, PATCHING, CHASES, OPENINGS: PROVIDE LAYOUT IN ADVANCE TO ELIMINATE UNNECESSARY CUTTING OR DRILLING OF WALLS, FLOORS CEILINGS, AND ROOFS. ANY DAMAGE TO BUILDING STRUCTURE OR EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR. OBTAIN PERMISSION FROM THE ENGINEER BEFORE CORING.
3. IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., IT MUST BE CLEARLY UNDERSTOOD THAT TENDONS AND/OR REINFORCING STEEL WILL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER THE CIRCUMSTANCES.
4. LOCATION OF TENDONS AND/OR REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE, MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT VIA X-RAY OR OTHER DEVICES THAT CAN ACCURATELY LOCATE THE REINFORCING AND/OR STEEL TENDONS.
5. PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE C.B.C.

RO E T I O S E O U T

1. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALLS DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
2. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS AND CIRCUITS.
3. ALL BROCHURES, OPERATING MANUALS, CATALOG, SHOP DRAWINGS, ETC., SHALL BE TURNED OVER TO OWNER AT JOB COMPLETION.

ROUNDING NOTES

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION REQUIREMENTS AND CONSTRUCTION ACCORDING TO SITE CONDITIONS.
2. ALL GROUNDING CONDUCTORS: #2 AWG SOLID BARE TINNED COPPER WIRE UNLESS OTHERWISE NOTED.
3. GROUND BAR LOCATED IN BASE OF EQUIPMENT WILL BE PROVIDED, FURNISHED AND INSTALLED BY THE VENDOR.
4. ALL BELOW GRADE CONNECTIONS: EXOTHERMIC WELD TYPE, ABOVE GRADE CONNECTIONS: EXOTHERMIC WELD TYPE.
5. GROUND RING SHALL BE LOCATED A MINIMUM OF 24" BELOW GRADE OR 6" MINIMUM BELOW THE FROST LINE.
6. INSTALL GROUND CONDUCTORS AND GROUND ROD MINIMUM OF 1'-0" FROM EQUIPMENT CONCRETE SLAB, SPREAD FOOTING, OR FENCE.
7. EXOTHERMIC WELD GROUND CONNECTION TO FENCE POST: TREAT WITH A COLD GALVANIZED SPRAY.
8. GROUND BARS:
 - A) EQUIPMENT GROUND BUS BAR (EGB) LOCATED AT THE BOTTOM OF ANTENNA POLE/MAST FOR MAKING GROUNDING JUMPER CONNECTIONS TO COAX FEEDER CABLES SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. JUMPERS (FURNISHED BY OWNERS) SHALL BE INSTALLED AND CONNECTED BY ELECTRICAL CONTRACTOR.
9. ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY ELECTRICAL CONTRACTOR.
10. OBSERVE N.E.C. AND LOCAL UTILITY REQUIREMENTS FOR ELECTRICAL SERVICE GROUNDING.
11. GROUNDING ATTACHMENT TO TOWER SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS OR AT GROUNDING POINTS PROVIDED (2 MINIMUM).
12. IF EQUIPMENT IS IN A C.L. FENCE ENCLOSURE, GROUND ONLY CORNER POSTS AND SUPPORT POSTS OF GATE. IF CHAIN LINK LID IS USED, THEN GROUND LID ALSO.
13. GROUNDING AT PPC CABINET SHALL BE VERTICALLY INSTALLED.
14. ALL GROUNDING FOR ANTENNAS SHALL BE CONNECTED SO THAT IT WILL BY-PASS MAIN BUSS BAR.
15. ALL EMT RUNS SHALL BE GROUNDED AND HAVE A BUSHING, NO PVC ABOVE GROUND.
16. USE SEPARATE HOLES FOR GROUNDING AT BUSS BAR. NO "DOUBLE-UP" OF LUGS.
17. POWER AND TELCO CABINETS SHALL BE GROUNDED (BONDED) TOGETHER.
18. NO LB'S ALLOWED ON GROUNDING.
19. PROVIDE STAINLESS STEEL CLAMP AND BRASS TAGS ON COAX AT ANTENNAS AND DOGHOUSE.

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ELECTRICAL
GENERAL NOTES

SHEET NUMBER:

E-1.1

ABBREVIATIONS:

- BCW BARE COPPER WIRE
 - BTS BASE TRANSCEIVER STATION
 - C CONDUIT
 - (E) EXISTING
 - EG EQUIPMENT GROUND
 - (F) FUTURE
 - FACP FIRE ALARM CONTROL PANEL
 - GEN GENERATOR
 - IG ISOLATED GROUND
 - IMC INTERMEDIATE METAL CONDUIT
 - LFMC LIQUID TIGHT FLEXIBLE METAL CONDUIT
 - MCM MILLION CIRCULAR MILLS
 - MI MECHANICAL INTERLOCK
 - MP&S SEE MECHANICAL PLANS & SPECIFICATIONS
 - (N) NEW
 - NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
 - NL NIGHT LIGHT - FIXTURE TO BE UNSWITCHED
 - PFIB PROVISION FOR FUTURE BREAKER
 - PVC POLYVINYL CHLORIDE CONDUIT
 - (R) RELOCATE
 - RU RELAY TO MONITOR UTILITY POWER
 - TYP TYPICAL
 - UN UNLESS OTHERWISE NOTED
 - WP WEATHERPROOF
 - GFCI GROUND FAULT CIRCUIT INTERRUPTER
- NOTE: SYMBOLS INDICATED ABOVE MAY NOT NECESSARILY APPEAR AS PART OF THESE DRAWINGS IF NOT REQUIRED.

NOTES:

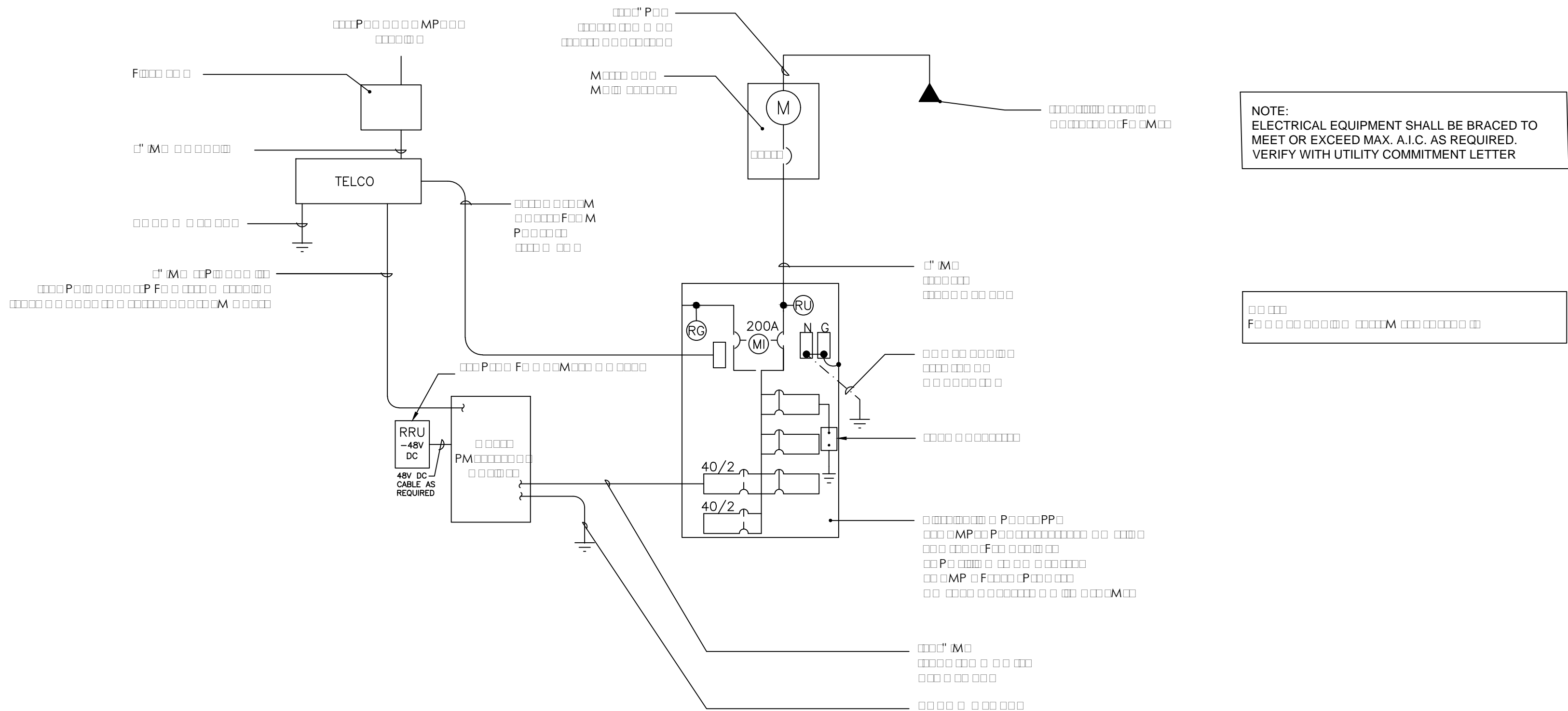
1. ALL WIRE TO BE #12 THN/THWN UNLESS NOTED OTHERWISE.
COLOR CODE:
• AØ = BLACK
• BØ = RED
• NEUTRAL = WHITE
• GROUND = GREEN
2. ALL WORK TO CONFORM TO N.E.C. LATEST STATE ADOPTED EDITION.
3. LABEL SERVICE DISCONNECT WITH A RED TAG.
4. SWITCH LEG CONDUCTORS SHALL BE THE SAME COLOR AS CIRCUIT CONDUCTORS.
5. PULL WIRES TO END OF FLEXIBLE NONMETALLIC CONDUIT. COIL 3'-0" AT END OF FLEXIBLE NONMETALLIC CONDUIT & TAG.
6. PULL ONE GROUND CONDUCTOR PER FLEXIBLE NONMETALLIC CONDUIT. FOR ALL OTHER CIRCUITS PULL A SEPARATE CONDUCTOR.
7. ALL GFCI RECEPTACLES TO HAVE A DEDICATED GROUND WIRE.
8. EQUIPMENT TERMINATION LUGS AND CONDUCTORS ARE RATED AT A MINIMUM OF 75°C.

KEY:

- Ⓟ = PHOTOCELL
- Ⓜ = MOTION DETECTOR
- = CONDUIT GROUND
- = NON-DEDICATED GROUND
- Ⓢ = DEDICATED GROUND
- Ⓜ = ISOLATED GROUND

LOAD	DESCRIPTION	QTY.	UNIT KVA	LOAD PER PHASE (VA)		WIRE COLOR	LOADS CONTINUOUS	LOADS NON-CONTINUOUS	LOADS SUB-PANEL	WIRE SIZE	GROUNDING WIRE SIZE	TRIP	TRIP	GROUNDING WIRE SIZE	WIRE SIZE	LOADS SUB-PANEL	LOADS NON-CONTINUOUS	WIRE COLOR	LOAD PER PHASE (VA)		UNIT KVA	QTY.	LOAD	DESCRIPTION
				PHASE															PHASE					
				A	B														A	B				
1	DC POWER PLANT RECTIFIERS	2	8.400	4.200	4.200	BLK	X		8	(10)	40			60	(10)	-	X	BLK	0	0	0	1	SURGE ARRESTOR	2
3				4.200	4.200	RED												RED	0	0				4
5	DC POWER PLANT RECTIFIERS	2	8.400	4.200	4.200	BLK	X		8	(10)	40			20	(10)	12	X	BLK	0.150	0.150	0.150	1	WORK LIGHTS	6
7				4.200	4.200	RED												RED	0.400	0.200	0.200	2	GFCI RECEPTACLES	8
9	DC POWER PLANT RECTIFIERS	2	8.400	4.200	4.200	BLK	X		8	(10)	40							BLK					SPACE	10
11				4.200	4.200	RED												RED					SPACE	12
13	BATTERY CABINET	1	2.000	1.000	1.000	BLK	X		8	(10)	40			20	(10)	12	X	BLK	0.010	0.010	0.010	1	BATTERY CHARGER	14
15	SPACE					RED												RED					SPACE	16
17	SPACE					BLK												BLK					SPACE	18
19	SPACE					RED												RED					SPACE	20
21	SPACE					BLK												BLK					SPACE	22
23	SPACE					RED												RED					SPACE	24
25	SPACE					BLK												BLK					SPACE	26
27	SPACE					RED												RED					SPACE	28
29	SPACE					BLK												BLK					SPACE	30
31	SPACE					RED												RED					SPACE	32
33	SPACE					BLK												BLK					SPACE	34
35	SPACE					RED												RED					SPACE	36
37	SPACE					BLK												BLK					SPACE	38
39	SPACE					RED												RED					SPACE	40
41	SPACE					BLK												BLK					SPACE	42
SUBTOTAL CONTINUOUS				13.60	9.40														0.010	0.400			SUBTOTAL CONTINUOUS	29.27
SUBTOTAL NON-CONTINUOUS				-	-														0.150	0.000			SUBTOTAL NON-CONTINUOUS	0.150
SUBTOTAL SUB-PANEL				-	-														-	-			SUBTOTAL SUB-PANEL	-

PANEL DESIGNATION: ELECTRICAL PANEL
 MAIN LUGS: N/A | MAIN BREAKER: 200 AMP | MAIN BREAKER A.I.C. RATING: 22,000 A.I.C. | BRANCH BREAKER A.I.C. RATINGS: 10,000 A.I.C.
 VOLTAGE: 120/240 | CYCLE: 60 | PHASE: 1 | WIRES: 3 | MAIN COPPER BUS: 200 AMP | NEUTRAL: 200 AMPS | BRANCH BREAKER TYPE: SQUARE D - BOLT ON



20 ABBREVIATIONS
N.T.S.

ELECTRICAL INSTALLATION METHODS:

1. This installation shall comply with the currently adopted edition of the National Electrical Code and with utility company and local code requirements.
2. Install sufficient lengths of LFMC including all conduit fittings (nuts, reducing bushings, elbows, couplings, etc) necessary for connection from IMC or PVC conduit to the interior of the BTS cabinet.
3. Power, control and equipment ground wiring in tubing or conduit shall be single conductor (#14 AWG and larger), 600V, oil resistant THHN or THWN-2, Class B stranded copper cable rated for 90°C (wet and dry) operation; listed or labeled for the location and raceway system used.
4. Cut, coil and tape a 3 foot pigtail from end of LFMC for terminating by BTS equipment manufacturer.
5. Supplemental equipment ground wiring located indoors shall be single conductor (#6 AWG and larger), 600V, oil resistant THHN or THWN-2 green insulation, Class B stranded copper cable rated for 90°C (wet and dry) operation, listed or labeled for the location and raceway system used.
6. Supplemental equipment ground wiring located outdoors or below grade shall be single conductor #2 AWG solid, tinned, copper cable.
7. Power and control wiring, not in tubing or conduit, shall be multi-conductor, Type TC Cable (#14 AWG and larger), 600V, oil resistant THHN or THWN-2, Class B, Stranded copper cable rated for 90°C (Wet or Dry) operation, with outer jacket listed or labeled for the location used.
8. Cables shall not be routed through ladder-style cable tray rungs.
9. Raceway and cable tray shall be listed or labeled for electrical use in accordance with NEMA, UL, ANS/IEEE and NEC.
10. New raceway or cable tray shall match the existing installation where possible.
11. All power and grounding connections shall be crimp style, compression, wire lugs and wirenuts by Thomas and Betts (or equal). Lugs and wirenuts shall be rated for operation at no less than 75°C.
12. Each end of every power, grounding and T1 conductor and cable shall be labeled with color coded insulation or electrical tape. The identification method shall conform with NEC & OSHA and match existing installation requirements.
13. All electrical components shall be clearly labeled with engraved laminated plastic labels. All equipment shall be labeled with their voltage rating, phase configuration, wire configuration, power or ampacity rating and branch circuit ID numbers (panelboard and circuit identification).
14. All tie wraps shall be cut flush with approved cutting tool to remove sharp edges.
15. Rigid nonmetallic conduit (PVC Schedule 40 or PVC Schedule 80) shall be used underground, direct buried in areas of occasional light vehicle traffic or encased in reinforced concrete in areas of heavy vehicle traffic. All conduit run above ground or exposed shall be LFMC, IMC or Rigid Steel.
16. Electrical metallic tubing (EMT) shall be used for concealed indoor locations.
17. Liquid tight flexible metallic conduit shall be used indoors and outdoors where vibration occurs or flexibility is needed.
18. Conduit and tubing fittings shall be threaded or compression type and approved for the location used. Setscrew fittings are not acceptable.
19. Cabinets, boxes and wireways shall be listed or labeled for electrical use in accordance with NEMA, UL, ANS/IEEE and NEC.
20. Cabinets, boxes and wireways shall match the existing installation where possible.
21. Provide necessary tagging on the breakers, cables and distribution panels in accordance with applicable codes and standards to safeguard life and property.
22. The subcontractor shall review and inspect the existing facility grounding system and lightning protection system (as designed and installed) for strict compliance with the NEC. The site specific lightning protection code and general compliance with Telcordia and TIA grounding standards. The subcontractor shall report any violations or adverse findings to the contractor for resolution.
23. All electrode systems (including telecommunication, radio, lightning protection and AC power GES's) shall be bonded together at or below grade by two or more copper bonding conductors in accordance with the NEC.
24. Perform IEEE fall-of-potential resistance to earth testing (per IEEE 1100 and 81) for new ground electrode systems. The subcontractor shall furnish and install supplemental ground electrodes as needed to achieve a test result of 5 ohms or less.
25. Metal raceway shall not be used as the NEC required equipment ground conductor. Stranded copper conductors with green insulation sized in accordance with the NEC shall be furnished and installed with the power circuits to BTS equipment.
26. Each indoor BTS cabinet frame shall be directly connected to the master ground bar with supplemental equipment ground wires #6 or larger.
27. Exothermic welds shall be used for all grounding connections below grade.
28. Approved antioxidant coatings (i.e. conductive gel or paste) shall be used on all compression and bolted ground connections.
29. ICE bridge bonding conductors shall be exothermically bonded or bolted to the bridge and the tower ground bar.
30. Surfaces to be connected to ground conductors shall be cleaned to a bright surface at all connections.
31. Exposed ground connections shall be made with compression connectors which are then bolted to equipment using stainless steel hardware. Installation torque shall be per manufacturer's requirements.
32. DC power cables shall be Cobra COP-FLEX 2000, Flexible Class B or approved equal.

17 ELECTRICAL NOTES
N.T.S.

13 SINGLE LINE DIAGRAM
N.T.S.

PREPARED FOR



295 Parkshore Drive
Folsom, California 95630

Vendor:



605 Coolidge Dr. Suite 100
Folsom, CA. 95630

Project Address:

288 NORTSHORE BLVD.
KINGS BEACH, CA 96143

Architect:



borgesarch.com
1478 STONE POINT DRIVE, SUITE 350
ROSEVILLE CA 95661
916 782 7200 TEL
916 773 3037 FAX

PROJECT NO: 18501-60

LOCATION NO: 466797

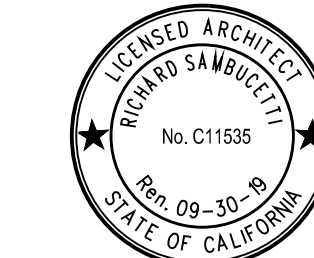
DRAWN BY: A.P.E.

CHECKED BY: J.E.S.

NT CENTER SC

REV	DATE	DESCRIPTION
4	09/11/19	100% CD Rev 2
3	08/12/19	100% CD Rev 1
2	07/01/19	100% CD Submittal
1	06/14/19	90% CD Rev 1
0	04/22/19	90% CD Submittal

Licenser:



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Issued For:

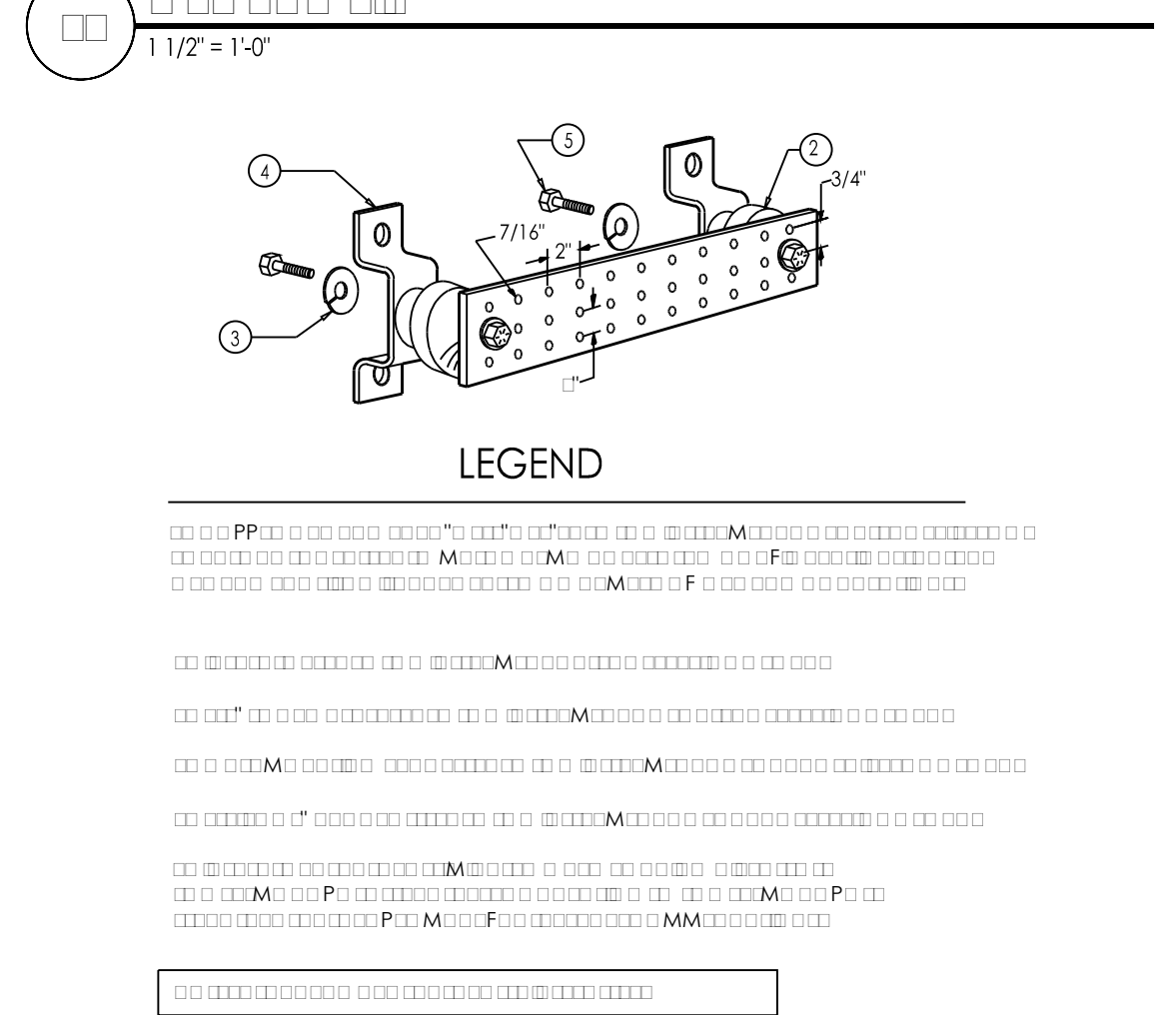
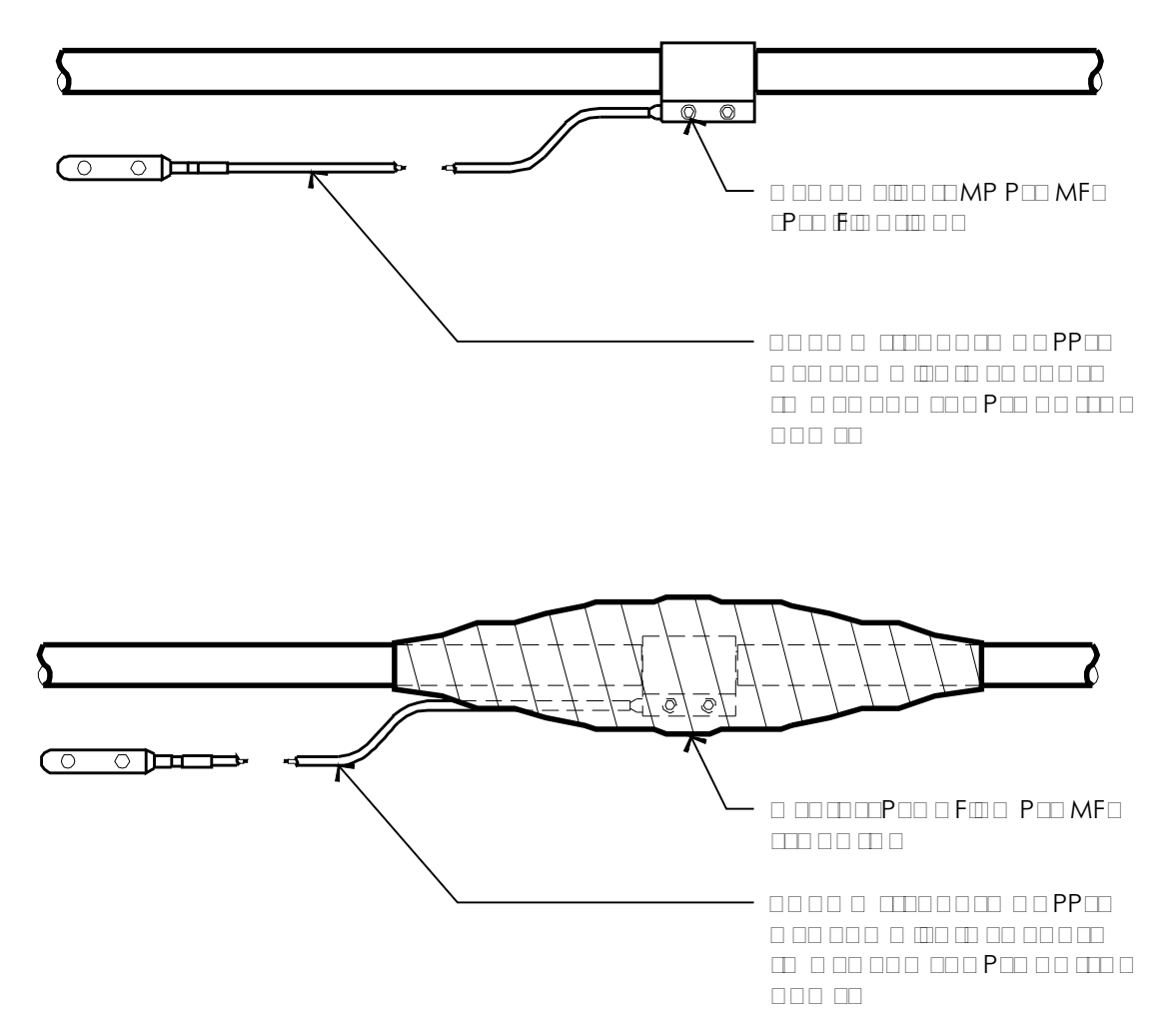
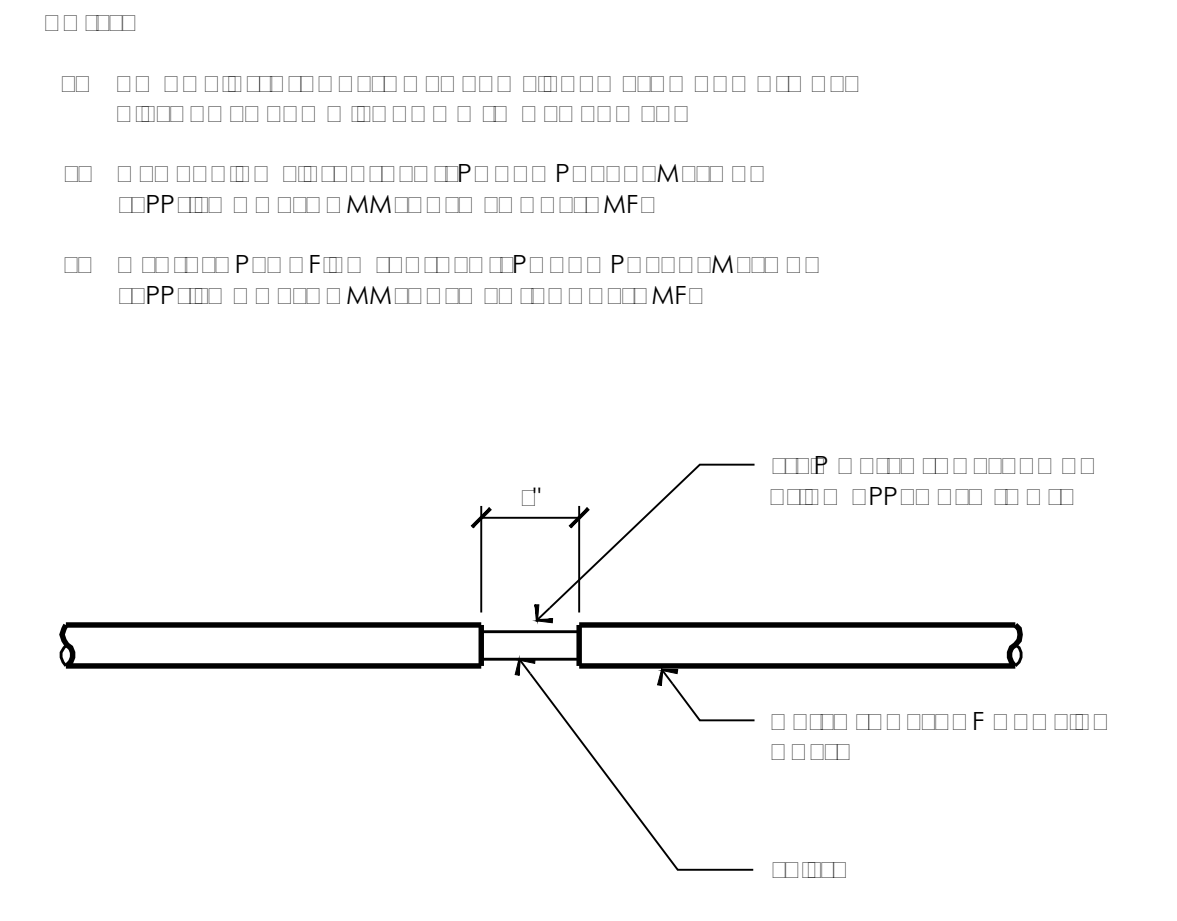
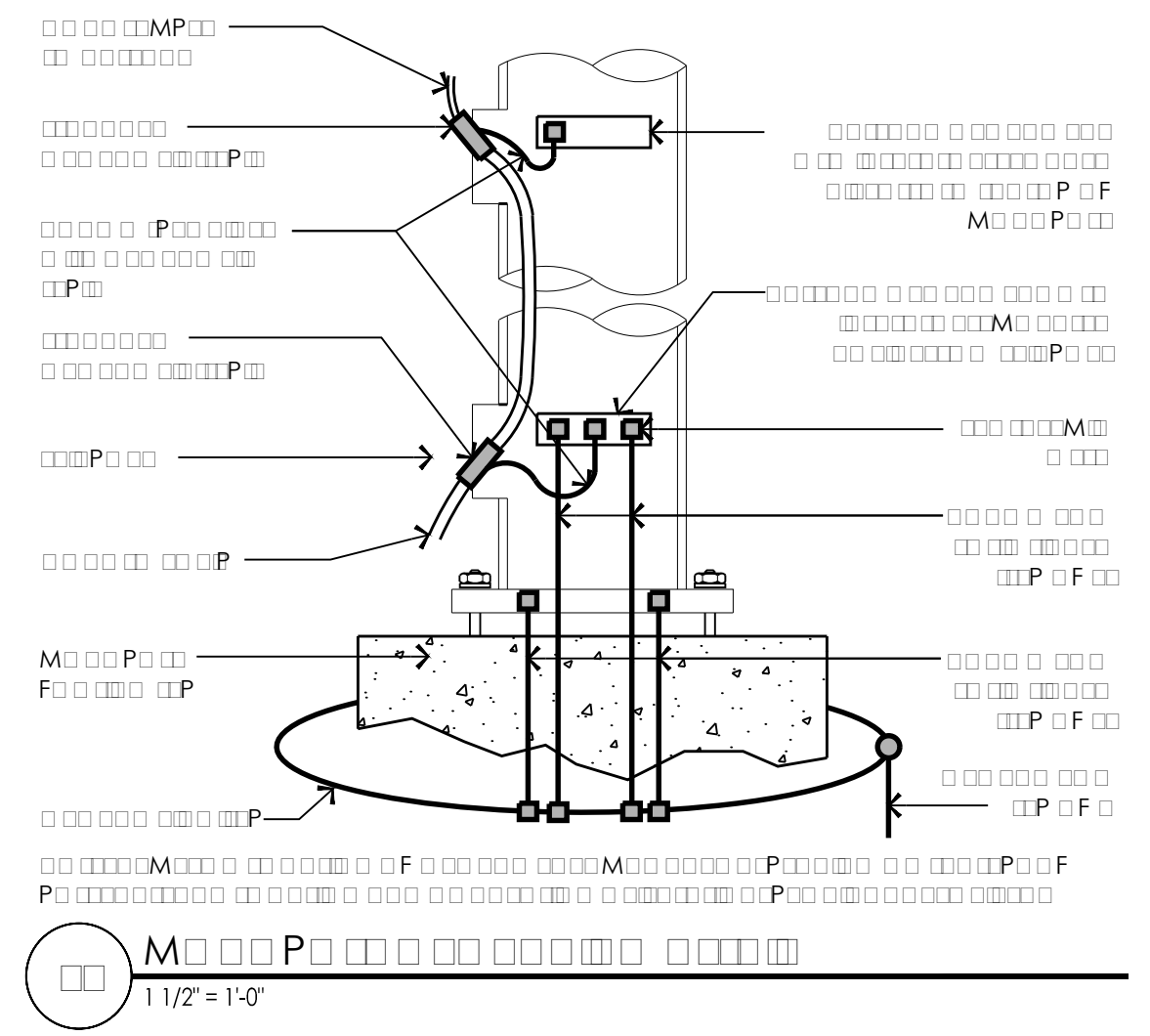
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100% CD SUBMITTAL

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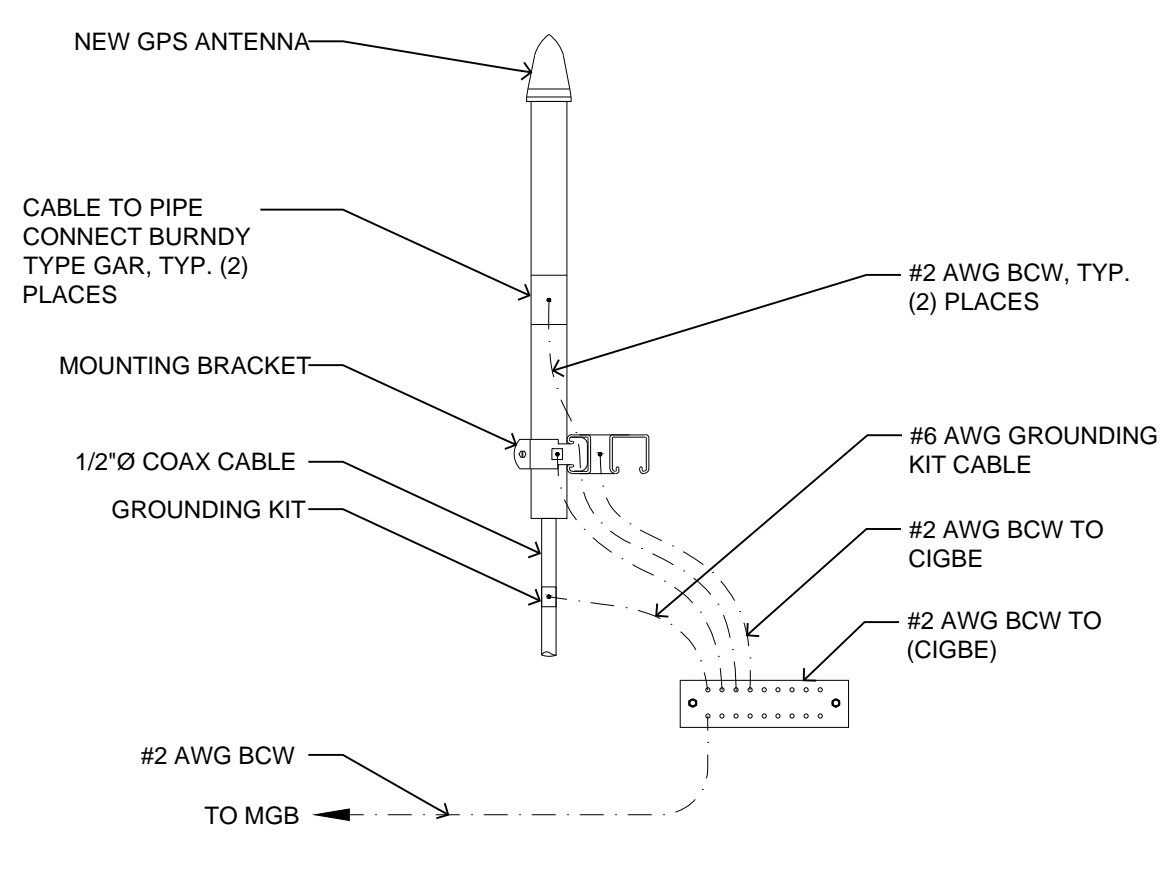
ELECTRICAL
SCHEDULE & SINGLE
LINE DIAGRAM

SHEET NUMBER:

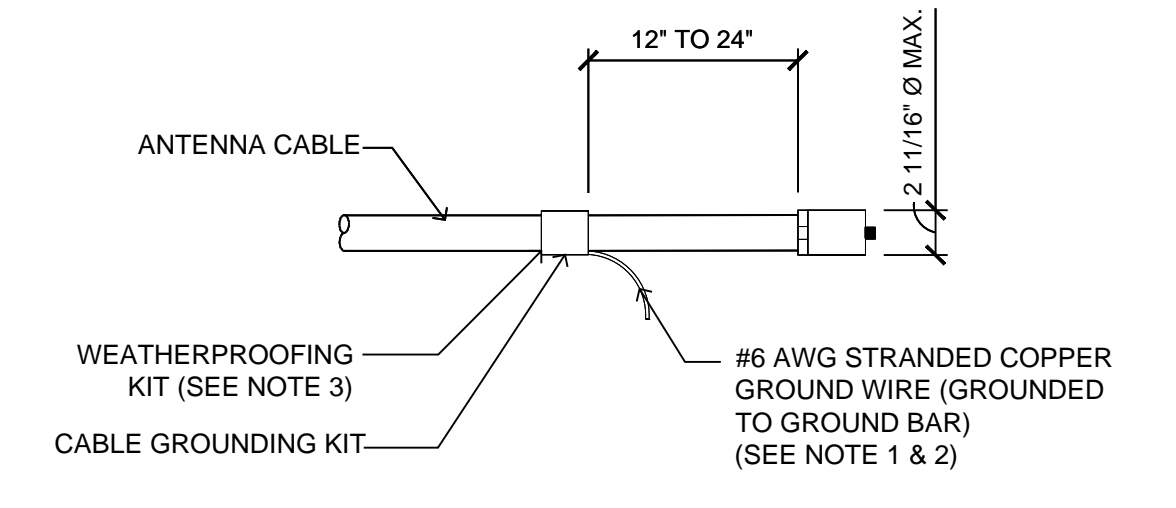
E-1.2



- 1 ALL ELECTRICAL AND GROUNDING AT THE CELL SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER SPECIFICATION.
- 2 IF THE AC PANEL IN THE POWER CABINET IS WIRED AS SERVICE ENTRANCE, THE AC SERVICE GROUND CONDUCTOR SHALL BE CONNECTED TO GROUND ELECTRODE SYSTEM. WHEN THE AC PANEL IN THE POWER CABINET IS CONSIDERED A SUB-PANEL, THE GROUND WIRE SHALL BE INSTALLED IN THE AC POWER CONDUIT. THE INSTALLATION SHALL BE PER LOCAL AND NATIONAL ELECTRIC CODE (NFPA-70).
- 3 EXOTHERMIC WELDING IS RECOMMENDED FOR GROUNDING CONNECTION WHERE PRACTICAL. OTHERWISE, THE CONNECTION SHALL BE MADE USING COMPRESSION TYPE-2 HOLES, LONG BARREL LUGS OR DOUBLE CRIMP CLAMP "C" CLAMP. THE COPPER CABLES SHALL BE COATED WITH ANTI-OXIDANT (COPPER SHIELD) BEFORE MAKING THE CONNECTIONS. THE MANUFACTURER'S TORQUING RECOMMENDATIONS ON THE BOLT ASSEMBLY TO SECURE CONNECTIONS SHALL BE FOLLOWED.
- 4 THE ANTENNA CABLES SHALL BE GROUNDED AT THE TOP AND BOTTOM OF THE VERTICAL RUN FOR LIGHTNING PROTECTION. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO A COPPER GROUND BUSS AT THE LOWER MOST POINT OF A VERTICAL RUN JUST BEFORE IT BEGINS TO BEND TOWARD THE HORIZONTAL PLANE. WIRE RUNS TO GROUND SHALL BE KEPT AS STRAIGHT AND SHORT AS POSSIBLE. ANTENNA CABLE SHIELD SHALL BE GROUNDED JUST BEFORE ENTERING THE CELL CABINET. ANY ANTENNA CABLES OVER 200 FEET IN LENGTH SHALL ALSO BE EQUIPPED WITH ADDITIONAL GROUNDING AT MID-POINT.
- 5 ALL GROUNDING CONDUCTORS INSIDE THE BUILDING SHALL BE RUN IN CONDUIT RACEWAY SYSTEM, AND SHALL BE INSTALLED AS STRAIGHT AS PRACTICAL WITH MINOR BENDS TO AVOID OBSTRUCTIONS. THE BENDING RADIUS OF ANY #2 GROUNDING CONDUCTOR IS 8". PVC RACEWAY MAY BE FLEXIBLE OR RIGID PER THE FIELD CONDITIONS. GROUNDING CONDUCTORS SHALL NOT MAKE CONTACT WITH ANY METALLIC CONDUITS, SURFACES OR EQUIPMENT.
- 6 PROVIDE PVC SLEEVES WHERE GROUNDING CONDUCTORS PASS THROUGH THE BUILDING WALLS AND/OR CEILINGS.
- 7 INSTALL GROUND BUSHINGS ON ALL METALLIC CONDUITS AND BOND TO THE EQUIPMENT GROUND BUSS IN THE PANEL BOARD.
- 8 GROUND ANTENNA BASES, FRAMES, CABLE RACKS AND OTHER METALLIC COMPONENTS WITH #2 GROUNDING CONDUCTORS AND CONNECT TO INSULATED SURFACE MOUNTED GROUND BARS. CONNECTION DETAILS SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR GROUNDING.
- 9 ALL PROPOSED GROUNDING CONDUCTORS SHALL BE ROUTED AND CONNECTED TO THE MAIN GROUND BAR OR EXISTING GROUND RING.

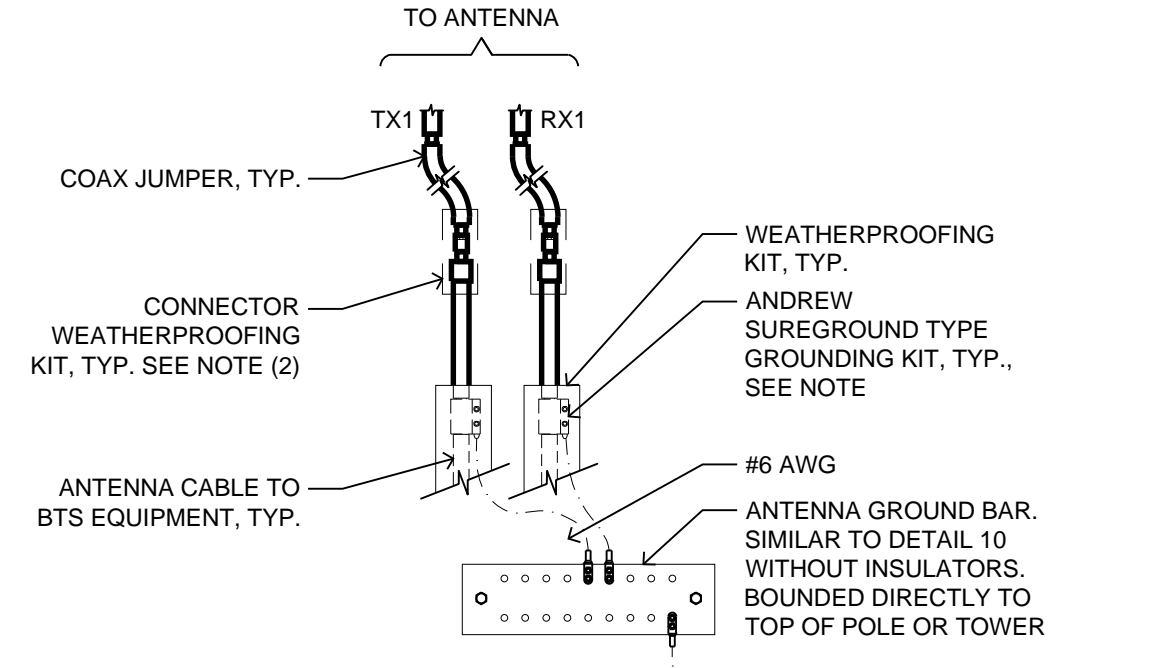


19 GPS ANTENNA GROUNDING
1/2" = 1'-0"



- NOTE:**
- 1 DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT WIRE DOWN TO GROUND BAR.
 - 2 GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
 - 3 WEATHER PROOFING SHALL BE (TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.)

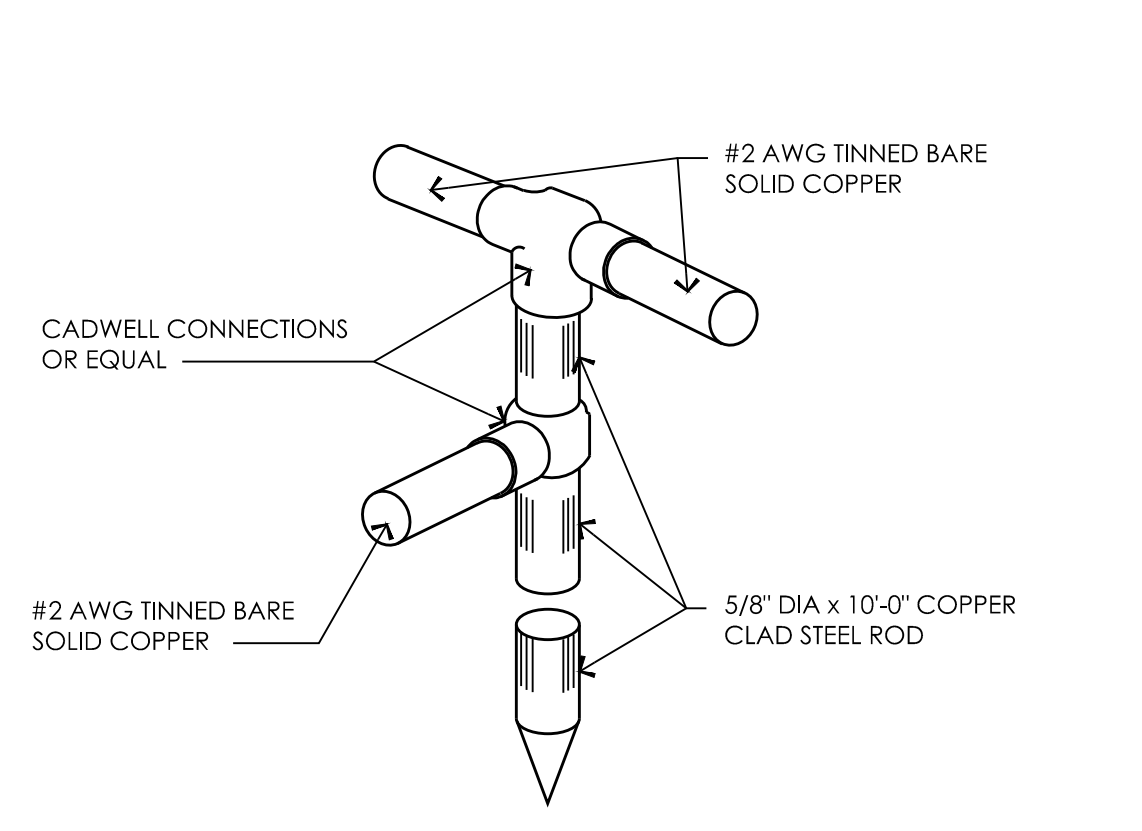
18 CONNECTION OF GRND KIT TO ANTENNA CABLE
1/2" = 1'-0"



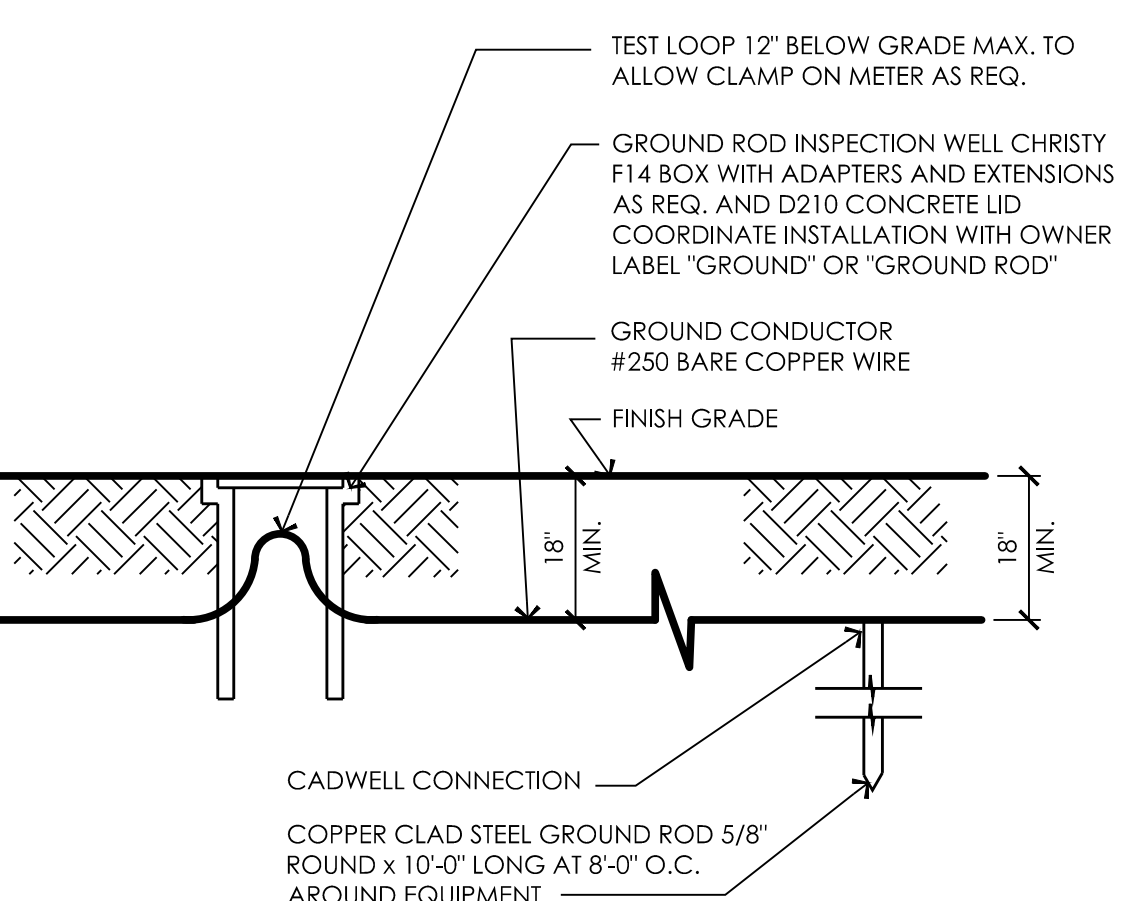
- NOTE:**
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
 2. WEATHER PROOFING SHALL BE ANDREW TWO-PART TAPE KIT. COLD SHRINK SHALL NOT BE USED

17 GRND CONNECTION TO GRND BAR
1/2" = 1'-0"

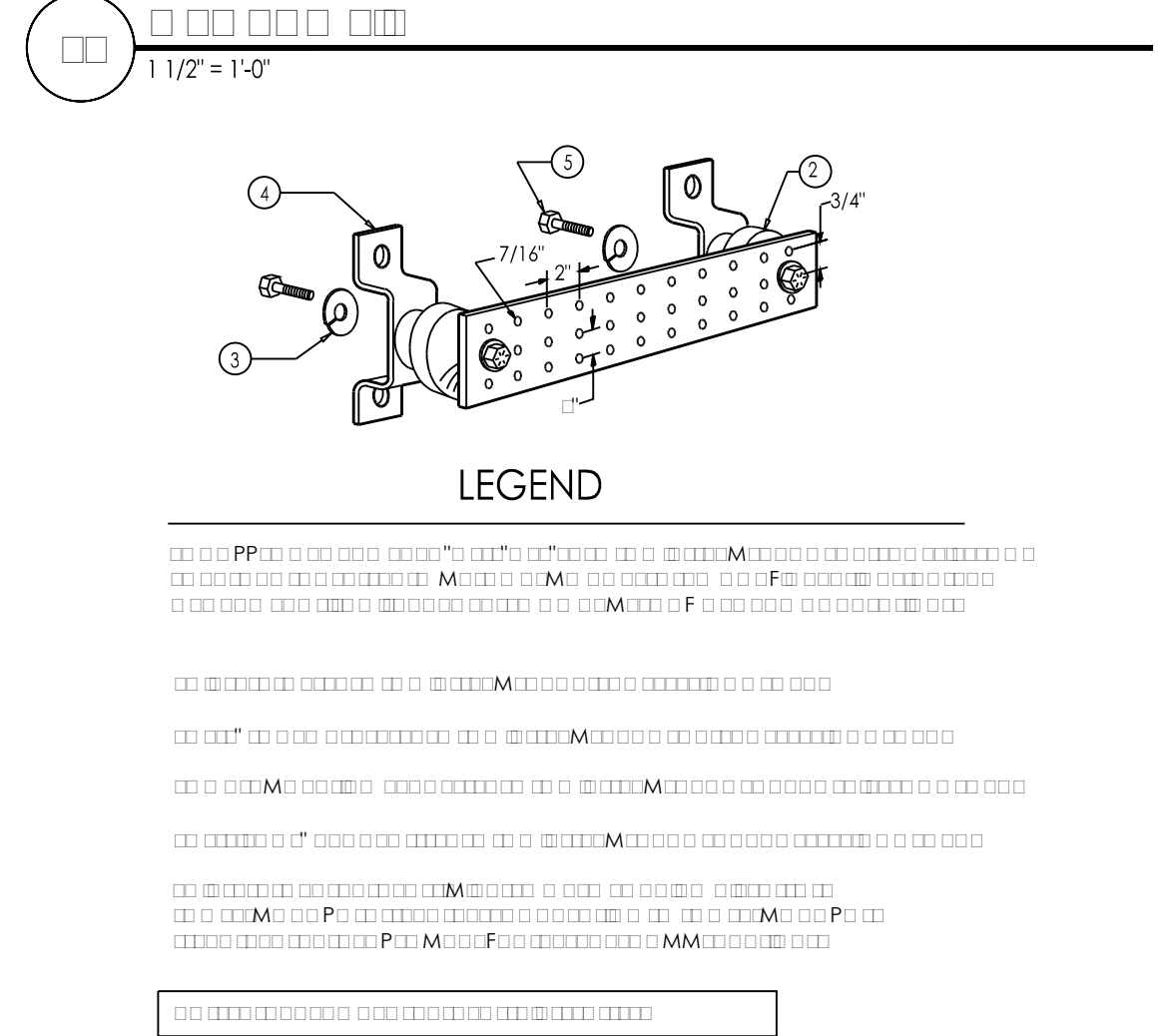
19 GPS ANTENNA GROUNDING
1/2" = 1'-0"



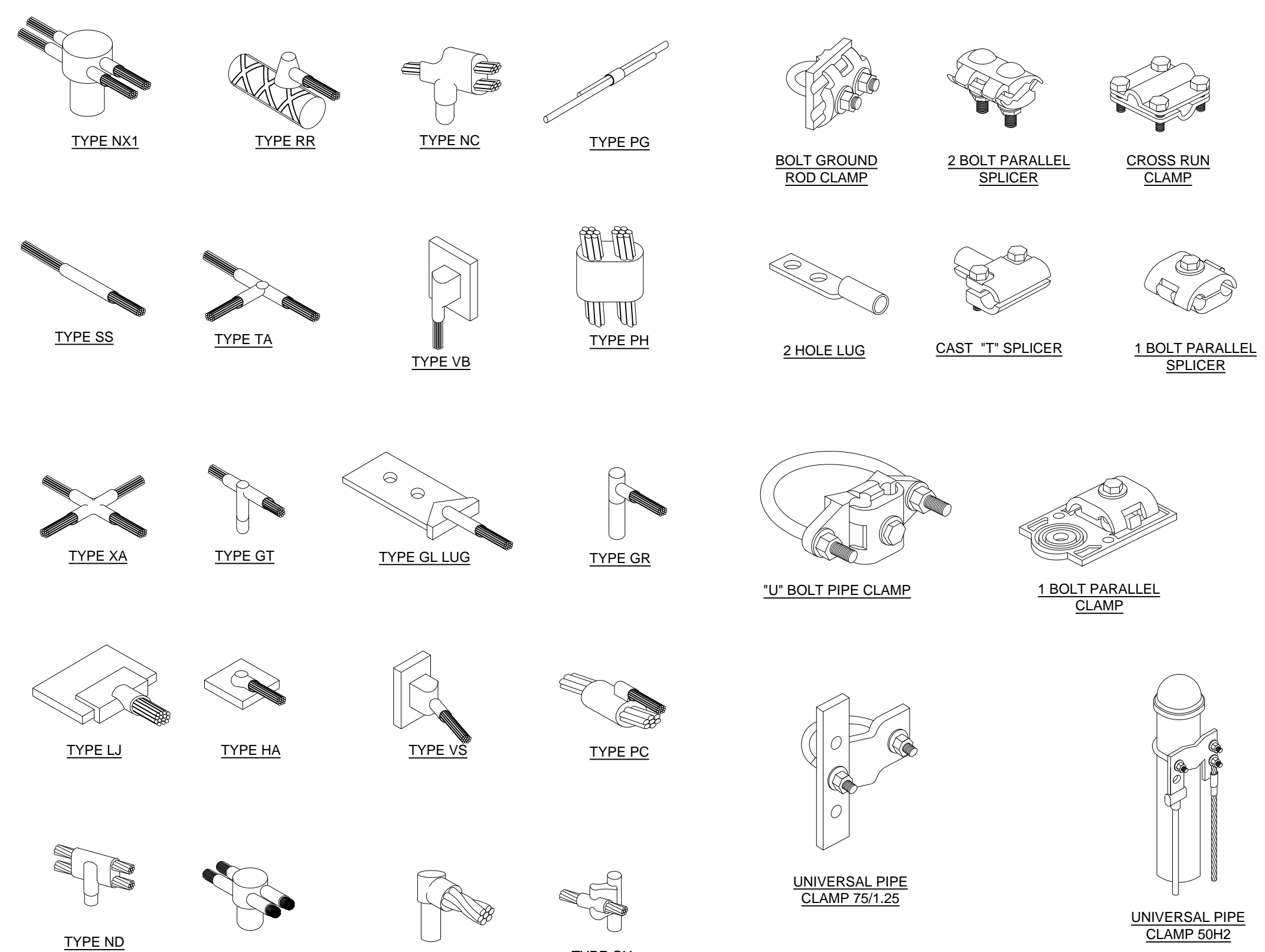
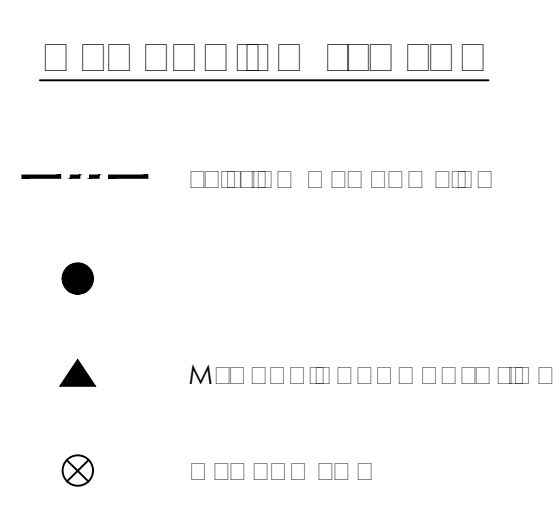
14 GROUNDING ROD DETAIL
1/2" = 1'-0"



13 GROUNDING INSPECTION WELL DETAIL
1/2" = 1'-0"



17 GRND CONNECTION TO GRND BAR
1/2" = 1'-0"



PREPARED FOR
verizon
295 Parkshore Drive
Folsom, California 95630

Vendor:
EPIC
WIRELESS GROUP LLC
Connecting a Wireless World
605 Coolidge Dr. Suite 100
Folsom, CA. 95630

Project Address:
288 NORTSHORE BLVD.
KINGS BEACH, CA 96143

Architect:
Borges
ARCHITECTURAL GROUP
borgesarch.com
1478 STONE POINT DRIVE, SUITE 350
ROSELVILLE CA 95661
916 782 7200 TEL
916 773 3037 FAX

PROJECT NO:	18501-60
LOCATION NO:	466797
DRAWN BY:	A.P.E.
CHECKED BY:	J.E.S.

NT CENTER SC

REV	DATE	DESCRIPTION
4	09/11/19	100% CD Rev 2
3	08/12/19	100% CD Rev 1
2	07/01/19	100% CD Submittal
1	06/14/19	90% CD Rev 1
0	04/22/19	90% CD Submittal

Licensors:
REGISTERED ARCHITECT
No. C11555
Exp. 09-30-20
STATE OF CALIFORNIA

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Issued For:
09/11/19
100% CD SUBMITTAL

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER:
G-2

NOTES:
 PROVIDE TEMPORARY BEST MANAGEMENT PRACTICES INCLUDING LINEAR SEDIMENT CONTROL AND VEGETATION PROTECTION FENCING THAT WILL MEET OR EXCEED TRPA SPECIFICATIONS.
 CONTRACTOR SHALL CONTACT 811 48 HOURS PRIOR TO EXCAVATION.

OWNER REPRESENTATIVE:
 REGINA IVESTER
 EPIC WIRELESS



PLANS DRAWN BY:
 BASILE MANAGEMENT PRACTICE
 ROBERT BASILE, PE
 P.O. BOX 1182 - FAIRBORN CITY, CA 96145
 PHONE: 530.308.9200
 EMAIL: ROBERT@BMP.PRACTICE.COM
 NV CIVIL LICENSE #20413

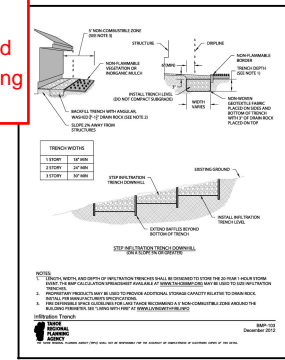
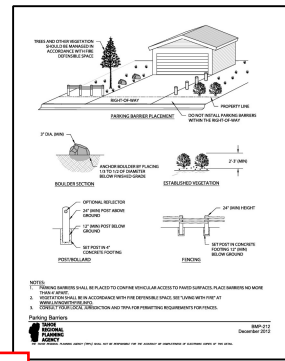
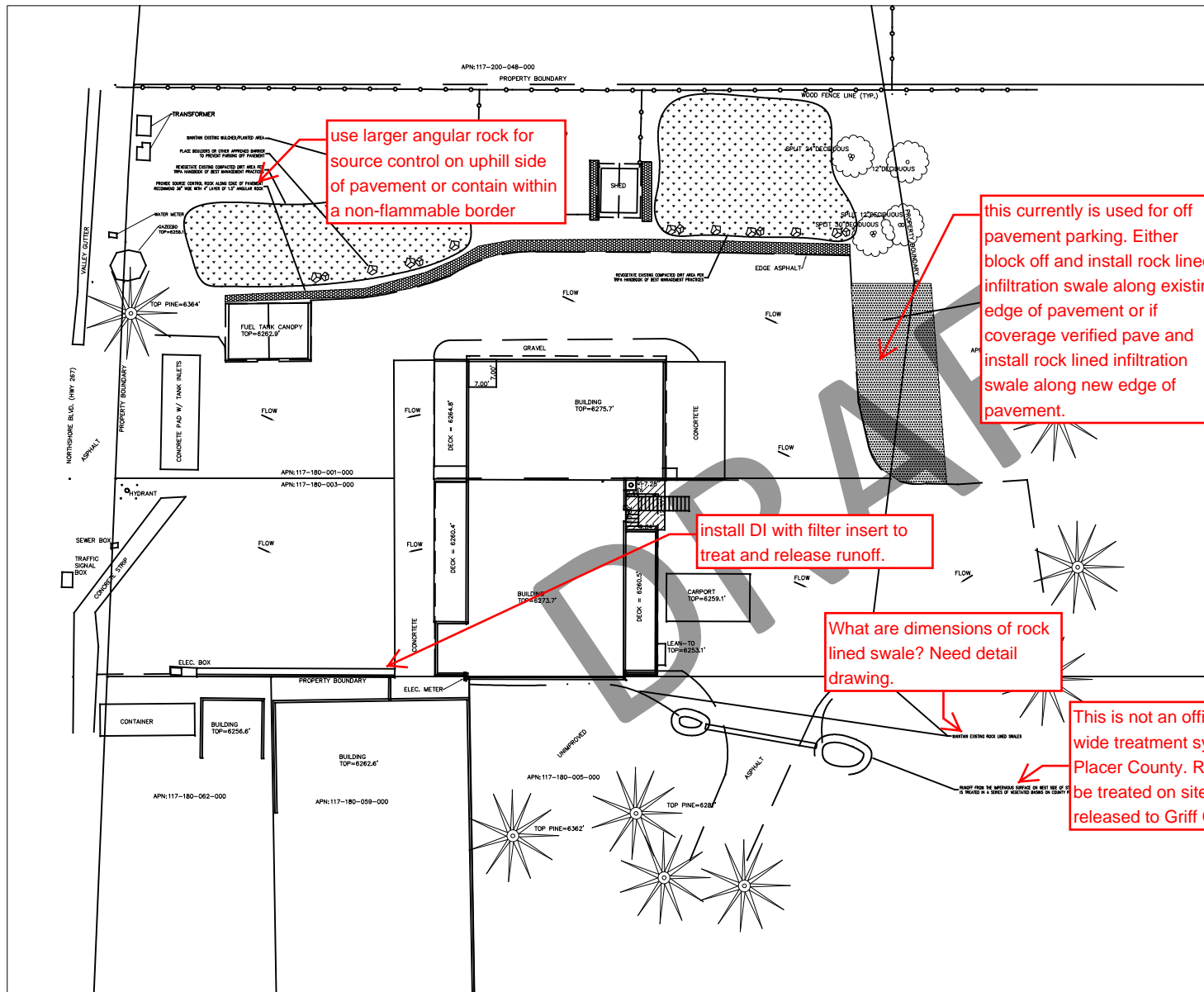
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Issued

BMP Retrofit Plan
 288 NORTH SHORE BOULEVARD
 Kings Beach - Placer County, CA
 APN: 117-180-(001 & 003)

Date: September 3, 2022
 Scale: 1" = 30'

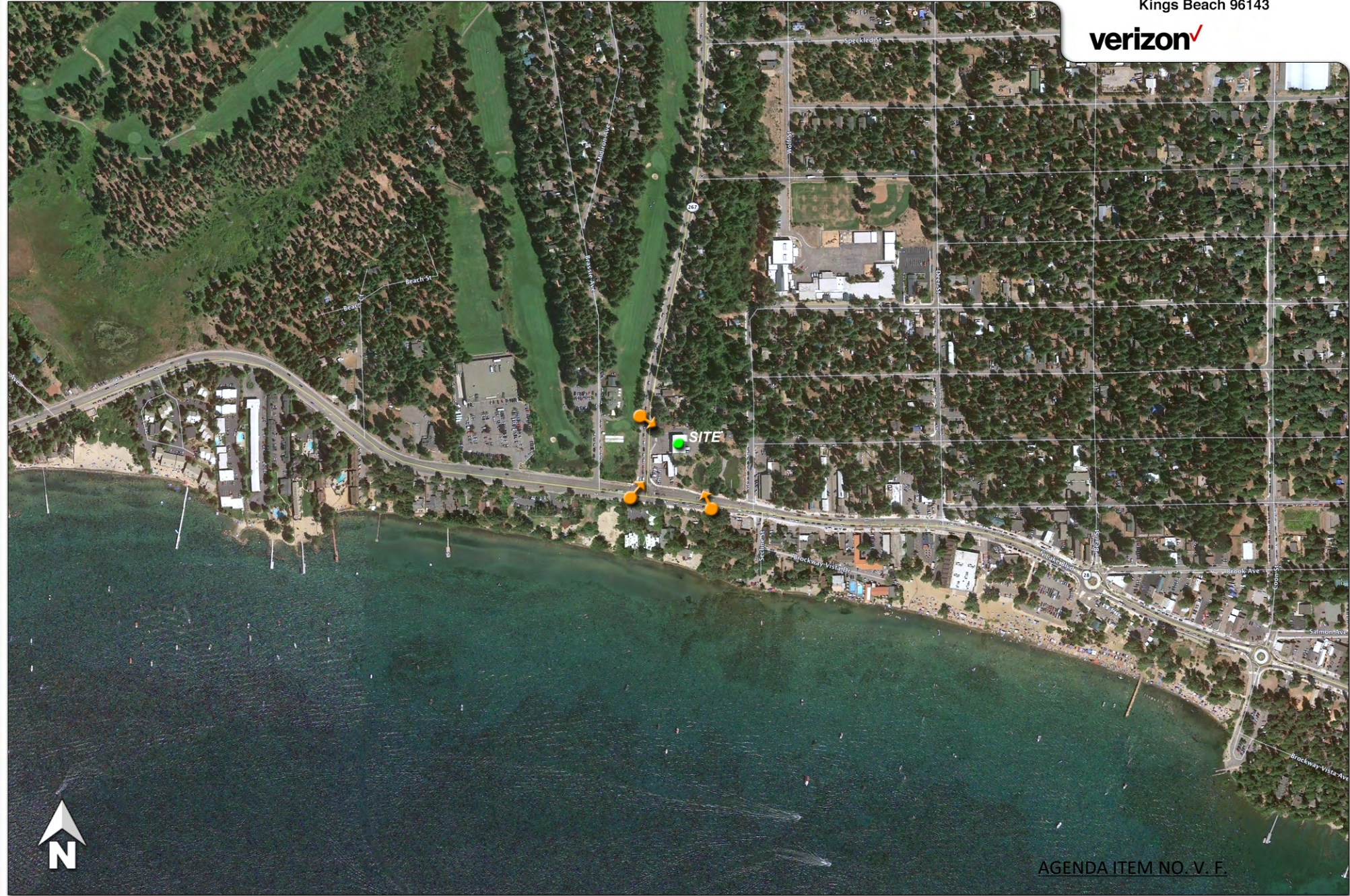
C1



Aerial photograph showing the viewpoints for the photosimulations.

North Tahoe Center SC

288 North Shore Blvd
Kings Beach 96143



AGENDA ITEM NO. V. F.



Existing

Photosimulation of the view looking southeast from across North Shore Blvd.

North Tahoe Center SC
 288 North Shore Blvd
 Kings Beach 96143

verizon✓



Proposed

AGENDA ITEM NO. V. F.



Existing

Photosimulation of the view looking northeast from across N Lake Blvd at N Shore Blvd.

North Tahoe Center SC

288 North Shore Blvd
Kings Beach 96143

verizon ✓



Proposed

AGENDA ITEM NO. V. F.



Existing

Photosimulation of the view looking northwest from across North Lake Blvd.

North Tahoe Center SC
 288 North Shore Blvd
 Kings Beach 96143

verizon✓



Proposed

AGENDA ITEM NO. V. F.