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STAFF REPORT

Date: January 14, 2021
To: TRPA Hearings Officer
From: Paul Nielsen, Special Project Manger
Subject: AT&T Tahoe Mountain New Cellular Monopine Tower; El Dorado County, California; Assessor's Parcel Number 032-040-01; TRPA File NO. ERSP2018-1710

Summary and Staff Recommendation:

Staff recommends the Hearings Officer make the required findings based on this staff report and approve the project subject to the special conditions in the draft permit (Attachment A).

Project Description:

The project involves the construction of a new 117-foot-tall cellular communications tower on US Forest Service land located at the top of Tahoe Mountain in El Dorado County. The proposed tower is a monopine and similar in color and form to trees in the immediate vicinity to help ensure the tower does not result in impacts to scenic quality. The tower will serve as a colocation facility for up to four cellular carriers and the associated support equipment will occupy a 4,250 square foot lease area that will be enclosed by a fence. Associated equipment will consist of one 12-foot-tall equipment shelter, one emergency generator and a 1,000-gallon propane tank. The site is served by an existing unpaved road that begins at a gated access point on Deveron Way. The landowner is the US Forest Service which approved the project on October 22, 2020.

The applicant's objective for the communications site is to provide wireless hi-speed broadband internet to the surrounding community, cellular service to the nearby residences, and to the nearby public roadways. The surrounding area is identified as an underserved cellular residential area. The facility will also include FirstNet technology that will provide a designated highspeed wireless network to all public safety agencies during emergencies. The Federal Aviation Administration is not requiring the top of the proposed cell tower be illuminated since an air safety beacon exists at the top of a tree on Tahoe Mountain approximately one quarter of a mile away.

Water Quality Best Management Practices will be installed to capture stormwater runoff from the equipment pad and access road. Modifications to the road are needed to provide sufficient turning radii for construction and maintenance vehicles accessing the site, as well as emergency vehicles, and to achieve proper grades for capturing stormwater runoff. The project will also result in the removal of several small existing communications equipment sheds and antennas mounted to existing trees and replacement of power lines to meet current industry standards.

The project will result in the creation of 8,556 square feet of new land coverage which will be subject to a water quality mitigation fee. One 18" diameter at breast height (dbh) tree will be removed to accommodate the

equipment pad and eight additional trees (between 12" and 36" dbh) will be removed because of the reconfiguration of a small portion of the access road.

Site Description:

The monopine tower will be located on top of Tahoe Mountain, which is an undeveloped forested area, except for the existing communication facilities. The project area is 30.25 acres with land capability districts 1a, 3 and 5. Vegetation consists primarily of shrubs, pine and fir trees. Existing communications facilities include three small equipment shelters and antennas on a topped Jeffrey pine tree approximately 120' tall and on other trees in the vicinity. Electrical power lines that service the site are attached to live trees. The site is approximately .75 miles east of Fallen Leaf Lake and approximately one mile west of South Tahoe High School. The nearest residence is approximately .40 miles to the southwest. The proposed tower location is mostly level to gently sloping.

Issues and Concerns:

The proposed project involves a special use determination and therefore requires Hearing Officer review in accordance with Chapter 2, Subsection 2.2.2.a of the TRPA Code. All other issues are discussed in the following staff analysis:

Staff Analysis:

- A. Environmental Documentation: TRPA staff completed the Initial Environmental Checklist (IEC) and "Project Review Conformance Checklist and Article V(g) Findings" in accordance with Chapter 4, Subsection 4.3 of the TRPA Code of Ordinances. All responses contained on said checklists indicate compliance with the environmental threshold carrying capacities and TRPA staff recommends the Hearings Officer make a Finding of No Significant Effect. A copy of the completed checklists will be made available at the Hearings Officer hearing and at TRPA.
- B. Area Plan: The project is located within the Fallen Leaf North Plan Area Statement where transmission and receiving facilities are a special use.
- C. Land Coverage: The project will result in the creation of 8,556 square feet of new land coverage that is subject to a water quality mitigation fee.
- D. Height: The proposed height of the monopine tower is 117 feet. The original proposed lattice tower was 130 feet tall. One equipment shelter will be constructed within the enclosed equipment pad and will be 12 feet tall which is below the maximum allowed height of 24 feet. The tower height can be permitted subject to the Chapter 37 height findings below.
- E. Scenic Quality: The location of the proposed tower is at the top of Tahoe Mountain which is a prominent natural feature visible from many locations around the south shore of Lake Tahoe as well as Lake Tahoe. Many of these viewpoints are from designated TRPA scenic highway and shoreline scenic units, recreation areas and bike trails. The closest viewpoints are from the "Y" intersection of Highway 50 and 89 and just west of the City of South Lake Tahoe city limits on Highway 89 near Camp Richardson.

The original proposed cell tower was a lattice tower with four arms of the tower extending up to a height of 130 feet that would have allowed four sets of cellular panels on each tip of the tower. Due to the height, design and visibility of the original proposed tower staff determined the tower would result in a potentially significant effect to scenic quality from several viewpoints. As a result, the applicant

redesigned the proposed tower to be a monopine with a reduced height of 117 feet that will still allow for the colocation of four cellular service providers.

There are two trees within 60 feet of the proposed tower that are approximately 114 feet tall based on a tree survey which also identified many other trees of lower height in the immediate vicinity of the proposed tower. Staff visited the site and confirmed the accuracy of the survey and that the trees appear healthy. Since the tallest trees within and surrounding the project site will enable the proposed tower to blend in with the tree canopy and due to the proposed height, design, and color of the monopine tower, staff has concluded there will be no significant impacts to scenic quality.

F. Required Findings: The following is a list of the required findings as set forth in Chapters 4, 21, 30, 37 and 50 of the TRPA Code of Ordinances. Following each finding, agency staff has summarized the evidence on which the finding can be made.

1. Chapter 4 – Required Findings:

- (a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

The project is located within the Fallen Leaf North Plan Area Statement where transmission and receiving facilities are a special use. Policy PS-1.1 of the Regional Plan supports the upgrade and expansion of public service facilities consistent with the Land Use Element of the Regional Plan. There is no evidence showing the proposed project will have an adverse effect on the Land Use, Transportation, Conservation, Recreation, Scenic Quality, Public Service and Facilities, or Implementation sub-elements of the Regional Plan. The project, as conditioned, will not adversely affect the implementation of any applicable elements of the Regional Plan.

- (b) The project will not cause the environmental threshold carrying capacities to be exceeded.

TRPA staff has completed the “Article V(g) Findings” in accordance with Section 4.4.2 of the TRPA Code of Ordinances and incorporates the checklist into this analysis. All responses contained in the project indicate compliance with the environmental threshold carrying capacities. In addition, the applicant has completed an Initial Environmental Checklist (IEC), which is hereby incorporated into this analysis. The original project proposed a 130-foot-tall metal lattice cell tower which could have resulted in potentially significant effects to the scenic resource threshold. As a result, staff required the tower be redesigned to be a monopine and the height was lowered to 117 feet to reduce impacts to scenic quality to a less than significant level. There are no significant biological or cultural resources identified within the project area, and staff has concluded that the project will not have a significant effect on the environment. A copy of the completed checklist and IEC will be made available at the Hearings Officer hearing and at TRPA offices.

- (c) Wherever federal, state, or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TPRA Compact, the project meets or exceeds such standards.

The project, as conditioned, will not have an adverse impact on applicable air and water quality standards for the Region. The project includes the installation of water quality best management practices and will not result in the generation of additional daily vehicle trip ends.

2. Chapter 21 – Special Use Findings:

- (a) The project, to which the use pertains, is of such a nature, scale, density, intensity and type to be an appropriate use for the parcel on which, and surrounding area in which, it will be located.

The nature of the proposed project is consistent with the public service uses permissible within the plan area and will provide an important site for wireless technology providers to improve service in the area. The monopine will be located on undeveloped US Forest Service land and will be located .4 miles away from the nearest residence and approximately one mile from the nearest TRPA designated scenic corridor. The monopine tower is designed to simulate the appearance of a pine tree and integrate with the natural environment.

- (b) The project to which the use pertains, will not be injurious or disturbing to the health, safety, enjoyment of property, or general welfare of persons or property in the neighborhood, or general welfare of the region, and the applicant has taken reasonable steps to protect against any such injury and to protect the land, water, and air resources of both the applicant's property and that of surrounding property owners.

The tower will not be significantly visible or generate noise that could be heard outside the immediate vicinity of the monopine. The generator will be housed in an enclosure and will temporarily provide power during power outages only and the nearest occupied structure is approximately .4 miles away. The monopine will be partially visible from long distance viewpoints as discussed in the scenic analysis (see Section E above) but will not adversely affect views from the surrounding areas.

Visual simulations were prepared for the original 130-foot-tall lattice tower which demonstrated the structures would be significantly visible from scenic travel routes and as a result, staff requested the tower be redesigned to be a monopine and the proposed height of the tower was reduced to 117 feet to ensure the project would not result in impacts to scenic quality. The cell tower will resemble a tree of similar height and appearance to adjacent trees in the surrounding forest. A condition of approval requires the applicant to submit elevation drawings that include a random branch

pattern that mimics the branch pattern of adjacent trees. A condition of approval also requires the applicant to submit final color and material samples for monopine and equipment shelters to ensure there will be no significant impacts to scenic quality.

A radio frequency (RF) exposure report was prepared by an engineering firm and concluded the project complies with the Federal Communications Commission limits on RF exposure. The closest habitable structure is approximately .4 miles away. The project will provide important wireless communication service in emergencies to protect public health, safety, and welfare.

- (c) The project, to which the use pertains, will not change the character of the neighborhood or detrimentally affect or alter the purpose of the applicable planning area statement, community plan and specific or master plan, as the case may be.

The communication facility will improve wireless service in the area and will not change the character of the neighborhood due to its monopine design and distance away from the nearest neighborhood. Although the area is used for dispersed recreation, the tower will not be visible from nearby hiking/biking trails. The project is located within the Fallen Leaf North Plan Area Statement where transmission and receiving facilities are a special use. Policy PS-1.1 of the Regional Plan supports the upgrade and expansion of public service facilities consistent with the Land Use Element of the Regional Plan.

3. Chapter 30 – Land Coverage Findings:

- (a) The project is necessary for public health, safety, or environmental protection.

The cellular service coverage maps provided by the applicant indicate there are gaps in cell coverage in this area. The applicant's objective for the communications site is to provide wireless hi-speed broadband internet to the surrounding community, cellular service to the nearby residences, and to the nearby public roadways. The surrounding area is identified as an underserved cellular residential area. The facility will also include FirstNet technology that will provide a designated highspeed wireless network to all public safety agencies during emergencies.

- (b) There is no reasonable alternative, including relocation, that avoids or reduces the extent of encroachment in Land Capability Districts 1a, 1c, 2, or 3.

The project will create 76 square feet of land coverage in and capability district 1a and 4,112 square feet of new land coverage in land capability district 3. There is no opportunity to relocate land coverage or reduce the coverage footprint to reduce the need for additional land coverage in land capability districts 1a or 3.

- (c) The impacts of the coverage and disturbance are fully mitigated in the manner prescribed by subparagraph 30.5.1.B.5.

The applicant is required to water quality mitigation fee to mitigate the impacts of the new land coverage.

4. Chapter 37 - Additional Height Findings:

- (a) The function of the structure requires greater maximum height than otherwise provided for in this chapter.

Surrounding trees, waterbodies and mountainous topography cause cell signal degradation and scatter. Cell tower functionality is greatest if it extends up into the forest canopy and therefore requires greater maximum height than otherwise provided for in Chapter 37. However, the original tower was redesigned, and the height reduced to ensure impacts to the applicable scenic resource threshold did not occur. The monopine design, colors and antenna configuration will ensure the antennas are located within the monopine's branches to achieve a more realistic tree appearance.

- (b) The additional height is the minimum necessary to feasibly implement the project and there are no feasible alternatives requiring less additional height.

The height of the proposed monopine tower is the minimum required to enable the tower to provide adequate cell service from multiple carriers. Allowing multiple carriers to co-locate on the tower will eliminate the need to possibly construct additional towers for each carrier.

5. Chapter 50 – Additional Public Service Facility Findings:

- (a) There is a need for the project.

Cellular coverage maps show service gaps in the area and existing facilities are not meeting service needs associated with increased wireless data needs. This project will provide additional facilities to meet service needs in the area. The additional facilities will also provide improved wireless communication service in emergencies to help protect public health, safety, and welfare.

- (b) The project with the Goals and Policies, applicable plan area statements, and Code.

See rationale in Chapter 4 findings, above.

- (c) The project is consistent with the TRPA Environmental Improvement Program.

The project will not affect implementation of the EIP and will not cause TRPA's environmental thresholds to be exceeded. The color and shape of the monopine tower and color and material of equipment shelter will resemble other trees in the project vicinity which will also ensure there are no significant impacts to applicable scenic resource thresholds.

- (d) The project meets the findings adopted pursuant to Article V (g) of the Compact as set forth in Chapter 4: *Required Findings*, as they are applicable to the project's service capacity.

The project's service capacity is shown on wireless propagation maps submitted with the application and shows the areas to be served by the project.

Required Actions:

Staff recommends that the Hearings Officer take the following actions:

- 1) Approve the findings contained in this staff report, and a finding of no significant environmental effect.
- 2) Approve the project, based on the staff report, and record evidence, subject to the conditions contained in the attached Draft TRPA Permit (Attachment A).

Contact Information:

For questions regarding this project please contact Paul Nielsen, Special Project Manager at (530) 318.6025 or pnielsen@trpa.org.

Attachments:

- A. Draft Permit
- B. Project Plans

Attachment A

Draft Permit

Draft Permit

PROJECT DESCRIPTION: New Cellular Communications Tower APN: 032-040-01

PERMITTEE: AT & T Mobility FILE #: ERSP2018-1710

COUNTY/LOCATION: El Dorado / Tahoe Mountain, Latitude: North 38° 54' 37.91"
Longitude: West 120° 02' 09.43"

Having made the findings required by Agency ordinances and rules, the TRPA Hearings Officer approved the project on **January 21, 2021** subject to the standard conditions of approval attached hereto (Attachments Q) and the special conditions found in this permit.

This permit shall expire on **January 21, 2024** without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Commencement of construction consists of pouring concrete for a foundation. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action which delayed or rendered impossible the diligent pursuit of the permit.

CONSTRUCTION SHALL NOT COMMENCE UNTIL:

- (1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
- (2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
- (3) THE PERMITTEE OBTAINS APPROPRIATE COUNTY PERMIT. TRPA'S ACKNOWLEDGEMENT MAY BE NECESSARY TO OBTAIN A COUNTY PERMIT. THE COUNTY PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
- (4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

TRPA Executive Director/Designee

Date

PERMITTEES' ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of Permittee(s) _____ Date _____

(PERMIT CONTINUED ON NEXT PAGE)

**APN 032-040-01
FILE NO. ERSP2018-1710**

**SECURITY AND MITIGATION FEE
INFORMATION**

Water Quality Mitigation Fee (1): Amount \$15,914.16 Paid ____ Receipt No. _____

Project Security (2): Amount \$ 10,000.00 Type _____ Posted _____ Receipt _____

Security Administration Fee (3): Amount \$ _____ Posted _____ Receipt No. _____

Notes:

- (1) See Special Condition 2.D, below.
- (2) See Special Condition 2.E, below.
- (3) See TRPA Filing Fee Schedule

Required plans determined to be in conformance with approval: Date: _____

TRPA ACKNOWLEDGEMENT: The Permittee has complied with all pre-construction conditions of approval as of this date:

TRPA Executive Director/Designee Date

SPECIAL CONDITIONS

1. The permit authorizes the construction of a new 117-foot-tall cellular communications tower on US Forest Service land located at the top of Tahoe Mountain in El Dorado County. The tower will serve as a colocation facility for up to four cellular carriers and the associated support equipment will occupy a 4,250 square foot fenced in lease area. Associated equipment will consist of one 12-foot-tall equipment shelter, one emergency generator and a 1,000-gallon propane tank. The site is served by an existing unpaved road that begins at a gated access point on Deveron Way.

Water Quality Best Management Practices will be installed to capture stormwater runoff from the equipment pad and access road. Modifications to the road are needed to provide sufficient turning radius for vehicles accessing the site and to achieve proper grades for capturing stormwater runoff. The project will also result in the removal of several small existing communications equipment sheds and antennas mounted to existing trees and replacement of power lines to meet current industry standards. One 18" diameter at breast height (dbh) tree will be removed to accommodate the equipment pad and eight additional trees (between 12" and 36" dbh) will be removed due to the reconfiguration of a small portion of the access road.

2. Prior to permit acknowledgement, the following conditions of approval must be satisfied:
 - A. The site plan shall be revised to:
 - (1) Include temporary vegetation protection and erosion control measures.
 - (2) A note indicating that construction equipment, materials and vehicle staging areas will be restricted to existing disturbed areas.
 - (3) Reduce the proposed excavation depth to be less than five feet unless TRPA has approved excavation greater than five feet pursuant to a TRPA Groundwater Investigation Report or waiver.
 - (4) A note indicating that all construction and material staging areas, and areas disturbed by construction, shall be returned to a pre-project condition.
 - B. Revised elevation drawings to include the following modifications:
 - (1) Add note stating: "The monopine tower shall be constructed and maintained annually to ensure integration with the surrounding pine forest and shall emulate, to the greatest extent feasible, the natural appearance of the surrounding forest with respect to; bark, branch and needle color, trunk color, detail, and taper, branch and needle density, and branch taper."
 - (2) Add note stating: "Antenna sock covers shall match the surrounding forest color shall be installed on all antennas and maintained annually and/or replaced as needed."
 - C. The permittee shall submit final proposed monopine bark and needle samples. The material samples shall demonstrate the proposed monopine colors and textures will integrate with the surrounding pine forest and shall be subject to approval by TRPA staff. Final color and material samples shall also be submitted for the proposed equipment shelters.
 - D. The permittee shall submit a water quality mitigation fee of \$15,914.16 to mitigate the creation of 8,556 square feet of new land coverage based on a mitigation fee of \$1.86 per square foot of new coverage.
 - E. The Security required under Standard Condition I.2 of Attachment Q shall be \$10,000.00. Please see Attachment J, for accepted methods of positing the security.
 - F. The permittee shall submit a projected construction completion schedule. The construction schedule shall indicate that a TRPA inspection of the monopine, to confirm random branch pattern, color and materials are

consistent with the approval, is required after the tower is constructed on site but prior to final installation to the approved height.

- G. The Permittee shall submit final site and construction plans.
3. The monopine pole, tree branches, cell panels and sock covers shall be maintained in a condition consistent with requirements of this permit.
 4. All excavated materials not used on site shall be hauled away to a site approved by TRPA Environmental Compliance staff.
 5. All surplus construction waste materials shall be removed from the project area and deposited only at approved points of disposal.
 6. This approval is based on the permittee's representation that all plans and information contained in the subject application are true and correct. Should any information or representation submitted in connection with the project application be incorrect or untrue, TRPA may rescind this approval, or take other appropriate action.
 7. Any normal construction activities creating noise in excess of the TRPA noise standards shall be considered exempt from said standards provided all such work is conducted between the hours of 8:00 A.M. and 6:30 P.M.
 8. The permittee is responsible for insuring that the project, as built, does not exceed the approved land coverage figures shown on the site plan. The approved land coverage figures shall supersede scaled drawings when discrepancies occur.
 9. Construction and use of on-site concrete washout facilities is prohibited unless approved in advance, in writing, by the TRPA Environmental Compliance Inspector.
 10. This site shall be winterized in accordance with the provisions of Attachment Q by October 15th of each construction season.
 11. Grading is prohibited any time of year during periods of precipitation and for the resulting period when the site is covered with snow, or is in a saturated, muddy, or unstable condition.
 12. All Best Management Practices shall be maintained in perpetuity to ensure effectiveness which may require BMPs to be periodically reinstalled or replaced.
 13. Any change to the project requires approval (except for TRPA exempt activities) of a TRPA plan revision permit prior to the changes being made to any element of the project (i.e. structural modifications, grading, BMPs, etc.). Failure to obtain prior approval for modifications may result in monetary penalties.
 14. Temporary and permanent BMPs may be field-fit as appropriate by the TRPA inspector. Parking barriers may be required at discretion of the inspector.

15. The Standard Conditions of Approval listed in Attachment Q shall apply to this permit.
16. The generator shall be used to provide back-up power during power outages only except for routine maintenance purposes.
17. By acceptance of this permit the permittee agrees that return of the project security is contingent upon a TRPA determination that the monopine is built in accordance with the project approval and the simulations prepared for the monopine. If TRPA determines the visibility of the monopine is not consistent with the simulations prepared for the project, the permittee agrees to modify the monopine to achieve conformance with the simulations prepared for the project.
18. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board, its Planning Commission, its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or the Permittee.
19. Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

Attachment B

Project Plans

DEPT. APPROVED DATE: _____
 A.C. _____
 R.E. _____
 I.N.T. _____
 E.V.I.N. _____
 O.F.S. _____
 E.F. OUT _____

CEIL ENGINEERING
 1400 S. LAKE AVENUE, SUITE 100
 SAN ANTONIO, CALIFORNIA 95020
 TEL: (408) 424-1200
 FAX: (408) 424-1202



CVU02654
 TAHOE MOUNTAIN
 DEVERON WAY
 S. LAKE TAHOE, CA 96150
 SITE TOPOGRAPHY

Sheet
C-2

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF CEIL ENGINEERING AND THEIR SUCCESSORS. ANY REUSE, REPRODUCTION OR PUBLICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF CEIL ENGINEERING IS STRICTLY PROHIBITED. ANY ENGINEERING TITLE TO THESE PLANS AND/OR SPECIFICATIONS IS VOID WITHOUT PREJUDICE AND VISUAL CONTACT WITH THEM WITHOUT THE WRITTEN PERMISSION AND ACCEPTANCE OF THESE RESTRICTIONS.

BOUNDARY MONUMENTS BASED ON MONUMENTATION FOUND AND RECORDS REFERS TO THESE MONUMENTS IN A BOUNDARY SURVEY. THIS IS A SPECIALIZED SURVEY AND IS NOT TO BE CONSIDERED AS A SURVEY. MONUMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORDS. THIS SURVEY WAS CONDUCTED IN THE FIELD DURING THE FIELD SURVEY. NO EASEMENTS WERE INVESTIGATED OR IDENTIFIED. ANY EASEMENTS OF TITLE WERE NOT INVESTIGATED NOR SURVEYED. NO PROPERTY MONUMENTS WERE SET.

APN: 032-040-01-100
 PROPOSED MONOPINE TOWER LOCATION
 PROPOSED A.T. & T. MOBILITY LEASE AREA
 OVERHEAD SPAN
 PROPOSED 20' NON-EXCLUSIVE A.T. & T. MOBILITY UTILITY ROUTE
 PROPOSED 20' NON-EXCLUSIVE A.T. & T. MOBILITY UTILITY ROUTE
 EXISTING ROADWAY
 UNITED STATES FOREST SERVICE



SCALE 1" = 20'
 0 10 20 30 40 50 60 70 80 90 100

PROJECT AREA ENLARGEMENT

MARK	DATE	DESCRIPTION

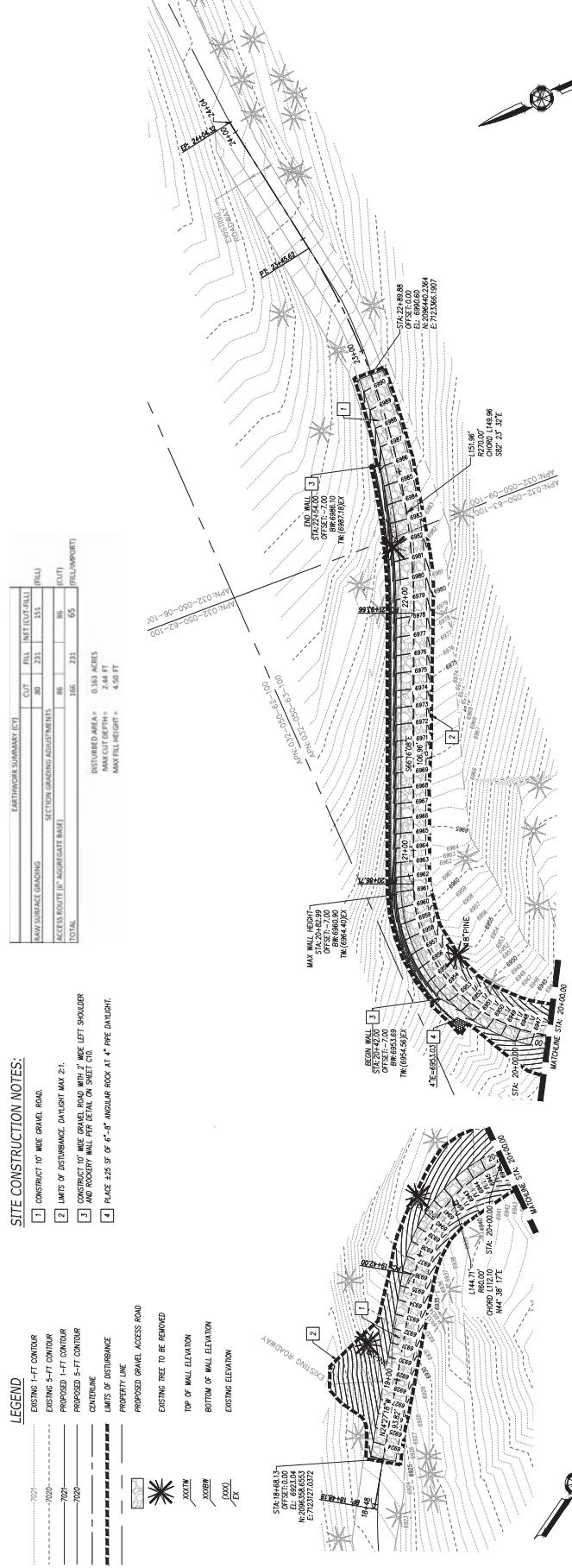
TALHOE MOUNTAIN
SOUTH LAKE TAHOE, CA 96150
EL DORADO COUNTY
APN: 032-040-01-100

PROJECT #: 217072
SCALE: 1"=20'
DATE: 07/21/2020

SHEET TITLE
PRELIMINARY ACCESS DRIVE
PLAN AND PROFILE

SHEET NUMBER
C11

ASSEMBLIES/NO. 1.A

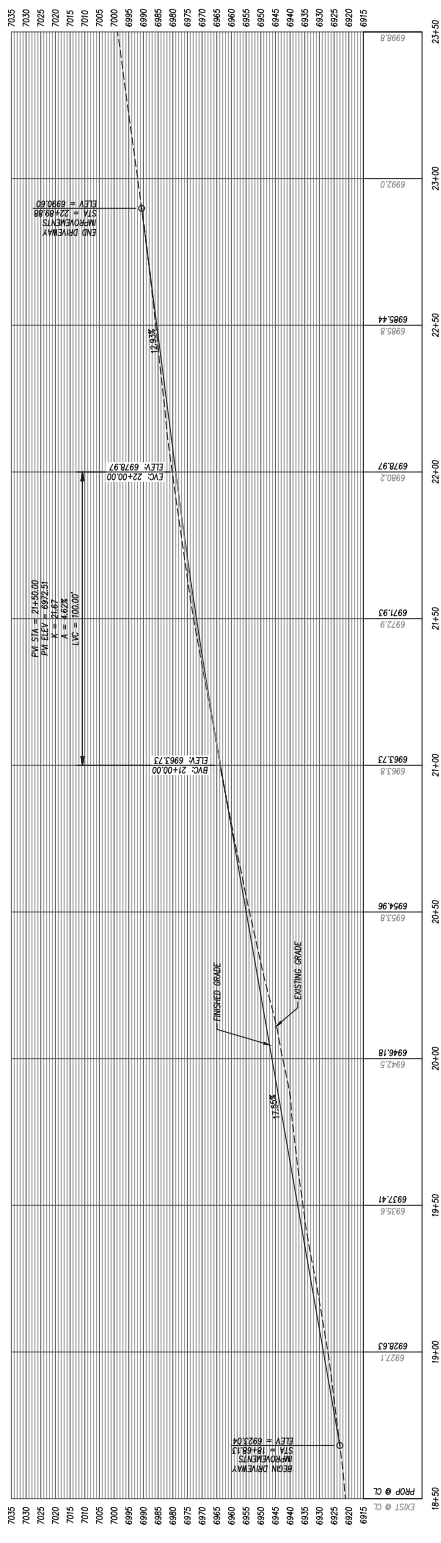


PLAN VIEW
HORIZONTAL SCALE: 1"=20'



- SITE CONSTRUCTION NOTES:**
1. CONSTRUCT 10' WIDE GRAVEL ROAD.
 2. UNITS OF DISTURBANCE DAUGHT MAX 2:1.
 3. CONSTRUCT 10' WIDE GRAVEL ROAD WITH 2' WIDE LEFT SHOULDER AND ROCKERY WALL FOR DETAIL ON SHEET C10.
 4. PLACE 2.25 SF OF 6"-8" ANGULAR ROCK AT 4" PIPE DRAINAGE.

- LEGEND**
- EXISTING 1'-FT CONTOUR
 - EXISTING 5'-FT CONTOUR
 - PROPOSED 1'-FT CONTOUR
 - PROPOSED 5'-FT CONTOUR
 - CENTERLINE
 - LIMITS OF DISTURBANCE
 - PROPERTY LINE
 - PROPOSED GRAVEL ACCESS ROAD
 - EXISTING TREE TO BE REMOVED
 - TOP OF WALL ELEVATION
 - BOTTOM OF WALL ELEVATION
 - EXISTING ELEVATION



ACCESS DRIVE PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=20'



LEGEND

- EXISTING 1-FIT CONTOUR
- PROPOSED 1-FIT CONTOUR
- EXISTING 5-FIT CONTOUR
- PROPOSED 5-FIT CONTOUR
- PROPERTY LINE
- LIMITS OF DISTURBANCE
- PROPOSED GRAVEL ACCESS ROAD
- EXISTING TREE TO BE REMOVED
- SPOT ELEVATION

SITE CONSTRUCTION NOTES:

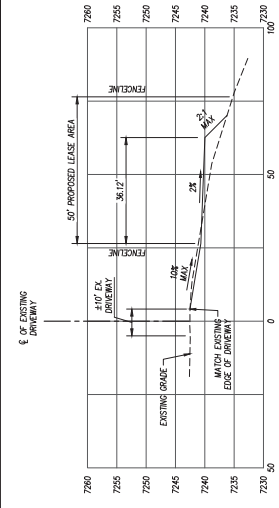
- LIMITS OF DISTURBANCE MAXIMUM 2:1.

EARTHWORK SUMMARY (CY)

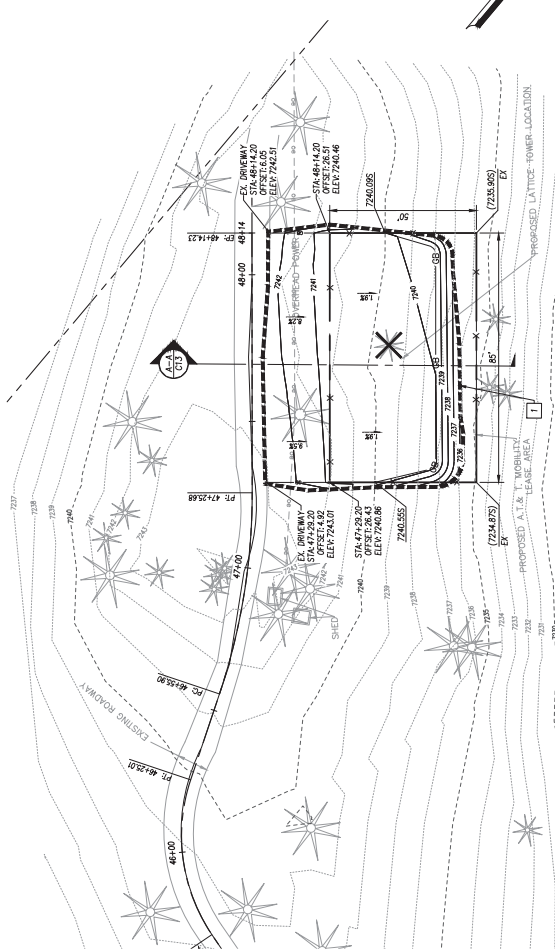
ITEM	CUT	FILL	NET (CUT-FILL)
RAW SURFACE GRADING	32	111	79
LEASE AREA (1) GRAVEL	98	39	59
EQUIPMENT STORAGE	11	11	0
FOUNDATION	11	11	0
TOTAL	152	172	20

DISTURBED AREA = 0.179 ACRES
 MAX CUT DEPTH = 1.40 FT
 MAX FILL HEIGHT = 3.02 FT

LEASE AREA EARTHWORK SUMMARY



SECTION A-A
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'



LEASE AREA PLAN VIEW
 HORIZONTAL SCALE: 1"=50'

REVISIONS

MARK	DATE	DESCRIPTION

TAHOE MOUNTAIN
 SOUTH LAKE TAHOE, CA 96150
 EL DORADO COUNTY
 APN: 032-040-01-100

PROJECT #: 217072
 SCALE: 1"=50'
 DATE: 07/2/2020

APPROVALS

DESIGNER:	CHK:
DRAWN BY:	IN CHARGE:
DATE:	DATE:

SHEET TITLE
 PRELIMINARY ACCESS DRIVE
 PLAN AND PROFILE

SHEET NUMBER
 C13

EROSION AND SEDIMENT CONTROL NOTES:

- 1. FINE NEEDLE ROLL PER CASCA SE-5
- 2. PROPOSED 2-FT CONTOUR
- 3. EXISTING 10-FT CONTOUR
- 4. PROPOSED 2-FT CONTOUR
- 5. PROPOSED 10-FT CONTOUR
- 6. LIMITS OF DISTURBANCE
- 7. PROPOSED GRAVEL ACCESS DRIVE/TURNAROUND
- 8. TREE PROTECTION FENCING

NOTE: CONSTRUCT PERMANENT EROSION CONTROL BY TRACKWALKING ALL DISTURBED AREAS SHALL BE COVERED WITH SEED AND STRAW MULCH AND MEETING ALL TYPICAL REQUIREMENTS.

LEGEND

- FINE NEEDLE ROLL PER CASCA SE-5
- EXISTING 2-FT CONTOUR
- EXISTING 10-FT CONTOUR
- PROPOSED 2-FT CONTOUR
- PROPOSED 10-FT CONTOUR
- LIMITS OF DISTURBANCE
- PROPOSED GRAVEL ACCESS DRIVE/TURNAROUND
- TREE PROTECTION FENCING

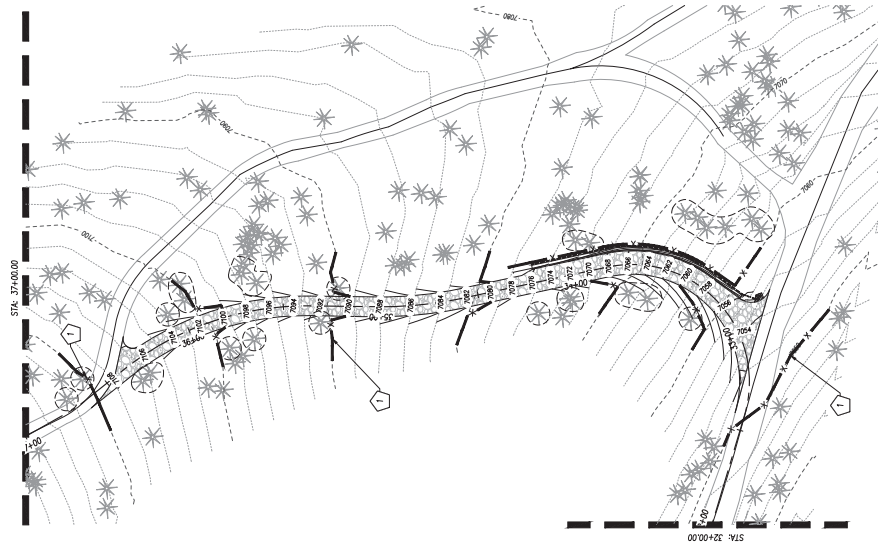
EROSION AND SEDIMENT CONTROL NOTES:

- 1. FINE NEEDLE ROLL PER CASCA SE-5
- 2. PROPOSED 2-FT CONTOUR
- 3. EXISTING 10-FT CONTOUR
- 4. PROPOSED 2-FT CONTOUR
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LEGEND

- FINE NEEDLE ROLL PER CASCA SE-5
- EXISTING 2-FT CONTOUR
- EXISTING 10-FT CONTOUR
- PROPOSED 2-FT CONTOUR
- PROPOSED 10-FT CONTOUR
- LIMITS OF DISTURBANCE
- PROPOSED GRAVEL ACCESS DRIVE/TURNAROUND
- TREE PROTECTION FENCING



REVISIONS

MARK	DATE	DESCRIPTION

CARTWRIGHT ENGINEERS
 4188 Hughes Blvd., Suite 300
 Concord, CA, California 94518
 (916) 938-0501
 www.cartwrightengineers.com
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TAHOE MOUNTAIN
 SOUTH LAKE TAHOE, CA 96150
 EL DORADO COUNTY
 APN: 032-040-01-100

PROJECT #: 217072
 SCALE: 1"=30'
 DATE: 07/21/2020

APPROVALS
 DESIGNER: [Signature]
 CHECKER: [Signature]
 INCHARGE: [Signature]
 SUPERVISOR: [Signature]

SHEET TITLE
 PRELIMINARY EROSION AND
 SEDIMENT CONTROL PLAN

SHEET NUMBER
C14

ASSEMBLY NO. 1/4

TAHOE MOUNTAIN
DEVORON WAY
S. LAKE TAHOE, CA
96150



PROJECT NO: 1059516
DRAWN BY: CES
CHECKED BY: CES

NO.	DATE	DESCRIPTION
1.	10/27/18	ISSUE
2.	12/03/18	ISSUE
3.	02/22/19	ISSUE
4.	06/26/19	ISSUE
5.	10/18/19	ISSUE
6.	07/27/20	ISSUE

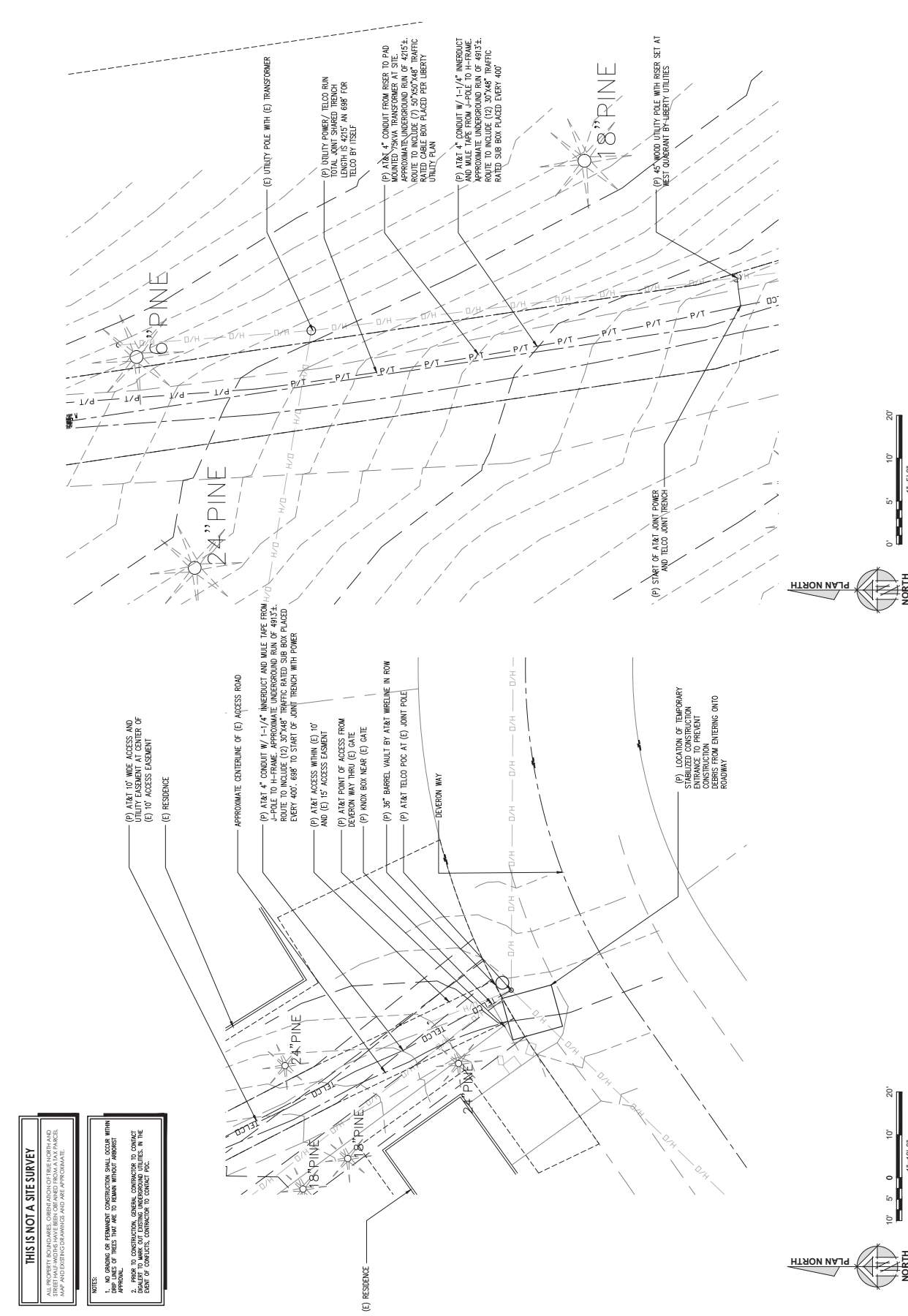


THIS PLAN IS VALID FOR THE PROJECT AND SITE ONLY. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT ONLY.

ADAPTIVE RE-USE ENGINEERING
Craig Horner, PE 84674
3172 LEANHA WAY
SACRAMENTO, CA 95821
craig@adaptiveuse.com

SHEET TITLE:
ENLARGED POINT OF ACCESS PLAN & ACCESS PLAN
ENLARGED POC PLAN

SHEET NUMBER:
A-1.2



1 ENLARGED TELCO POF AND POINT OF ACCESS PLAN
1"=3'-0"

2 ENLARGED POC PLAN
1"=3'-0"

SITE TYPE: MONOPINE/SITE BUILT EQUIPMENT BUILDING

SITE TYPE: MONOPINE/SITE BUILT EQUIPMENT BUILDING

SITE TYPE: MONOPINE/SITE BUILT EQUIPMENT BUILDING

SITE TYPE: MONOPINE/SITE BUILT EQUIPMENT BUILDING

SITE TYPE: MONOPINE/SITE BUILT EQUIPMENT BUILDING

SITE TYPE: MONOPINE/SITE BUILT EQUIPMENT BUILDING

SITE TYPE: MONOPINE/SITE BUILT EQUIPMENT BUILDING

THIS IS NOT A SITE SURVEY

ALL PROPERTY BOUNDARIES, ORIENTATION OF THE NORTH AND LOCATION OF EXISTING UTILITIES, AND ALL OTHER INFORMATION SHOWN ON THIS PLAN ARE BASED ON THE RECORD MAP AND SURVEY DATA AND ARE APPROXIMATE.

- NOTES:
- NO GRADING OR PERMANENT CONSTRUCTION SHALL OCCUR WITHIN APPROXIMATE 10' BUFFER ZONE OF ANY EXISTING OR PROPOSED UTILITY LINE.
 - PROVIDE TO CONSTRUCTION GENERAL CONTRACTOR TO CONTACT DEPARTMENT TO MARK OUT EXISTING UNDERGROUND UTILITIES IN THE EVENT OF CONFLICTS. CONTRACTOR TO CONTACT POC.



PREPARED FOR:
TAHOE MOUNTAIN
 DEVERON WAY
 S. LAKE TAHOE, CA
 96150



ART/SPEC NO.: C-162654
 PROJECT NO.: 10995516
 DRAWN BY: CIS
 CHECKED BY: CIS

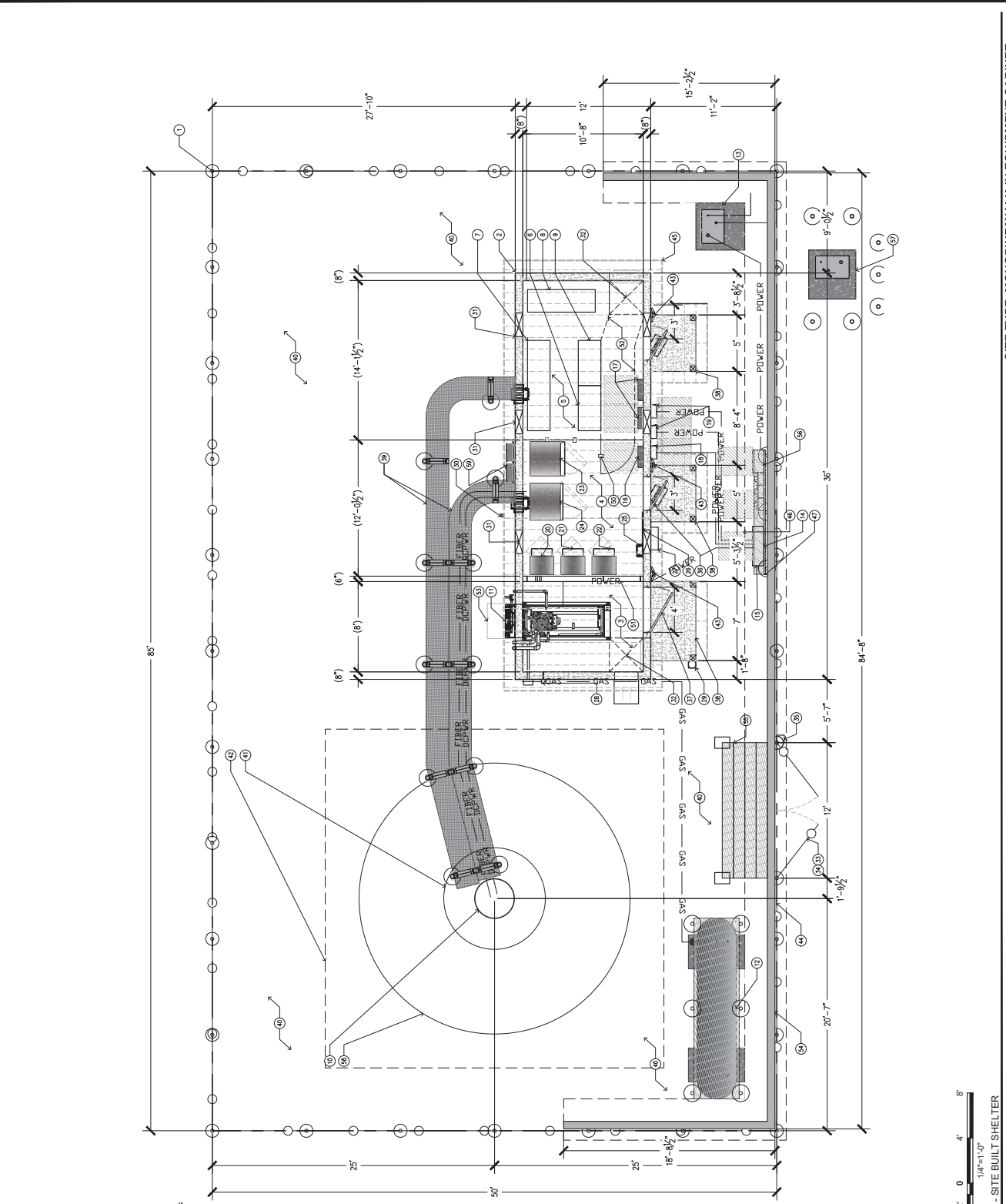
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3	01/09/19	REVISED
4	02/06/19	REVISED
5	02/22/19	REVISED
6	03/14/19	REVISED
7	03/27/19	REVISED
8	04/10/19	REVISED
9	04/23/19	REVISED
10	05/06/19	REVISED
11	05/19/19	REVISED
12	06/01/19	REVISED
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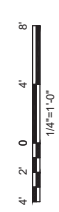
PROJECT:
ADAPTIVE RE-USE ENGINEERING
 312 LANTANA WAY
 SACRAMENTO, CA 95821
 craighomer@ygnco.com

SHEET TITLE:
EQUIPMENT AREA PLAN

SHEET NUMBER:
A-2



- KEYNOTES**
1. SEE SHARED FENCE AREA
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1 EQUIPMENT ENCLOSURE PLAN - SITE BUILT SHELTER
 7/23/22

DATE PLOTTED: 7/23/22 10:00 AM

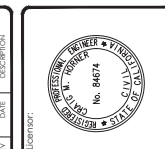
TAHOE MOUNTAIN
DEVON WAY
S. LAKE TAHOE, CA
96150



WIRELESS GROUP LLC
Engineering • Network Design

PROJECT NO: 10995516
DRAWN BY: CJS
CHECKED BY: CJS

NO.	DATE	DESCRIPTION
1	10/17/18	ISSUE
2	10/17/18	ISSUE
3	10/17/18	ISSUE
4	10/17/18	ISSUE
5	10/17/18	ISSUE
6	10/17/18	ISSUE



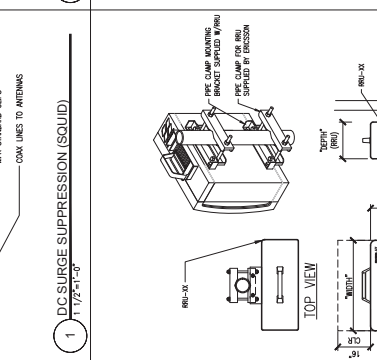
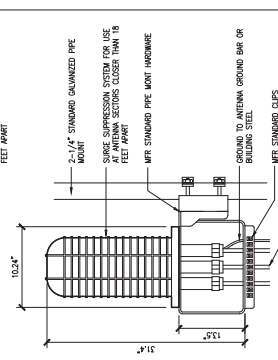
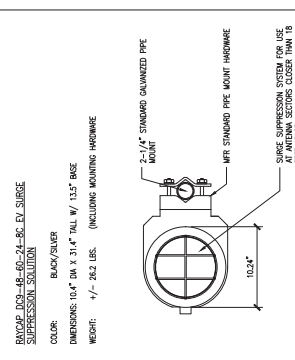
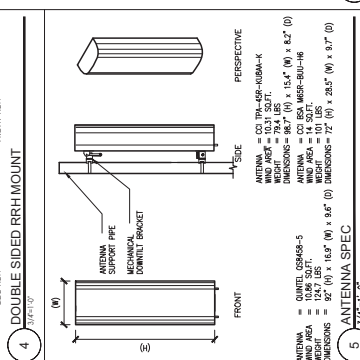
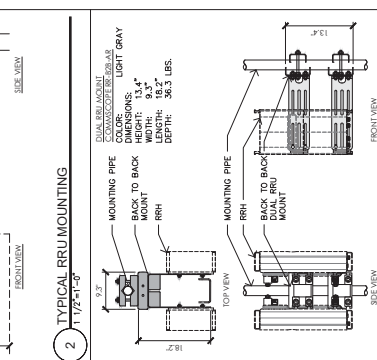
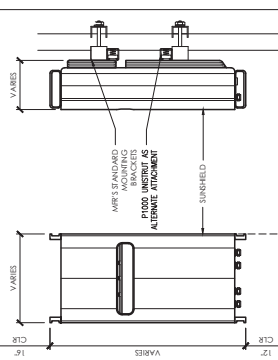
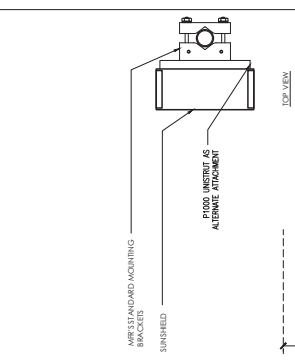
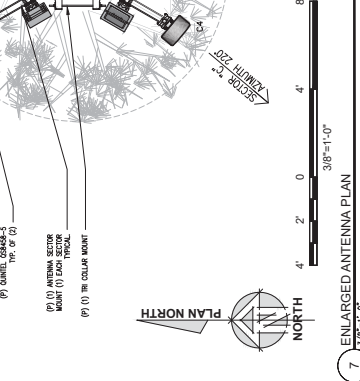
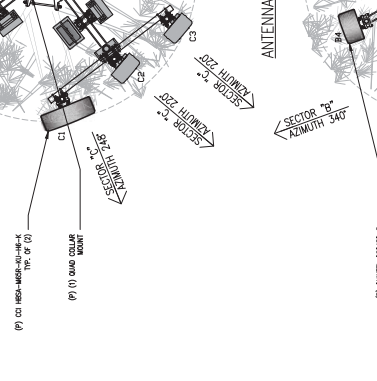
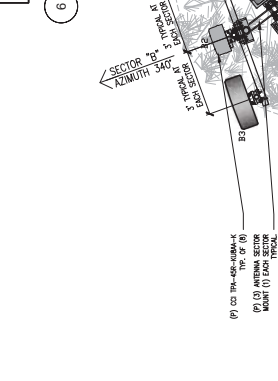
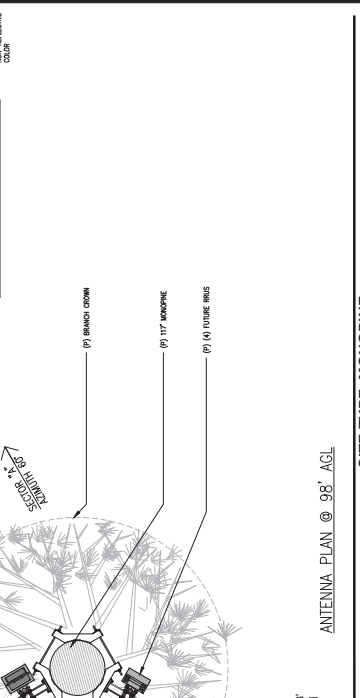
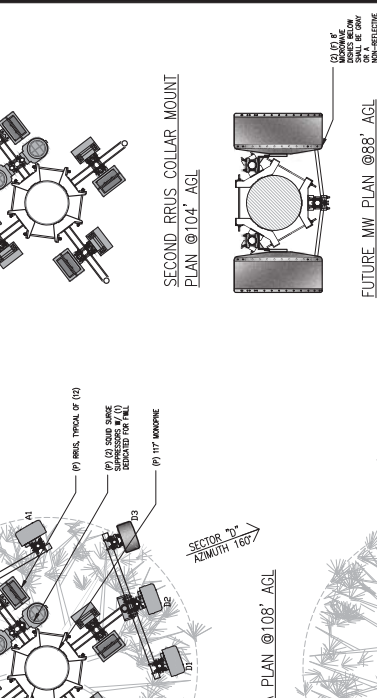
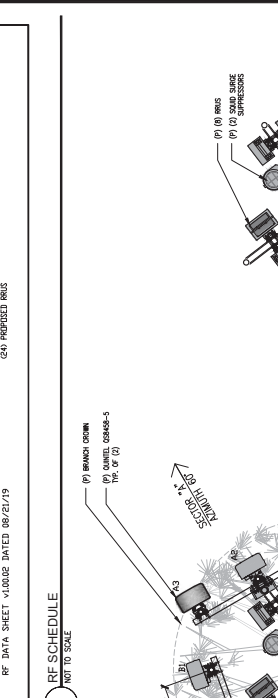
ADAPTIVE RE-USE
ENGINEERING
Craig H. Monopine, PE 84674
3122 LANTANA WAY
SACRAMENTO, CA 95821
craigmonopine@yahoo.com

ANTENNA PLAN & DETAILS
SHEET NUMBER: A-3

RF SCHEDULE

SECTOR	ANTENNA MODEL NO.	TECHNOLOGY	AZIMUTH CENTER	ASU COUNTS	TWA	FIBER USER	SPAN LENGTH	FIBER NO.
A1	TH-48-UBM-K	700/850/PCS/A452/3	65°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 1
A2	TH-48-UBM-K	700/850/PCS/A452/3	65°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 1
A3	SR48-5	850	65°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 1
B1	TH-48-UBM-K	700/850/PCS/A452/3	340°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 2
B2	TH-48-UBM-K	700/850/PCS/A452/3	340°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 2
B3	SR48-5	850	340°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 2
C1	TH-48-UBM-K	700/850/PCS/A452/3	330°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 3
C2	TH-48-UBM-K	700/850/PCS/A452/3	330°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 3
C3	SR48-5	850	330°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 3
D1	TH-48-UBM-K	700/850/PCS/A452/3	160°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 4
D2	TH-48-UBM-K	700/850/PCS/A452/3	160°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 4
D3	SR48-5	850	160°	± 108°-0'	N/A	± 140'	± N/A	TRUNK 4

RF DATA SHEET - 158486 DATE: 08/21/19



ANTENNA SPEC

TYPE	HEIGHT	WIDTH	DEPTH	WEIGHT
RRUS-4478 R14	18.2"	13.2"	7.9"	56.1 LBS
RRUS-4478 B15	18.2"	13.2"	7.9"	56.1 LBS
RRUS-4415 B25	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B30	16.6"	13.5"	4.8"	4.7 LBS
RRUS-4415 B35	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B40	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B45	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B50	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B55	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B60	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B65	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B70	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B75	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B80	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B85	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B90	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B95	16.6"	13.5"	6.3"	46.2 LBS
RRUS-4415 B100	16.6"	13.5"	6.3"	46.2 LBS

TAHOE MOUNTAIN
DEVON WAY
S. LAKE TAHOE, CA
96150

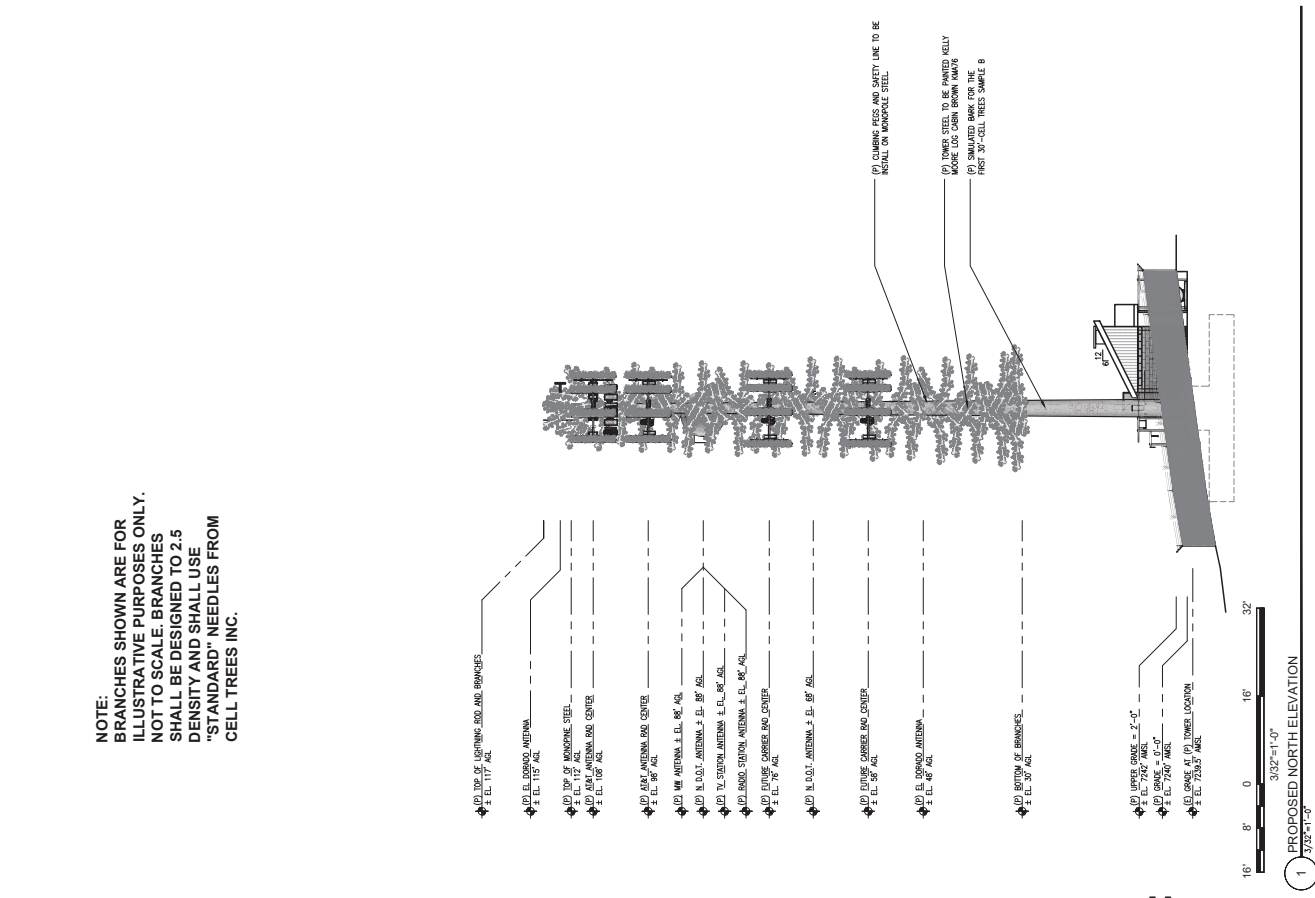
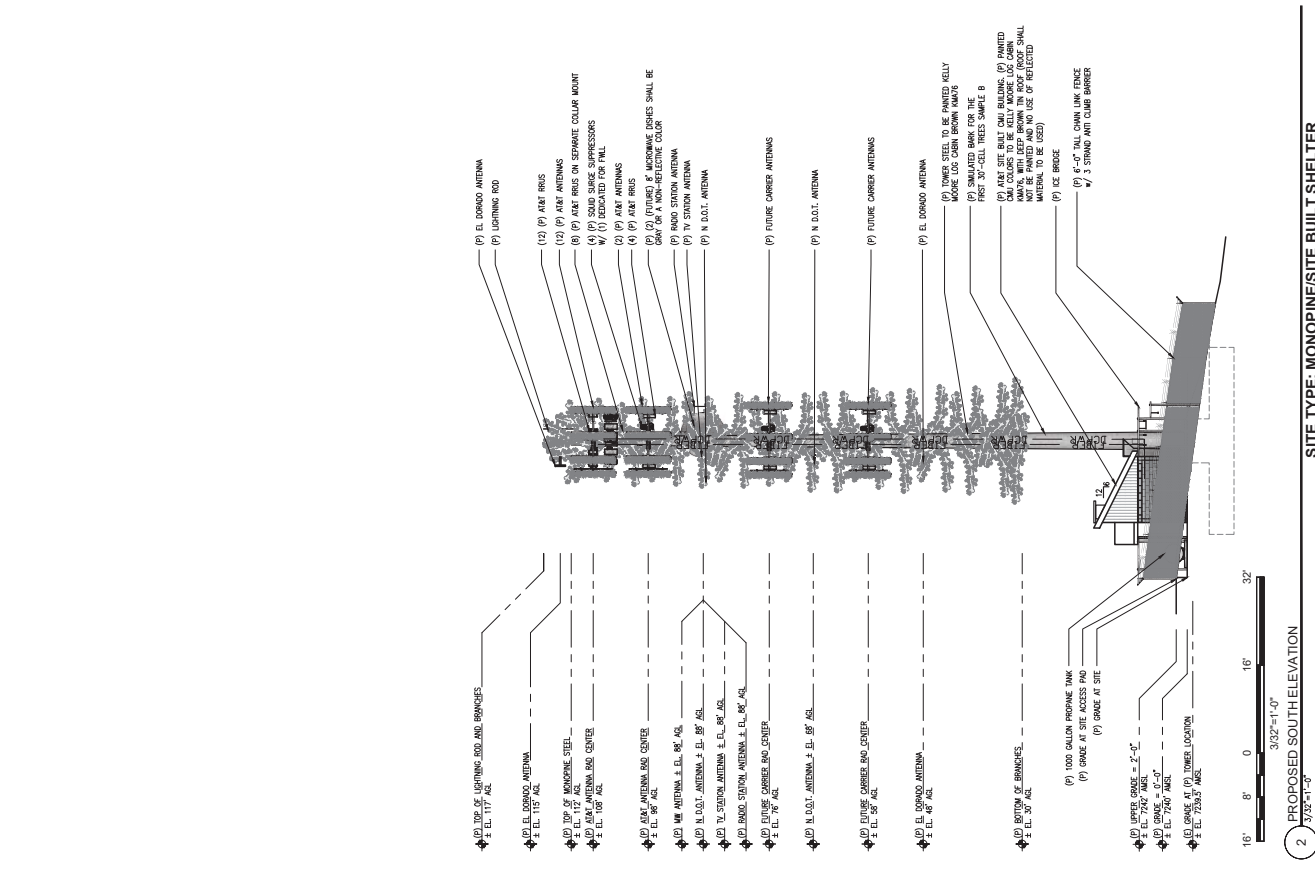


PROJECT NO:	CY162654
DRAWN BY:	CIS
CHECKED BY:	CIS
DATE:	



ADAPTIVE RE-USE ENGINEERING
Craig Homer, PE 84674
3112 LANIHA WAY
SACRAMENTO, CA 95821
craig@homerengineering.com

PROPOSED MONOPINE NORTH-SOUTH ELEVATION
SHEET NUMBER: A-4.1



NOTE:
BRANCHES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE. BRANCHES SHALL BE DESIGNED TO 2.5 DENSITY AND SHALL USE "STANDARD" NEEDLES FROM CELL TREES INC.

SITE TYPE: MONOPINE/SITE BUILT SHELTER

PROPOSED SOUTH ELEVATION
3/12/21-1/2'

PROPOSED NORTH ELEVATION
3/12/21-1/2'

TAHOE MOUNTAIN
DEVON WAY
S. LAKE TAHOE, CA
96150



ARTIST NO: CY16254
PROJECT NO: 10995516
DRAWN BY: CJS
CHECKED BY: CJS

NO.	DATE	DESCRIPTION
0	10/17/18	ISSUE
1	12/17/18	ISSUE
2	07/07/19	ISSUE
3	08/26/19	ISSUE
4	12/11/19	ISSUE
5	07/22/20	ISSUE



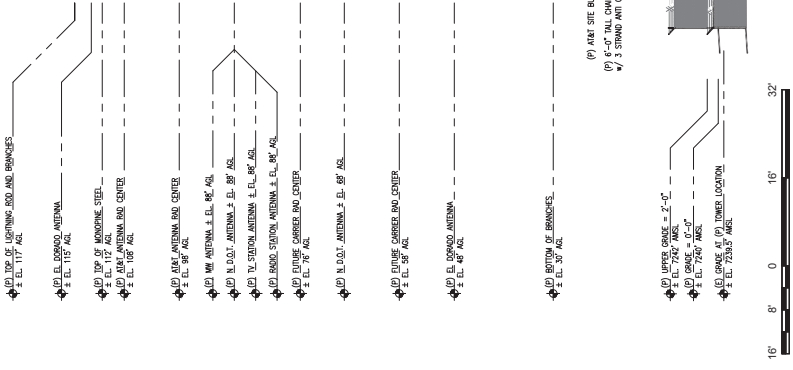
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ADAPTIVE RE-USE ENGINEERING
Craig Horner, PE 84674
312 LENA WAY
SACRAMENTO, CA 95821
craighorner@adaptive.com

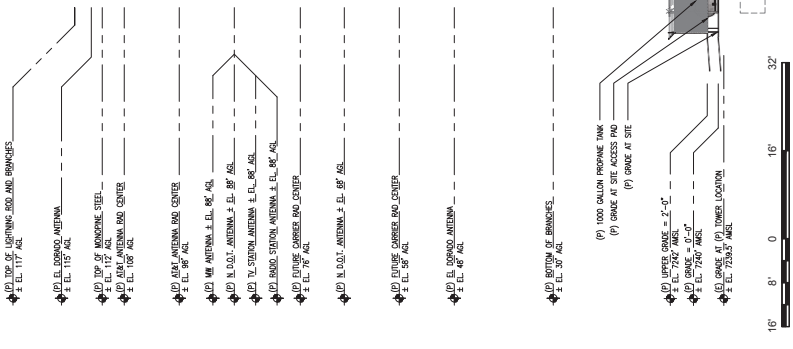
SHEET TITLE:
PROPOSED MONOPINE WEST-ELEVATION

SHEET NUMBER:
A-4.2

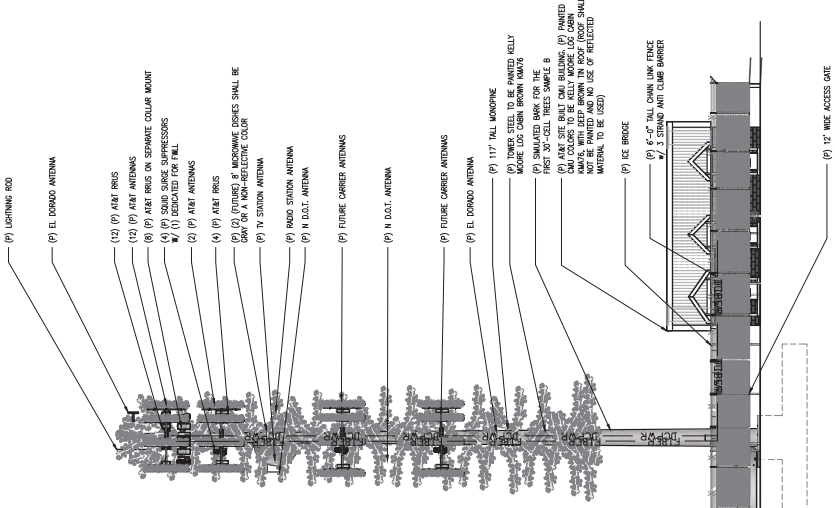
NOTE:
BRANCHES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO SCALE. BRANCHES SHALL BE DESIGNED TO 2.5 DENSITY AND SHALL USE "STANDARD" NEEDLES FROM CELL TREES INC.



1 PROPOSED EAST ELEVATION
3/32"=1'-0"
3/32"=1'-0"



2 PROPOSED WEST ELEVATION
3/32"=1'-0"
3/32"=1'-0"



SITE TYPE: MONOPINE/SITE BUILT SHELTER

DATE: 07/22/20