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## STAFF REPORT

Date: June 17, 2020  
To: TRPA Governing Board  
From: TRPA Staff  
Subject: Lake Tahoe Unified School District-Boys and Girls Club Building, 1100 Lyons Avenue, City of South Lake Tahoe, California, APN 025-010-065, TRPA File Number ERSP2019-1596

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### Staff Summary and Recommendation:

TRPA staff recommends that the Governing Board make the required findings and approve the proposed project based on this staff report and the draft permit. Staff requests Governing Board action on the proposed project and a mitigated finding of no significant effect.

### Required Motions:

To approve the proposed project, the Board must make the following motions, based on this staff report and the evidence in the record:

- 1) A motion to approve the required findings (see Attachment B) contained in this staff report, including a mitigated finding of no significant effect; and
- 2) A motion to approve the proposed project subject to the conditions contained in the draft permit (see Attachment C).

In order for motions to pass, an affirmative vote of 5-9 (5 California and 9 total) of the Board is required.

### Project Description:

The proposed public service project involves the replacement of 5,760 square feet of portable classrooms on the Al Tahoe Elementary/South Tahoe Middle School project area with the construction of a new 14,400 (+/-) square foot single-story building to house the Boys and Girls Club (B&GC) "Clubhouse". The new building will be built at the rear of the existing Al Tahoe Elementary building and connected to that existing building by a covered walkway. The project will be an enhancement of the existing facilities and constructed pursuant to a long-term lease between the Lake Tahoe Unified School District (District) and the B&GC, which prescribes joint use of the new structure. The new structure will provide specialized spaces for STEM, Art, Classroom and Recreational activities, providing appropriate separation and supervision of age/grade levels during joint occupancy.

The proposed use, which could be considered a Day Care Center/Preschool or Social Service Organization land use as defined in Table 21.4-A of the TRPA Code of Ordinances, will instead fall under the land use definition of Schools – K-12. See Section B in the Staff Analysis section below for a discussion of land use.

This project also includes new and relocated land coverage, site grading, tree removal, parking and driveway modifications, landscaping, and water quality protection best management practice (BMPs). The proposed BMPs will connect with the previously approved BMP retrofit project (BMPP2019-0010), which was designed and sized to include the anticipated Boys and Girls Club project. For more information, please see the project description provided by the applicant (Attachment A).

Site Description:

The proposed construction site is immediately north of, and adjacent to, the existing Al Tahoe Elementary School building in South Lake Tahoe, near the corner of Lyons Avenue and Rufus Allen Blvd. The site is primarily developed high capability Class 7 land which is partially forested with Jeffrey pine, sage and bitterbrush, and is nearly level. The project is not visible from any TRPA scenic travel routes or Lake Tahoe.

Issues:

The proposed project requires Governing Board approval in accordance with Subsection 2.2.2.D.1 of the TRPA Code of Ordinances because the proposed public service building exceeds 3,000 square feet of new interior floor area. All other issues are discussed in the following staff analysis.

Staff Analysis:

A. Environmental Documentation:

TRPA staff reviewed the Initial Environmental Checklist (IEC) provided by the Applicant and completed the "Project Review Conformance Checklist and Article V(g) Findings" in accordance with Chapter 4, Subsection 4.3 of the TRPA Code of Ordinances. All responses contained on said checklists indicate compliance with the environmental threshold carrying capacities and TRPA staff recommends the Governing Board make a Mitigated Finding of No Significant Effect. A copy of the completed checklists will be made available online with the project file at [parcels.laketahoeinfo.org](http://parcels.laketahoeinfo.org).

B. Community Plan:

The project is located within the Bijou/Al Tahoe Community Plan, District 4 – Town Center. "Day Care Centers/Preschools", "Social Service Organizations" and "Schools – K-12" are each "allowed" public service land uses in this community plan. The proposed use has aspects of all of these uses, but for permitting purposes, it is being considered as "Schools – K-12" for the following reasons:

- The new building will be an enhancement of existing programs on the campus, which have been operating onsite since 1997, initially in the gymnasium of the South Tahoe Middle School until 2007, and then out of the Al Tahoe Elementary School building.
- The structure will be constructed within the campus of the existing Al Tahoe Elementary School and South Tahoe Middle School, on property owned by the Lake Tahoe Unified School District (District) pursuant to a long-term land lease. The lease between the District and the B&GC, prescribes joint use of the new structure, and at the end of the lease, the building will become property of the District.
- The Boys and Girls Club has been in partnership with the Lake Tahoe Unified School District (LTUSD) since 2007 to receive the After-School Education and Safety Grant (ASES) from the State. The grant comprises approximately 33% of the Club's annual revenue. ASES requires that the B&GC provide one hour of homework assistance Monday through

Thursday and two hours of enhancement programs. All funding and reporting with respect to this program is done in direct partnership with LTUSD.

- The new structure will provide specialized spaces for STEM, Art, Classroom and Recreational activities, providing appropriate separation and supervision of age/grade levels during joint occupancy.

Provided the Governing Board has approved the amendment of the Bijou/Al Tahoe Community Plan to expand the applicability of an existing special height standard in District 4 available to the Lake Tahoe Community College to include the Lake Tahoe Unified School District property (TRPA Amendment PLAN2020-0002), then this project, including the proposed roof pitch, is consistent with all applicable design standards of the community plan.

The Bijou/Al Tahoe Community Plan requires that all new and modified development conform to City of South Lake Tahoe Design Review Standards. Normally this review would be completed by the City, but since the City has no jurisdiction over the District (which is a special district of the State of California) it declined to comment on the project and TRPA reviewed the project for conformance with City design standards.

The structure will have a roof pitch of 2:12, which is less than the standard roof pitch of between 7:12 and 12:12 that is generally required within District 4 of the Bijou/Al Tahoe Community Plan. However, the recently amended special standard for District 4 allows TRPA to address height issues at the Lake Tahoe Community College and Lake Tahoe Unified School District project areas on an individual project basis. TRPA interprets this to include deviation from the community plan's roof pitch standards.

The proposed design incorporates shed-style architecture, using low-pitched roofs (2:12 to 3:12) with clerestory windows. This design was selected to provide solar access to the interior of the building, which can help reduce energy demands from lighting and heating, and to meet the Collaborative for High Performance Schools (CHPS) sustainable performance requirements of the Game Room Space. The Game Room is a required programmatic function of all Boys and Girls Clubs. The Game Room functions as a multipurpose room that supports activities that require high ceilings such as performances, projected presentations, ping pong and badminton. These active programs are critical in the winter months in the Tahoe region for the students' health and wellness development. The CHPS sustainability criteria is a requirement of the Lake Tahoe School District School board, which mandates all new buildings on district property to meet this criteria. The CHPS criteria that drives the elevated roof and ceiling height of the game room are access to daylight and exterior views, which is created by raising the roof and integrated the clerestory glazing on the north end of the game room to provide these two elements to the internally located space. To incorporate a steeper roof pitch and still maintain the necessary space for the interior Game Room would result in a much taller building that would not meet TRPA height standards, and would have a much larger visual presence in the area.

#### Traffic, Air Quality and Parking:

Based on a submitted analysis, the existing Al Tahoe Elementary School building requires 32 spaces, and the new BG&C building needs 16 spaces for a total of 48 required parking spaces. The existing parking area for the Al Tahoe Elementary School building has 53 parking spaces, therefore, no additional parking is required for the new building.

DVTE Option 1:

The new B&GC building will accommodate the existing joint Boys and Girls Club/LTUSD programs and will not expand the number of students attending the program. The B&GC program moved into the Al Tahoe Elementary building in 2007 when the elementary school closed and has shared space there with the multiple District-run preschool and T-K programs for pre-kindergarten children. However, since the daily vehicle trip ends (DVTE) were not captured specifically for the Boys and Girls Club at that time, the occupation of a new structure onsite results in the need to analyze and mitigate any DVTE specifically associated with this program. The program maximum capacity has been 227 students. The majority of the students that attend the programs (~75%) are onsite students attending the South Tahoe Middle School or the programs at the Al Tahoe Elementary building. These students walk to the building and do not create additional daily vehicle trip ends (DVTE) to the project site. The remaining 25% of students (57) are bused to the program after school from the other six schools within the District. No drop-off of students will occur from private vehicles. Daily vehicle trip ends (DVTE) associated with the new B&GC building will, therefore, be closely associated with existing student vehicle trips associated with their daily schools. For this reason, DVTE calculation was based on the number of students the program is designed to service, but reduced to capture only the 25% of students arriving by bus who will be picked up by parents from the B&GC at the end of the day instead of the school they attend during the day.

Trip Calculation Associated with BG&C Building:

Students arriving: 57 from offsite schools transported by six buses = 6 DVTE arriving

Students departing: 57 at a trip rate of 1.89 trips per person/2 = 54 DVTE departing

Total trips associated with B&GC (6 + 54) = 60 DVTE

The additional 60 DVTE is defined as an insignificant increase in Subsection 65.2.3.C of the TRPA Code and no TRPA Code traffic analysis was required for this reason. The trip generation rates are published by the International Traffic Engineers (ITE).

C. Land Coverage:

The construction site is located entirely on high capability, Class 7 land. The preliminary plans indicate an increase in land coverage of approximately 9,815 square feet of new hard and soft land coverage for the project, all of which will come from land coverage that has previously been banked onsite. All proposed land coverage will be hard, except for some soft coverage (synthetic turf) proposed around a children's play area.

Some land coverage for the project is relocated from within the project area and the necessary Code findings for this relocation are included below. The District project area is 2,164,061 square feet in size and has been verified as Land Capability Class 7. The project area has 109,447 square feet of banked land coverage, and 389,096 square feet of excess land coverage that remains to be mitigated with this and future projects. Final land coverage calculations are conditioned in the draft permit and an excess coverage mitigation fee or coverage retirement shall be assessed based on the structural construction cost of the project.

D. Height:

The proposed height of the new building is approximately 28-feet, 6-inches from the lowest point on natural grade to highest roof pitch. Maximum allowable height per Table 37.4-1 of the TRPA is 26-feet, 5-inches based on a building site cross-slope of 0-percent and a dominant roof pitch of



2:12. As a public service project, the building also qualifies for up to four feet of additional height (30 feet, 5 inches) by demonstrating that: 1) the structure will not extend above the forest canopy when viewed from Highway 50; 2) that the structure is located in a mature forested area and will not interfere with existing views when either onsite or offsite of the project area; and 3) that the access to daylight and exterior views created by raising the roof and adding high windows to the multi-purpose Game Room, which is a required programmatic function of all Boys and Girls Clubs, necessitates the high ceiling of this single-story structure.

Contact Information:

For questions regarding this project please contact Theresa Avance, Senior Planner, Current Planning, at (775) 589-5224 or [tavance@trpa.org](mailto:tavance@trpa.org).

Attachments:

- A. Project Description Provided by the Applicant
- B. Required Findings/Rationale
- C. Draft Permit
- D. Project Plans

Attachment A

Project Description Provided by the Applicant

## **Al Tahoe Elementary School - Boys & Girls Club Clubhouse Project**

### **Project Description**

The proposed project is the construction of a new Boys & Girls Club (B&GC) “Clubhouse” at the existing Al Tahoe Elementary School campus. The new building is a single story structure which will be built at the rear of the existing school building and connected to that existing building by a covered walkway. Previously, the site was a full public elementary school. However declining enrollment and budget reductions lead to its conversion to a site for special educational programs in 2007.

The Al Tahoe School campus is located on a very large parcel which it shares with South Tahoe Middle School, the school district administrative offices, bus garage and warehouse. The parcels fronts on both Lake Tahoe Boulevard and Al Tahoe Boulevard (major streets) but the location of the proposed project is at the rear of the parcel at the corner of Lyons Avenue and Rufus Allen Blvd. The building site is not visible from either of the major streets.

The Al Tahoe school site has continued to function as a school, albeit in a diverse manner, since the main school was closed. In addition to B&GC, the site hosts Head Start Pre-School, Appleseed Pre-School, Lake Tahoe Unified School District (LTUSD) Special Needs Pre-School, LTUSD Staff Pre-School, Tahoe Parents Pre-School, UC Nutrition Outreach (which provides nutrition programs to LTUSD), Tahoe Performing Arts (which provides arts programs to LTUSD) and until this past year, the Bridge Learning Academy and the LTUSD Independent Learning Academy. Furthermore, in 2019 the site returned to its role as a elementary school site when it hosted Sierra House Elementary students when their campus was damaged by fire.

The B&GC of Lake Tahoe has had a partnership with LTUSD since inception (1992), and that relationship was solidified when the Club started renting LTUSD facilities, and partnered with them to receive the After-School Education and Safety Grant (ASES) from the State. The grant compromises approximately 33% of the Club's annual revenue. ASES requires that the B&GC provide one hour of homework assistance Monday through Thursday and two hours of enhancement programs. All funding and reporting with respect to this significant program is done in direct partnership with LTUSD. The B&GC has been situated in the Al Tahoe School since 2007 and prior to that the Club was held in the STMS gymnasium.

The new building will be an enhancement of the existing facilities and constructed pursuant to a long-term lease between the District and Club which prescribes joint use of the new structure. Following construction, the same B&GC students will be on site at the same time of the day but in a much more capable and appropriate facility. The new building will provide specialized spaces for STEM, Art, Classroom and Recreational activities, providing appropriate separation and supervision of age/grade levels during joint occupancy. A significant component is a high-ceilinged game room to provide space for indoor recreation.

With the addition of the new building, the Al Tahoe School site will continue to be an LTUSD program facility and at the end of the 50-year lease term the building will become property of the

District. The planned educational program at the site is consistent with a Statewide trend of expansion of pre-school programs and the initiation of T-K programs, which accept students that are several months too young for regular kindergarten into a pre-kindergarten program. These are standard school district operated programs, just like a K-12 program. Currently the District houses some pre-school at Al Tahoe while the T-K is housed (inconveniently) at other sites. Once the B&GC building is built all of the District pre-school and T-K programs will be housed at Al Tahoe. This will provide a fully integrated and efficient delivery of preschool programs for the District.

The new building will increase the capacity of the site for its current functions. The B&GC and District programs will be able to run concurrent to each other during part of the normal school day because of the new building. Each will be servicing a different population of students (pre-school and TK students would be in the main building while the B&GC K-12 programs would be in session in the new). At times, B&GC activities will be conducted within the old school building while the District will utilize the new clubhouse for some activities; the entire site is intended to be a joint use facility similar to the existing Boys & Girls Club of North Lake Tahoe and Tahoe Truckee Unified School District campus at Kings Beach Elementary School. However, the total number of students on-site will be well below the number of students ( $\pm 600$ ) that attended the Al Tahoe School prior to closing. No increase in parking is required or proposed.

The site of the new building is currently occupied by six modular classrooms which have been removed prior in anticipation of the proposed project. The proposed building is 14,398 SF in floor area while the six modular classrooms are 960 SF each (5,760 SF in total). The project will result in an 8,638 SF increase in classroom area on the site. ~~However, this increased floor area is intended to provide better program capability as detailed above, not increased capacity beyond the previous elementary school. Because the capacity of the completed project will not be greater than that of the prior use, the project is not an "expansion" and is not expected to generate additional vehicle trips.~~

All new construction will be ADA compliant sustainable construction with full CHPS (Collaborative for High Performance Schools) certification. The Lake Tahoe Unified School District Board has adopted a resolution requiring all LTUSD construction projects to incorporate sustainable design and CHPS criteria into the school construction program.

The proposed building has a rustic character and low pitched roofs which are consistent with solar access and potential future solar energy facilities on the roof. The exterior consists dark hued board and batten walls and dark tone asphalt shingle roofs with lighter toned trim elements. The project also includes new landscaping and hardscaping around the new building including new walkways, utility and trash enclosures.

The project also includes new permanent Best Management Practices (BMPs) to collect and infiltrate storm water runoff from the new improvements. These new facilities will connect to the existing site BMPs which were recently upgraded to increase infiltration capacity.

The proposed project will utilize banked coverage existing on the site from previous projects. ~~The most recent project was new stadium lights at the Middle School (TRPA File#ERSP2016-0848). The coverage statistics from that project would normally be the starting point for the current project. However, the coverage statistics for the prior middle school project did not reflect an additional prior project, South Tahoe Little League Ballfields (TRPA File#ERSP2014-0213). A reconciliation of coverage statistics from those two projects is provided on sheet C0.2.0 which establishes the correct starting point for the proposed project with respect to coverage accounting.~~ Coverage to be removed with demolition is detailed on sheet C0.2.1 while coverage to be placed is detailed on sheet C0.2.2 and includes new building coverage, hardscape coverage and a small area of synthetic turf as an outdoor play area.

Another recent utility improvement project is being completed adjacent to the site of the new building (TRPA File#2018-1334). This project involved utility relocation and modernization to serve the existing school as well as the proposed project. It did not affect coverage however some trees were removed in conjunction with the implementation of that project. Subsequently, the TRPA forester was asked to evaluate some other trees which he approved for removal. Some of these now removed trees are shown on the projects plans as “to be removed” as they were in place when the survey for the project plans was completed.

Attachment B

Required Findings/Rationale

REQUIRED FINDINGS/RATIONALE FOR APPROVAL OF THE  
BOYS AND GIRLS CLUB "CLUBHOUSE"

The following is a list of the required findings as set forth in Chapters 3, 4, 30, 37 and 50 of the TRPA Code of Ordinances. Following each finding, agency staff has summarized the evidence on which the finding can be made.

1. Chapter 3 — Findings for Initial Environmental Checklist

§3.3.2.B The proposed project could have a significant effect on the environment but, due to the listed mitigation measures that have been added to the project, the project could have no significant effect on the environment and a mitigated finding of no significant effect shall be prepared in accordance with Rules of Procedure Section 6.7.

Based on the information submitted in the Initial Environmental Checklist (IEC), the proposed project could have a significant effect on the environment. However, due to mitigation measures in the proposed permit the project will have no significant effect on the environment. These measures mitigate the effects of excess land coverage within the project area and additional daily vehicle trips. As a result, TRPA will prepare a mitigated finding of no significant effect as required by Rules of Procedure, Section 6.7.

2. Chapter 4 – Required Findings:

§4.4.1.A The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

- (1) Land Use: The proposed project is an improvement to an existing public service use. Schools - kindergarten through secondary is an allowed use in Land Use District 4 of the Bijou - Al Tahoe Community Plan. The design of the project is consistent with the design standards and guidelines for that district. Surrounding land uses include other public service uses, athletic fields, single family dwellings, a church and open space. The proposed project is consistent with and will not alter the current land use pattern.
- (2) Transportation: The project is an addition to an existing public service use facility with a modern structure better suited to the current and proposed educational program without increased enrollment. Additional vehicle trips associated with the project will be mitigated by payment of the required TRPA Air Quality Mitigation Fee.
- (3) Conservation: The building site is not visible from any TRPA Scenic vantage points. The site currently is overcovered and the project will be required to comply with the TRPA Excess Coverage Mitigation Program consistent with TRPA Code Section 30.6. The applicant will install temporary and permanent Best Management Practices to the project area. There are no known special

interest species, sensitive or uncommon plants, or historic or cultural resources within the project area which would be affected by the project.

- (4) Recreation: The project site currently includes recreational facilities which are a part of the educational program on-site and used by the community as a whole. The proposed project will not alter these existing recreation facilities.
- (5) Public Service and Facilities: This project is an upgrading and enhancement of the existing school campus and is considered an additional public service use as defined by Chapter 50 of the TRPA Code of Ordinances. The necessary findings required by the provisions of Chapter 50 are provided below.
- (6) Implementation: The necessary findings for an Additional Public Service Facility required by the provisions of Chapter 50 are provided below.

§4.4.1.B The project will not cause the environmental threshold carrying capacities to be exceeded.

TRPA staff has completed the “Project Review Conformance Checklist & Article V(g) Findings” in accordance with Section 4.4.2 of the TRPA Code of Ordinances and incorporates the checklist into this analysis. All responses contained in the checklist for the project indicate compliance with the environmental threshold carrying capacities. In addition, the applicant has completed an Initial Environmental Checklist (IEC), which is hereby incorporated into this analysis. A copy of the completed checklist and IEC will be made available online with the project file at [parcels.laketahoeinfo.org](http://parcels.laketahoeinfo.org).

§4.4.1.C Wherever federal, state, or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TPRA Compact, the project meets or exceeds such standards.

The proposed project will not alter federal, state, or local air or water quality standards currently in place. Therefore, the strictest standards will continue to be attained, maintained, or exceeded pursuant to Article V(d) of the Tahoe Regional Planning Compact. New daily vehicle trip ends will be mitigated by fee in accordance with Chapter 65 of the TRPA Code. In addition, the permittee will comply with all temporary and permanent air and water quality BMP requirements which will prevent any adverse impacts to federal, state, or local air and water quality standards (Also see rationale for finding 4.4.1.A, above).

3) Chapter 30 — Land Coverage Findings

- Findings necessary for the relocation of existing land coverage:



§30.4.5.A The relocation is to an equal or superior portion of the parcel or project area, as determined by reference to the following factors:

1. Whether the area of relocation already has been disturbed;
2. The slope of a natural vegetation on the area of relocation;
3. The fragility of the soil on the area of relocation;
4. Whether the area of relocation appropriately fits the scheme of use of the property;
5. The relocation does not further encroach into a stream environment zone or stream environment zone setbacks;
6. The project otherwise complies with the land coverage mitigation program set forth in Section 30.6.

The entire project area has been verified as Land Capability Class 7. Coverage will be reconfigured in the same general (disturbed) area of the site behind the main elementary school building to provide walkways, outdoor activity areas and equipment enclosures in locations consistent with the design of the new building. There is generally no slope, natural vegetation or fragile soil in the area of coverage removal and relocation, and there is no stream environment zone on the site. Hence, the relocation will be to an equal portion of the project site. The project will participate in the Excess Land Coverage Mitigation Program set forth in Section 30.6 by paying an excess coverage mitigation fee per Section 30.6.1.C.2.

§30.4.5.B The area from which the land coverage was removed for relocation is restored in accordance with subsection 30.5.3.

As a condition of approval, all areas where land coverage is removed will be required to be re-vegetated and restored in accordance with Section 30.5.3 of the TRPA Code. The applicant will be required to implement a landscape/re-vegetation plan which shows that all areas where land coverage will be removed will be re-vegetated.

§30.4.5.C The relocation shall not be to Land Capability Districts 1a, 1b, 1c, 2, or 3, from any higher numbered land capability district.

All land coverage is being relocated from Land Capability Class 7 land to other Land Capability Class land.

#### 4) Chapter 37 — Height Findings

- 36.5.1.A: Findings necessary for additional height for roof pitches up to 5:12, applicable to public service projects (Finding 37.7.1):
- 36.5.2.A.2: Findings necessary for additional height for public service buildings by up to four feet, but not to exceed a maximum of 38 feet (Findings 37.7.1, 37.7.2, 37.7.3, and 37.7.4):

- §37.7.1. Finding 1. When viewed from major arterials, scenic turnouts, public recreation areas, or the waters of Lake Tahoe, from a distance of 300 feet, the additional height will not cause a building to extend above the forest canopy, when present, or a ridgeline.

The proposed B&GC building will not be visible from any TRPA designated scenic resources. Although the parcel on which the proposed new building will be located abuts Lake Tahoe Blvd. and Al Tahoe Blvd. (both major arterials), it will not be visible due to its location in the rear portion of the very large parcel, adjacent to the intersection of Rufus Allen Blvd and Lyons Ave. Further, with the surrounding tree canopy at a height range of 70 to 100 feet, the building with a height of less than 29 feet will not extend above the existing tree canopy when viewed from any listed location. Also, it will not be visible from the waters of Lake Tahoe.

- §37.7.2 Finding 2. When outside a community plan, the additional height is consistent with the surrounding uses.

Not Applicable. The proposed project is located in the Bijou/Al Tahoe Community Plan area.

- §37.7.3 Finding 3. With respect to that portion of the building that is permitted the additional height, the building has been designed to minimize interference with existing views within the area to the extent practicable.

Views of the new building would be limited to Lyons Avenue and Rufus Allen Blvd. (local streets) and the school site itself, which is currently developed with school facilities of similar height. The overall project area contains and is surrounded by existing mature trees ranging in height from 70 to 100 feet that screen views from the area. The new building would not be visibly predominant offsite due to existing large pine trees and the distance of the building from offsite viewpoints. Because of the parcel size, existing trees and the location of improvements on the site, the new building will not affect the views at any off-site location. Therefore, existing views will not be affected by the new structure either on- or off-site.

- §37.7.4 Finding 4. The function of the structure requires a greater maximum height than otherwise provided for in this chapter.

The building roof height is set by the programmatic function and The Collaborative for High Performance Schools (CHPS) sustainable performance requirements of the Game Room space.

The Game Room is a required programmatic function of all Boys and Girls Clubs. The Game Room functions as a multipurpose room that supports activities that require high ceilings such as performances, projected presentations, ping pong and badminton. These active programs are critical in

the winter months in the Tahoe region for the student's health and wellness development.

The CHPS sustainability criteria is a requirement of the Lake Tahoe School District School board, which mandates all new buildings on district property to meet this criteria. The CHPS criteria that drives the elevated roof and ceiling height of the game room are access to daylight and exterior views, which is created by raising the roof and integrated the clerestory glazing on the north end of the game room to provide these two elements to the internally located space.

5) Chapter 50 – Additional Public Service Facility Findings

§50.8.1.A There is a need for the project.

The new building will increase the capacity of the site for its current functions, and allow the B&GC and LTUSD programs to be able to run concurrent to each other during part of the normal school day. Each will be serving a different population of students (pre-school and Transitional Kindergarten students would be in the existing school building while the B&GC K-12 programs would be in session in the new building). This needed capability does not currently exist at the site. The new Boys and Girls Club Building will provide specialized spaces for STEM, Art, Classroom and Recreational activities, providing appropriate separation and supervision of age/grade levels during joint occupancy. A significant component is a high-ceilinged game room to provide space for indoor recreation.

§50.8.1.B The project complies with the Goals and Policies, applicable plan area statements, and Code.

The proposed project is located in Land Use District 4 of the Bijou-Al Tahoe Community Plan. Schools — kindergarten through secondary is an allowed use for this Community Plan District. The design of the improvements is consistent with the amended design standards and guidelines for District 4 of the Bijou — Al Tahoe Community Plan. The proposed project as conditioned in the draft permit will be compliant with all provisions of the Community Plan and Regional Plan and will not adversely affect their implementation.

§50.8.1.C The project is consistent with the TRPA Environmental Improvement Program.

There are several Environmental Improvement Program projects identified near the Boys & Girls Club project site, including the Al Tahoe Safety and Mobility Enhancement project, the Recreation and Swim Complex Renovation/Replacement, and the South Tahoe Environmental Education Coalition Programs which occur at the LTUSD school sites. None of these projects will be adversely affected by the Boys and Girls Club project.

§50.8.1.D The project meets the findings adopted pursuant to Article V (g) of the Compact as set forth in Chapter 4: Required Findings, as they are applicable to the project's service capacity.

The proposed project has adequate public utility service (water, sewer and electricity) and is accessed by a paved road. The project involves an addition to an existing public service use for enhancement of the current public education/recreation program.

§50.8.1.E If the proposed project is to be located within the boundaries of a community plan area, then, to the extent possible consistent with public health and safety, the project is compatible with the applicable community plan; and

The proposed project is in Land Use District 4 of the Bijou - Al Tahoe Community Plan and complies with all applicable provisions of the plan. The project is subject to approval by the California Division of the State Architect which is responsible for the health and safety of project design and construction.

§50.8.1.F Where a public service project is proposed for construction in a community plan area before the community plan has been adopted by TRPA, the sponsoring entity shall demonstrate that the need for such a construction schedule outweighs the need for the prior completion of the community plan process.

The proposed project is located within the boundaries of an adopted community plan.

Attachment C

Draft Permit

**DRAFT PERMIT**

PROJECT DESCRIPTION: New Boys and Girls Club Building                      APN 025-010-065

PERMITTEE(S):    Lake Tahoe Unified School District                      FILE # ERSP2019-1596

COUNTY/LOCATION: City of South Lake Tahoe/ 1100 Lyons Blvd. (Al Tahoe Elementary School)

Having made the findings required by Agency ordinances and rules, the TRPA Governing Board approved the project on June 24, 2020, subject to the standard conditions of approval attached hereto (Attachment Q) and the special conditions found in this permit.

This permit shall expire on June 24, 2023 without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Commencement of construction consists of pouring concrete for a foundation and does not include grading, installation of utilities or landscaping. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action which delayed or rendered impossible the diligent pursuit of the permit.

**NO TREE REMOVAL, CONSTRUCTION OR GRADING SHALL COMMENCE UNTIL:**

- (1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
- (2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
- (3) THE PERMITTEE OBTAINS A BUILDING PERMIT FROM THE APPROPRIATE STATE ENTITY. TRPA'S ACKNOWLEDGEMENT IS NECESSARY TO OBTAIN A BUILDING PERMIT. THE BUILDING PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
- (4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

\_\_\_\_\_                      \_\_\_\_\_  
TRPA Executive Director/Designee                      Date

-----

PERMITTEE'S ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of Permittee(s) \_\_\_\_\_                      Date \_\_\_\_\_

-----

PERMIT CONTINUED ON NEXT PAGE

**APN 025-010-065  
FILE NO. ERSP2019-1596**

Air Quality Mitigation Fee (1):                    Amount \$ 2,172.00 Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_  
Excess Coverage Mitigation Fee (2):            Amount \$ \_\_\_\_\_ Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_  
Security Posted (3):                                Amount \$ 4,000.00 Type \_\_\_\_\_ Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_  
Security Administrative Fee (4):                 Amount \$ \_\_\_\_\_ Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_

Notes:

- (1) See Special Condition 3.J., below.
- (2) Amount to be determined. See Special Condition 3.K., below.
- (3) See Special Condition 3.L., below.
- (4) See the current filing fee schedule for the correct administrative fee at the time of acknowledgment.

Required plans determined to be in conformance with approval: Date: \_\_\_\_\_

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date:

\_\_\_\_\_  
TRPA Executive Director/Designee

\_\_\_\_\_  
Date

***SPECIAL CONDITIONS***

1. This permit specifically authorizes the replacement of 5,760 sq. ft. of portable classrooms on the Al Tahoe Elementary/South Tahoe Middle School project area with the construction of a new 14,400 (+/-) square foot single-story building to house the Boys and Girls Club (B&GC) "Clubhouse". The new building will be built at the rear of the existing Al Tahoe Elementary building, will not exceed 30'-5" in height, and will be connected to the existing building by a covered walkway. The permit also authorizes relocated land coverage and 9,815 sq. ft. of additional coverage from coverage previously banked onsite, site grading, tree removal, parking and driveway modifications, landscaping, and water quality protection best management practice (BMPs). The BMPs will connect with the previously approved BMP retrofit project (BMPP2019-0010), which was designed and sized to include the anticipated Boys and Girls Club project. Completion of this project will not result in a BMP Certificate. Any proposed building or freestanding signs have not been reviewed as a part of this permit, and will require separate review and approval through the City of South Lake Tahoe Planning Department. The project has been evaluated based on a maximum daily attendance of 227 students. Any increase beyond 227 students per day will require additional analysis associated with daily vehicle trip ends (DVTE).
2. The Standard Conditions of Approval listed in Attachment Q shall apply to this permit.
3. Prior to permit acknowledgement, the following conditions of approval must be satisfied.

A. Sheet C0.2.0 (Land Coverage Existing) shall be revised to remove all existing land coverage tables and replace them with the approved coverage from TRPA File ERSP2019-0904 (STMS Track Storage Building).

B. Sheet C0.2.2 (Land Coverage Proposed) shall be revised to include:

- (1) Removal of the coverage information and calculation tables as submitted and replace with the following revised land coverage calculations below. Note that synthetic turf is not exempt from land coverage calculations, except specifically for conversion of existing public athletic fields (TRPA Code Section 30.4.5).

Land Capability                      Class 7  
 Parcel area in square feet        2,164,041 sq. ft.  
 Allowable Land Coverage        649,212 sq. ft.

<b>Boys and Girls Club: File ERSP2019-1596</b>			
<b>Coverage Type</b>	<b>Existing<sup>1</sup></b>	<b>Proposed Changes</b>	<b>Proposed Coverage</b>
Buildings	217,855	8,136	225,991
Pavement	439,994	1,888	441,882
Soft Coverage (gravel, compacted dirt)	287,914	(827)	287,087
Synthetic Turf	0	618	618
<b>Subtotal</b>	<b>945,763</b>	<b>9,815</b>	955,578
Banked Coverage	109,447	(9,815)	99,632
<b>Total Existing Coverage</b>	<b>1,055,210</b>	<b>0</b>	<b>1,055,210</b>
STMS Synthetic Turf Sports Field (not coverage per ERSP2011-0665)	87,554	-	87,554

<sup>1</sup> Existing here is the approved proposed coverage from TRPA File ERSP2018-1333

- (2) The following revised excess land coverage calculations:

	<u>Mitigated</u>	<u>Remaining</u>
Original Excess Coverage	-	432,065 sq. ft.
Previously Mitigated Excess Coverage	42,969 sq. ft.	389,096 sq. ft.
Mitigation with this project*	_____ sq. ft.	_____ sq. ft.

\* If mitigated by fee, include calculation.

If mitigated by retiring coverage, revise the land coverage table above by subtracting the amount to be retired from the banked coverage and total existing coverage amounts.

- (3) Correction of the title of the Proposed Coverage Legend (replace “removal” with “proposed”).



- C. Sheet C0.3.1 (Drainage Shed Map) shall be revised to include:
- (1) Dripline infiltration trenches constructed beneath all roof driplines that do not drain onto hard coverage (south side of building, and east side of covered walkway). The driplines shall include either:
    - (a) French drains withing the dripline trench connecting to the proposed storm drains to the existing project area drainage basin, or:
    - (b) The permittee shall submit calculations demonstrating that the proposed infiltration trenches are sized appropriately to accommodate the volume of roof runoff to capture and infiltrate a 20 year/1-hour storm event. Please use the current BMP Spreadsheet available at [www.tahoebmp.org](http://www.tahoebmp.org).
  - (2) A note indicating that the identified drainage area and Drainage Basin were approved with the TRPA BMP Retrofit project (TRPA File BMPP2019-0010), and that it was sized and designed to include the area of the proposed Boys and Girls Club Building.
- D. Sheet C2.1 (Grading Plan) shall be revised to include:
- (1) Clearly indicate the location and existing elevation of the low point of the proposed foundation wall at existing grade.
  - (2) A note stating: "All areas disturbed by construction shall be revegetated in accordance with the TRPA Handbook of Best Management Practices and Living with Fire, Lake Tahoe Basin, Second Edition."
  - (3) A note stating: "Dust control measures shall be in place during construction. Broadcast mulch shall not be permitted as a dust control measure within 35 feet of structures."
- E. Sheet L1.01 (Materials Plan) shall be revised to include:
- (1) Clear identification of all proposed utility, mechanical, and trash enclosures, and identify the location and type of each proposed screening fence or wall.
  - (2) Details of the proposed fences and/or walls.
- F. The permittee shall provide a landscape plan in accordance with the standards required in Sections 36.7 of the TRPA Code of Ordinances for TRPA review and approval.
- G. The permittee shall provide an exterior lighting plan for the project area with building and pedestrian pole light fixtures that are consistent with the City of South Lake Tahoe Design Manual, Section 32-62.7(4), Exterior Lighting Standards. Include details of proposed light fixtures. Fixtures that meet these requirements are generally dark sky friendly, as found at [www.darksky.org](http://www.darksky.org).
- H. The elevations shall be revised to include:

- (1) Identify the elevation of the low point of the foundation wall at existing grade, as identified in revised Sheet C2.1. (Grading Plan).
- (2) Proposed height of the structure as measured from the low point of the foundation wall at existing grade to the highest roof ridge. Indicate the elevation of both the low point and the roof ridge relative to the grade points on the grading plan.
- (3) Revised height calculations for the proposed structure as measured from the low point of the foundation wall at existing grade:

% Slope Ret. Across Building Site =	0%
Dominant Roof Pitch =	2:12
Max Allowed Height per Table 37.4.1-1 =	26'-5"
Max Height w/Findings Section 37.5.2.A.2 =	30'-5"
Proposed Height =	X'-Y"

- (4) A note stating: "Signage and logos for the Boys and Girls Club is not a part of this TRPA approval."
- I. A BMP Inspection and Maintenance Plan shall be submitted detailing the maintenance requirements and schedules for all BMPs installed for this project, including non-structural practices (e.g. infiltration trenches and Detention Basin, snow storage areas, etc.).
  - J. The permittee shall submit a \$2,172.00 air quality mitigation fee. This fee is based on the addition of 60 daily vehicle trip ends at \$36.20/trip.
  - K. The affected property has 389,096 square feet of excess land coverage. The permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within Hydrologic Transfer Area 5 – Upper Truckee or by submitting an excess coverage mitigation fee.

To calculate the amount of excess coverage to be removed, use the following formula:

Estimated project construction cost multiplied by the fee percentage of 5% (as identified in Table 30.6.1-2 of Subsection 30.6.1.C.3. of the TRPA Code of Ordinances) divided by the mitigation factor of 8. If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

Coverage reduction square footage (as determined by formula above) multiplied by the coverage mitigation cost fee of \$8.50 for projects within Hydrologic Transfer Area 5 – Upper Truckee. Please provide a construction cost estimate by your licensed contractor, architect or engineer. In no case shall the mitigation fee be less than \$200.00.

- L. The security required under Standard Condition I.B. of Attachment Q shall be \$4,000. Please see Attachment J, Security Procedures, for appropriate methods of posting the security. See Line 109 of the TRPA filing fee schedule at the time of acknowledgment for the current required administrative fee.
  - M. The permittee shall submit three sets of final construction drawings and site plans to TRPA.
4. The permittee shall submit a projected construction completion schedule to TRPA prior to commencement of construction. Said schedule shall include completion dates for each item of construction, as well as BMP installation for the entire project area, as outlined in Section 33.5 of the TRPA Code of Ordinances.
  5. Temporary and permanent BMPs may be field fit as appropriate by the TRPA inspector.
  6. All BMPs shall be maintained subject to the Inspection and Maintenance Plan approved as part of this permit. All maintenance activities shall be recorded in a corresponding maintenance log. This log shall be maintained for the life of the property and made available for inspection by TRPA staff. If this log is not complete, TRPA will assume that maintenance has not been performed and reserves the right to revoke the BMP Certificate of Completion.
  7. The permittee shall prepare and provide photographs to the TRPA Compliance Inspector that have been taken during construction that demonstrate any subsurface BMPs or trenching and backfilling proposed on the project have been constructed correctly (depth, fill material, etc.).
  8. All Best Management Practices shall be maintained in perpetuity to ensure effectiveness which may require BMPs to be periodically reinstalled or replaced.
  9. Excavation equipment shall be limited to approved construction areas to minimize site disturbance. No grading or excavation shall be permitted outside of the approved areas of disturbance.
  10. All waste resulting from the saw-cutting of pavement shall be removed using a vacuum (or other TRPA approved method) during the cutting process or immediately thereafter. Discharge of waste material to surface drainage features is prohibited and constitutes a violation of this permit.
  11. No trees shall be removed (other than those shown on the approved site plan) or trimmed for view enhancement purposes without prior TRPA written approval as per the conditions of the Landscape and Revegetation Plan.
  12. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board, its Planning Commission, its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either

directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise or other disposition. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

Attachment D

Project Plans



# BOYS AND GIRLS CLUB OF LAKE TAHOE 1100 LYONS AVENUE SOUTH LAKE TAHOE, CA 96150

**ABBREVIATIONS**  
NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.

AB	AGGREGATE BASE
AC	ASPHALTIC CONCRETE
AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
ARV	AIR RELEASE VALVE
ASB	AGGREGATE SUB-BASE
BO	BLOW-OFF VALVE
BV	BUTTERFLY VALVE
BW	BACK OF WALK
C/L	CENTERLINE
CB	CATCH BASIN
CL	CLASS
CMP	CORRUGATED METAL PIPE
CATV	CABLE TELEVISION
CO	CLEANOUT
COMM	COMMUNICATION
CONC.	CONCRETE
CONST.	CONSTRUCT
CR	CURB RETURN
CS	CONCRETE SURFACE
DC	DOUBLE CHECK VALVE
DDC	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWG	DRAWING
DS	DOWNSPOUT
E	ELECTRIC
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FS	FIRE SERVICE LINE
FDC	FIRE DEPARTMENT CONNECTION
FL	FLOWLINE
FM	SANITARY SEWER FORCE MAIN
FF	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
G	GAS
GRD	GRATE ELEVATION
GV	GATE VALVE
HB	HOSE BIBB
HBD	HEADER BOARD
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	PIPE INVERT ELEVATION
JP	JOINT UTILITY POLE
LF	LINEAL FEET
LIP	LIP OF GUTTER
LT	LEFT
MOWSTRIP	MOWSTRIP
NTS	NOT TO SCALE
OH	OVERHEAD
PCC	PORTLAND CEMENT CONCRETE
PD	PLANTER DRAIN
PIV	POST INDICATOR VALVE
P/L	PROPERTY LINE
PP	POWER POLE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
R	RADIUS
RIM	MANHOLE RIM ELEVATION (SOLID COVER)
RP	REDUCED PRESSURE BACKFLOW PREVENTER
RW	RIGHT OF WAY
SCH	SCHEDULE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SG	SUBGRADE ELEVATION
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
S/W	SIDEWALK
T	TELEPHONE
TC	TOP OF CURB
TD	TRENCH DRAIN
TDCB	TRENCH DRAIN CATCH BASIN
TP	TELEPHONE POLE
TRW	TOP OF RETAINING WALL
TSW	TOP OF SEAT WALL
TW	TOP OF WALK ELEVATION
U	UTILITY
UG	UNDERGROUND
UON	UNLESS OTHERWISE NOTED
VCP	VITRIFIED CLAY PIPE
W	WATER
W/	WITH
W/O	WITHOUT
WV	WATER VALVE

**LEGEND**  
NOTE: NOT ALL SYMBOLS MAY BE USED ON THESE PLANS.

**PROPOSED GRADING & DRAINAGE SYMBOLS:**

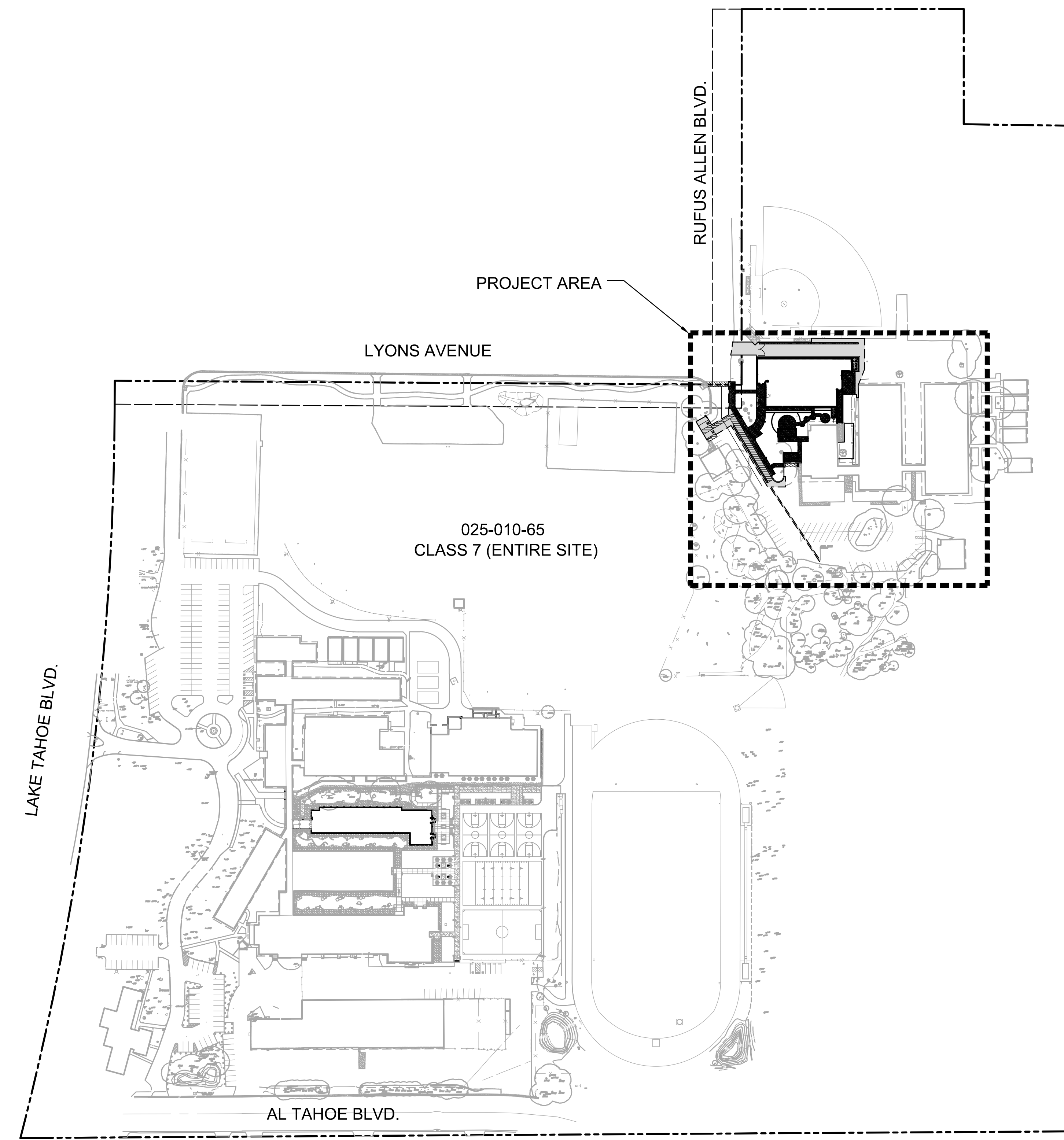
	8" SD	STORM DRAIN LINE (SIZE AND FLOW SHOWN)
		STORM DRAIN MANHOLE (SDMH)
		CATCH BASIN (CB)
		DROP INLET (DI)
		AREA DRAIN (AD)
		PLANTER DRAIN (PD) OR FLOOR DRAIN (FD)
		STORM DRAIN CLEANOUT
	99.99	ELEVATION
	FF=100.00	FINISHED FLOOR ELEVATION
	PAD=99.33	BUILDING PAD ELEVATION
		CONCRETE SIDEWALK
		GRADED DIRECTION FOR DRAINAGE FLOW
		EDGE OF PAVEMENT
		SLOPE
		TREE TO BE REMOVED
		RETAINING WALL

**PROPOSED SANITARY SEWER SYMBOLS:**

	6" SS	SANITARY SEWER LINE (SIZE AND FLOW SHOWN)
		SANITARY SEWER MANHOLE (SSMH)
		SEWER CLEANOUT FLUSHER BRANCH

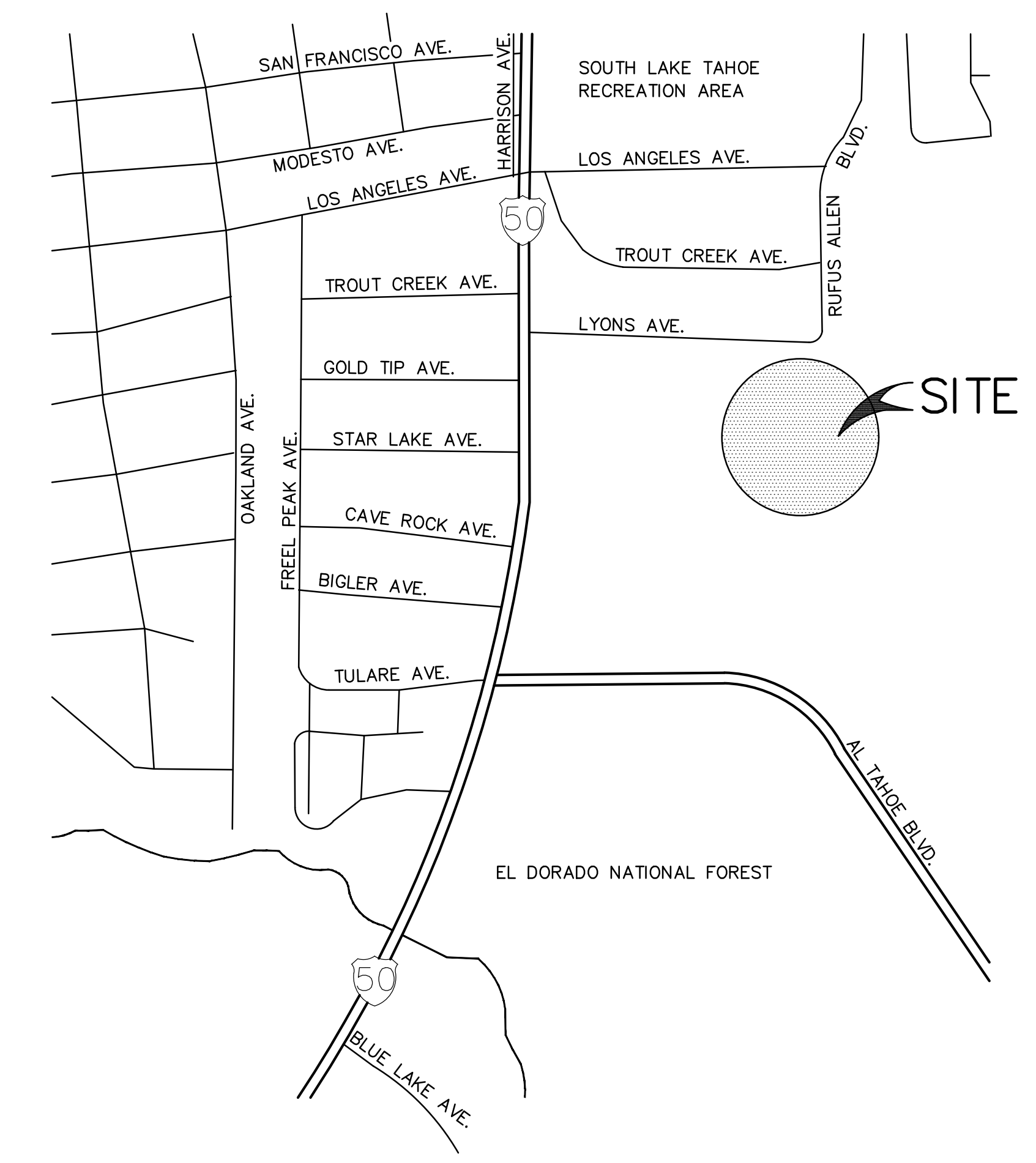
**PROPOSED WATER SYMBOLS:**

	8" W	WATER LINE & SIZE
	8" FS	FIRE LINE & SIZE
	8" DW	DOMESTIC WATER LINE & SIZE
	8" RW	RECLAIMED WATER LINE & SIZE
	8" IRR	IRRIGATION SERVICE LINE & SIZE
	8" NP	NON POTABLE WATER LINE & SIZE
	8" SP	FIRE SPRINKLER SERVICE LINE & SIZE
		GATE VALVE
		WATER METER
		FIRE HYDRANT ASSEMBLY
		FIRE DEPARTMENT CONNECTION
		DETECTOR CHECK VALVE
		DOUBLE DETECTOR CHECK VALVE
		REDUCED PRESSURE BACKFLOW PREVENTER
		BUTTERFLY VALVE
		AIR RELEASE VALVE + SIZE
		BLOW-OFF VALVE + SIZE
		POST INDICATOR VALVE



**SITE PLAN**

SCALE 1"=120'



**VICINITY MAP**  
N.T.S.

**Project Site**  
Al Tahoe Campus/South Tahoe Middle School  
2940 Lake Tahoe Blvd.  
South Lake Tahoe, CA 96150

**Assessor's Parcel Number**  
025-010-65

**Parcel size**  
2,164,041 square feet

**Property Owner**  
Boys and Girls Club of Lake Tahoe  
1100 Lyons Avenue  
South Lake Tahoe, CA 96151  
530-542-0838  
(530) 543-2227 fax  
Contact Person: Jude Wood

**SHEET INDEX**

C0.1.0	COVER SHEET
C0.2.0	LAND COVERAGE - EXISTING
C0.2.1	LAND COVERAGE - DEMOLITION
C0.2.2	LAND COVERAGE - PROPOSED
C0.3.1	DRAINAGE SHED MAP

**SHEET INDEX - CONSTRUCTION DRAWINGS**

C1.1	DEMOLITION PLAN
C1.2	ENGINEERED FILL PLAN
C2.1	GRADING PLAN
C3.1	UTILITY PLAN
C4.1	PAVING PLAN
C5.1	EROSION CONTROL PLAN
C5.2	EROSION CONTROL DETAILS
C6.1	DETAILS AND SECTIONS
C6.2	DETAILS AND SECTIONS
C6.3	DETAILS AND SECTIONS



ARCHITECTURE ENGINEERING INTERIORS  
LANDSCAPE ARCHITECTURE PLANNING  
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Boys and Girls Club of Lake Tahoe  
1100 Lyons Avenue  
South Lake Tahoe, CA 96150  
Developed for  
Boys and Girls Club of Lake Tahoe

Date	
Revision	

Date	
Submission	

Job Number	18263.10
Date Published	09.09.2019
Checked By	AT
Scale	AS NOTED



COVER SHEET





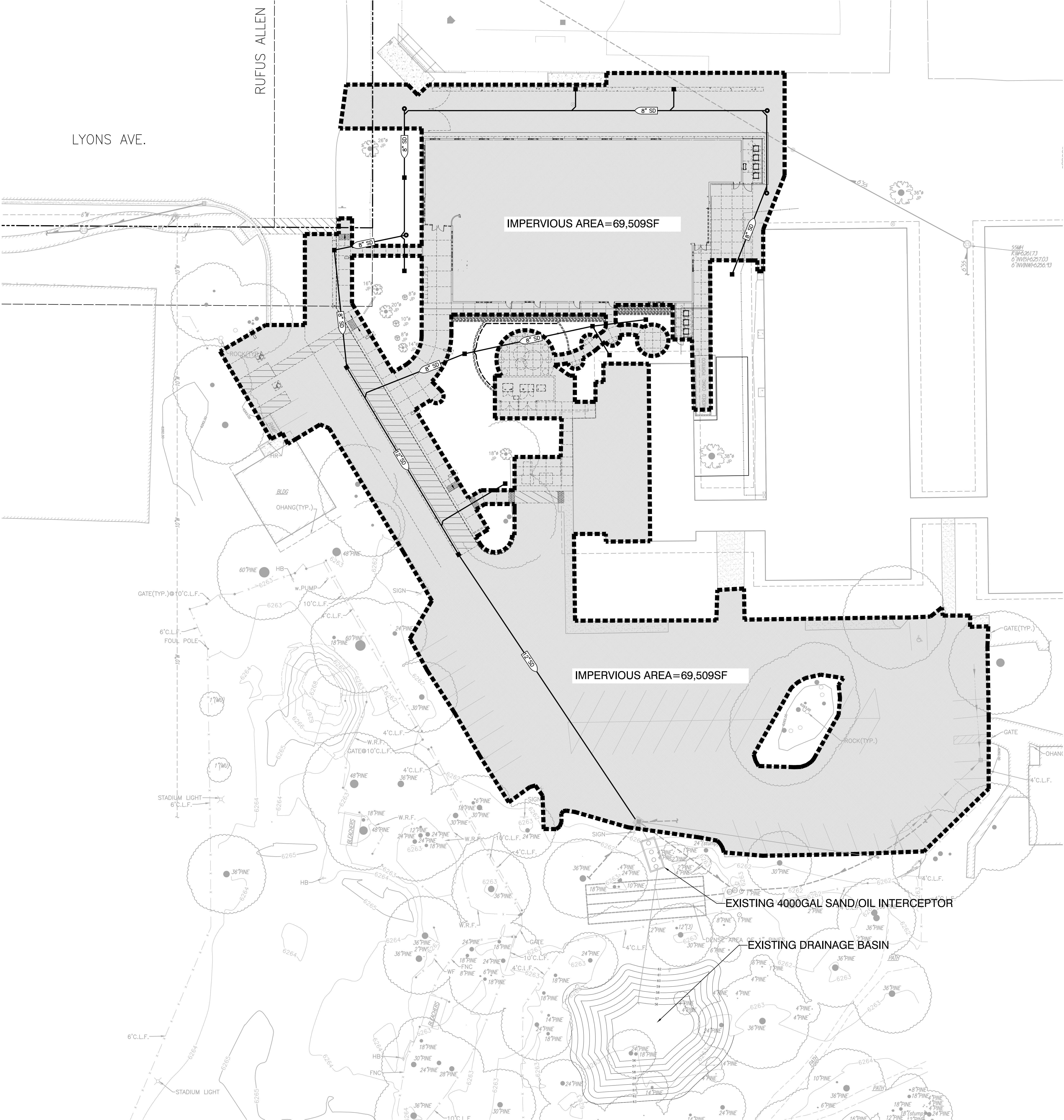












**Project Site**  
**Al Tahoe Campus/South Tahoe Middle School**  
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**Boys and Girls Club of Lake Tahoe**  
 1100 Lyons Avenue  
 South Lake Tahoe, CA 92617  
 530-542-0838  
 (530) 543-2227 fax  
 Contact Person: Jude Wood

**DRAINAGE CALCULATIONS**

IMPERVIOUS AREA = 69,509 SF

WATER QUALITY STORM DEPTH = 0.083'

WATER QUALITY VOLUME REQUIRED = 5769 CF

K/SAT INFILTRATION RATE = 6.0 IN/HR (PER CHP TESTING)

BASIN VOLUME = 7504CF

INFILTRATION VOLUME = 2,979SF \* 0.5FT = 1489CF

**TOTAL BASIN VOLUME = 8993CF**

**Pond Report**  
 Hydraulic Hydrographs: Extension for AutoCAD® Civil 3D® 2014 by Autodesk, Inc. v10.3 Thursday, 07/11/2019

**Pond No. 1 - BASIN 1**

**Pond Data**  
 Contours - User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 6256.00 ft

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	6256.00	968	0	0
1.00	6257.00	1,364	1,160	1,160
2.00	6258.00	1,827	1,590	2,750
3.00	6259.00	2,363	2,089	4,839
4.00	6260.00	2,979	2,665	7,504

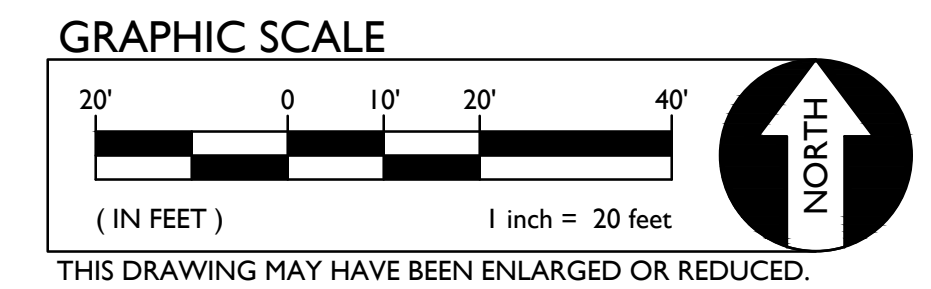
  

	Culvert / Orifice Structures				Weir Structures				
	[A]	[B]	[C]	[Pr/Rsr]	[A]	[B]	[C]	[D]	
Rise (ft)	= 0.00	0.00	0.00	0.00	Crest Len (ft)	= 0.00	0.00	0.00	0.00
Span (ft)	= 0.00	0.00	0.00	0.00	Crest El. (ft)	= 0.00	0.00	0.00	0.00
No. Barrels	= 0	0	0	0	Weir Coeff.	= 3.33	3.33	3.33	3.33
Invert El. (ft)	= 0.00	0.00	0.00	0.00	Weir Type	=			
Length (ft)	= 0.00	0.00	0.00	0.00	Multi-stage	= No	No	No	No
Slope (%)	= 0.00	0.00	0.00	n/a					
N-Value	= 0.13	0.13	0.13	n/a	Exfil. (in/hr)	= 0.000 (By Contour)			
Orifice Coeff.	= 0.60	0.60	0.60	0.60	TW Elev. (ft)	= 0.00			
Multi-Stage	= n/a	No	No	No					

Note: Culvert/Orifice outflows are analyzed under inlet (ci) and outlet (co) control. Weir flows checked for orifice conditions (ci) and submergence (si).

Stage / Storage / Discharge Table	Storage cuft	Elevation ft	Cv A cfs	Cv B cfs	Cv C cfs	Pr/Rsr cfs	Wv A cfs	Wv B cfs	Wv C cfs	Wv D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	6256.00	---	---	---	---	---	---	---	---	---	---	0.000
1.00	1,160	6257.00	---	---	---	---	---	---	---	---	---	---	0.000
2.00	2,750	6258.00	---	---	---	---	---	---	---	---	---	---	0.000
3.00	4,839	6259.00	---	---	---	---	---	---	---	---	---	---	0.000
4.00	7,504	6260.00	---	---	---	---	---	---	---	---	---	---	0.000



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Boys and Girls Club of Lake Tahoe  
 1100 Lyons Avenue  
 South Lake Tahoe, CA 96150  
 Developed for  
 Boys and Girls Club of Lake Tahoe

Date	
Revision	

Date	
Submitted	

Job Number	18263.10
Date Published	09.09.2019
Checked By	AT
Scale	AS NOTED

**DRAINAGE SHED MAP**

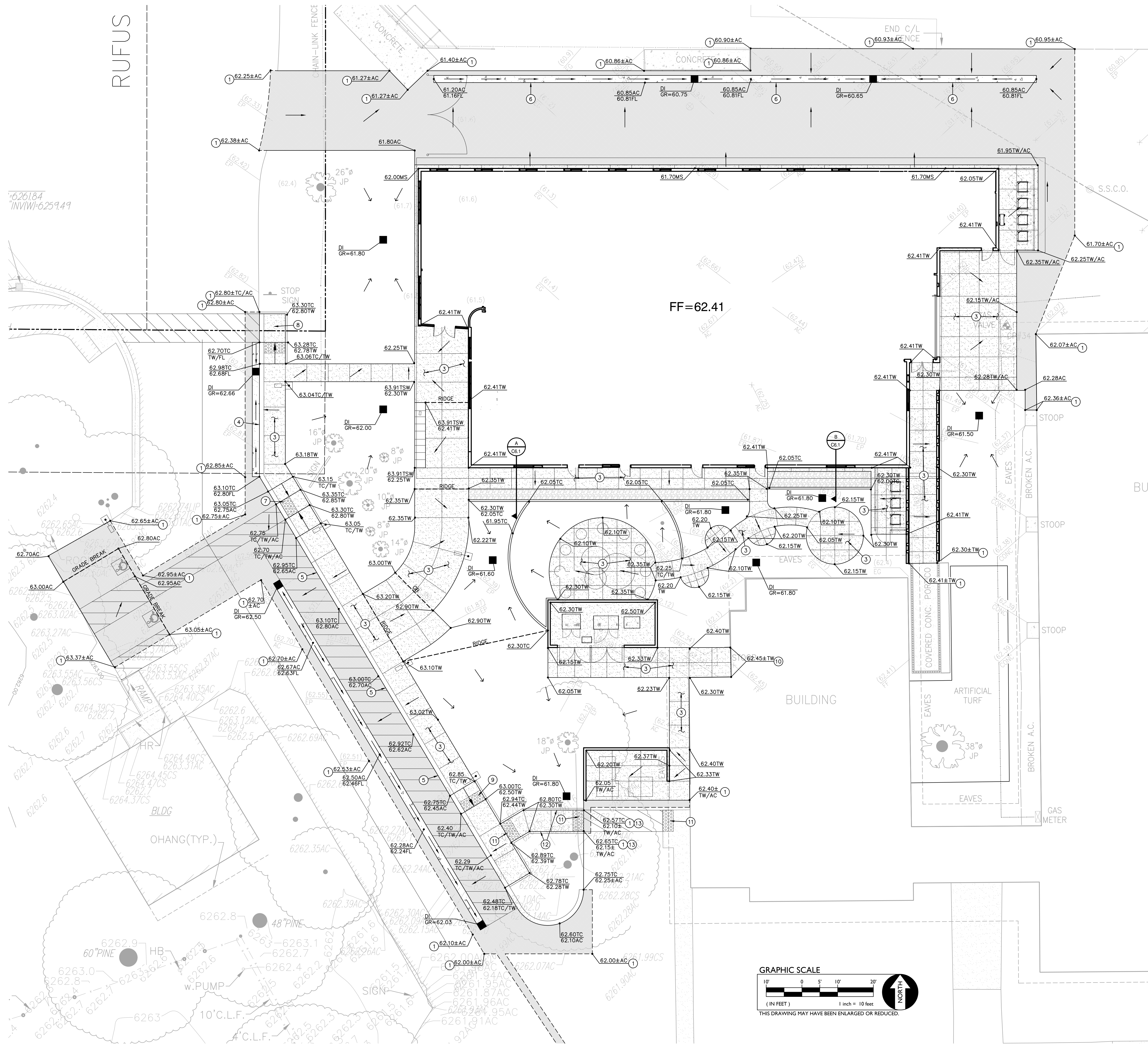






RUFUS

626184  
INVIW/625949



- GRADING NOTES**
- MATCH EXISTING GRADE/ELEVATION.
  - GRADE UNIFORMLY.
  - CONSTRUCT CONCRETE SIDEWALK PER (1) C6.1
  - CONSTRUCT ROLLED CURB AND GUTTER WITH SIDEWALK PER (2) C6.1
  - CONSTRUCT ROLLED CURB WITH SIDEWALK PER (3) C6.1
  - CONSTRUCT CONCRETE VALLEY GUTTER PER (4) C6.1
  - CONSTRUCT TYPE 1 ACCESSIBLE CURB RAMP PER (6) C6.1
  - CONSTRUCT TYPE 2 ACCESSIBLE CURB RAMP PER (7) C6.1
  - CONSTRUCT TYPE 3 ACCESSIBLE CURB RAMP PER (8) C6.1
  - PROPOSED SIDEWALK ELEVATION SHALL MEET FLUSH WITH EXISTING FINISH FLOOR.
  - PLACE TRUNCATED DOMES PER (5) C6.1
  - CONSTRUCT CONCRETE CURB PER (9) C6.1
  - TAPER LAST 6" OF CURB AT 45° TO FLUSH WITH ADJACENT GRADE.



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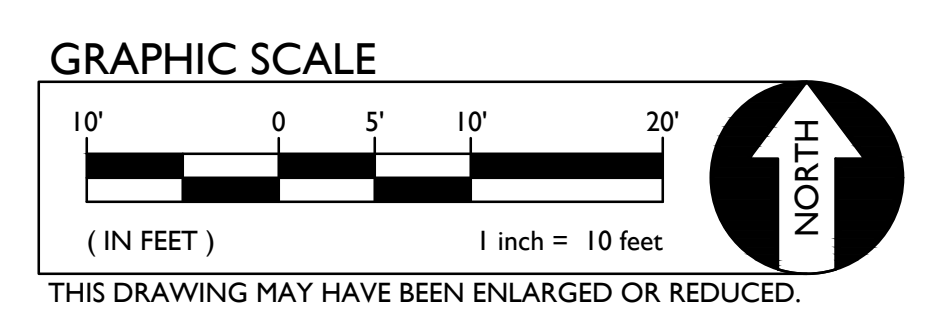
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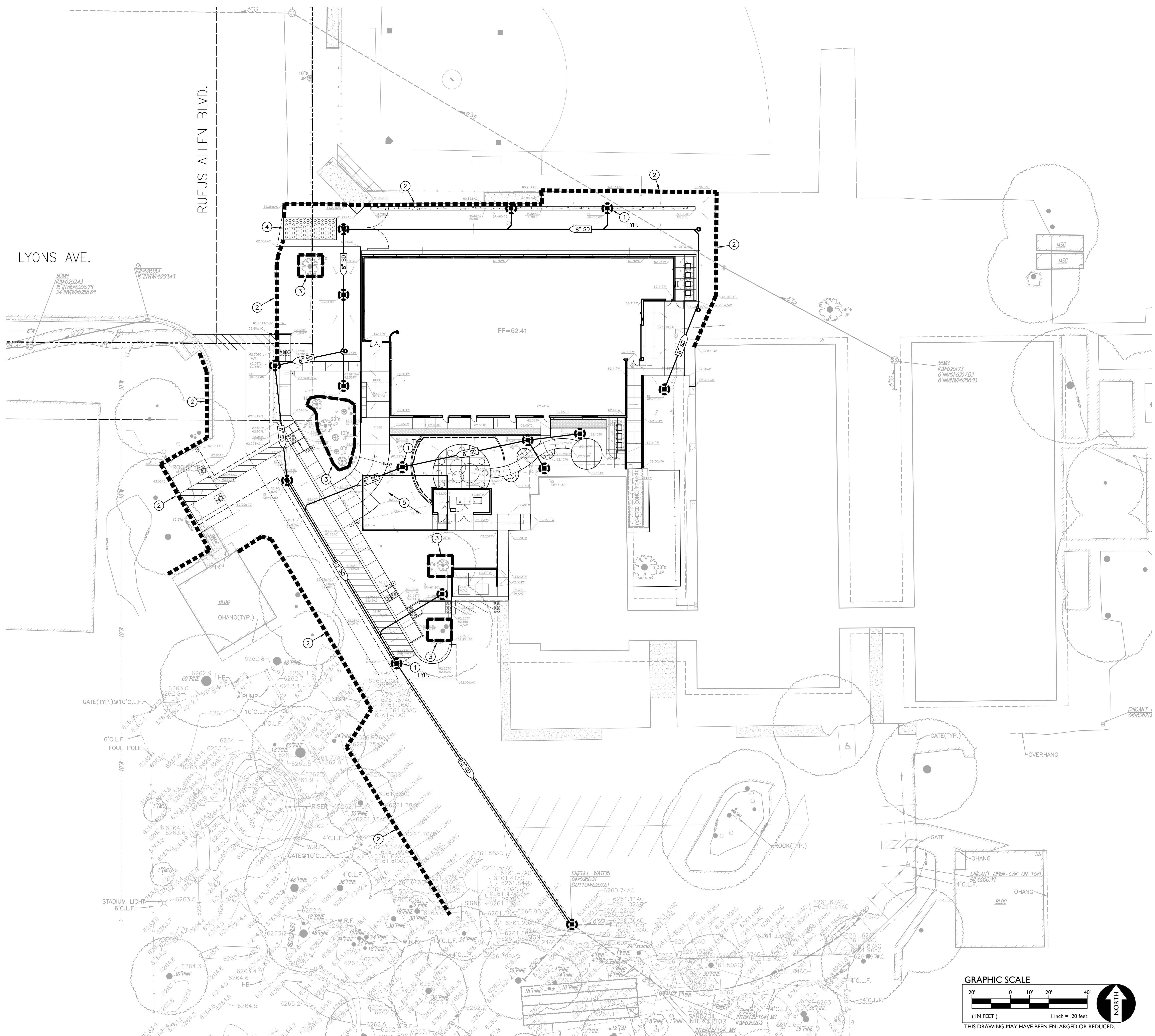
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GRADING PLAN





**GENERAL BMP NOTES**

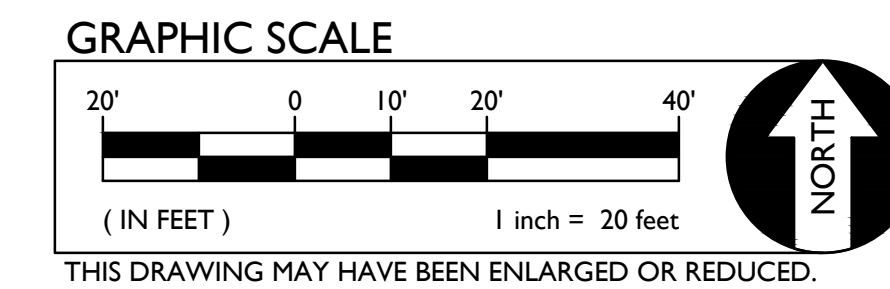
- A. DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 35 FEET OF STRUCTURES.
- B. STRAW BALES ARE NO LONGER ACCEPTABLE FOR TEMPORARY EROSION CONTROL OR MULCH MATERIAL IN THE LAKE TAHOE BASIN. THE USE OF STRAW HAS CONTRIBUTED TO THE SPREAD OF NOXIOUS WEEDS THROUGHOUT THE BASIN. THE USE OF ALTERNATIVES TO STRAW BALES, SUCH AS PINE NEEDLE BALES, FILTER FABRIC, COIR LOGS AND PINE NEEDLE OR WOOD MULCHES FOR EROSION CONTROL PURPOSES IS REQUIRED.
- C. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN SECOND ADDITION.
- D. VEGETATION PROTECTIVE FENCING AROUND THE ENTIRE CONSTRUCTION SITE. THE FENCING SHALL BE NO MORE THAN 12 FEET FROM ANY FOOTPRINT, DRIVEWAY, OR AREA OF APPROVED DISTURBANCE. TREE LOCATED WITHIN THE CONSTRUCTION AREA THAT AREA TO BE RETAINED SHALL BE INDIVIDUALLY PROTECTED BY FENCING OR OTHER MEANS NECESSARY.
- E. CONSTRUCTION STAGING AND SPOILS STORAGE SHALL BE LOCATED ON EXISTING PAVED AREAS OR PREVIOUSLY DISTURBED AREAS, AND SHALL INCLUDE TEMPORARY EROSION CONTROL. SPOILS STORAGE LOCATIONS MAY REQUIRE WEIGHTED COVERS.

**GENERAL NOTES**

1. DISTRICT HAS PREPARED THE SWPPP AS A SUPPLEMENTAL DOCUMENT TO THESE CONTRACT DOCUMENTS. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT AND MAINTAIN THE CONDITIONS OF THE SWPPP.
2. SWPPP SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
3. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPLIANCE WITH STATE WATER RESOURCES CONTROL BOARD REQUIREMENTS.
4. CONTRACTOR SHALL PROVIDE COIR LOG BARRIER AT ALL INLETS (NEW AND/OR EXIST.) IN AREAS OF WORK, OR AS REQUIRED BY THE SWPPP. (2, 4) CS.2 CS.2
5. CONTRACTOR SHALL PROVIDE COIR LOGS AT PERIMETER OF SITE AND IN AREAS REQUIRED BY THE SWPPP. (1) CS.2
6. CONTRACTOR SHALL PROVIDE SILT FENCING AS REQUIRED TO MITIGATE SILT RUN OFF AND AS REQUIRED BY THE SWPPP. (3) CS.2
7. CONTRACTOR SHALL MAINTAIN ALL STRAW WATTLES AND OTHER STORM WATER POLLUTION PREVENTION DEVICES THROUGHOUT CONSTRUCTION. REMOVE ALL POLLUTION PREVENTION DEVICES AT THE END OF CONSTRUCTION AS REQUIRED.
8. PRIOR TO PLACEMENT OF LANDSCAPING AND/OR FINISHED GROUND SEEDING, REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. CONTRACTOR SHALL PROVIDE AND MAINTAIN FILTER BAGS AT INLETS LOCATED IN THE EXISTING ROADWAY.
10. CONTRACTOR SHALL REVEGETATE AND STABILIZE ALL AREAS DISTURBED BY GRADING OR ANY OTHER CONSTRUCTION ACTIVITIES.

**# EROSION CONTROL NOTES**

1. FILTER BAG AT DROP INLET. (2, 3) CS.2 CS.2
2. COIR LOGS (1) CS.2
3. PLACE VEGETATION PROTECTION FENCING. (4) CS.2
4. STABILIZED CONSTRUCTION ENTRANCE (5) CS.2
5. TEMPORARY MATERIAL STORAGE AND STAGING AREA; OVER ENGINEERED FILL. PROVIDE COIR LOGS AT PERIMETER OF ANY STOCKPILED SOIL, GRAVEL, LANDSCAPE MATERIALS, SPOILS STORAGE MAY REQUIRE WEIGHTED COVERS.



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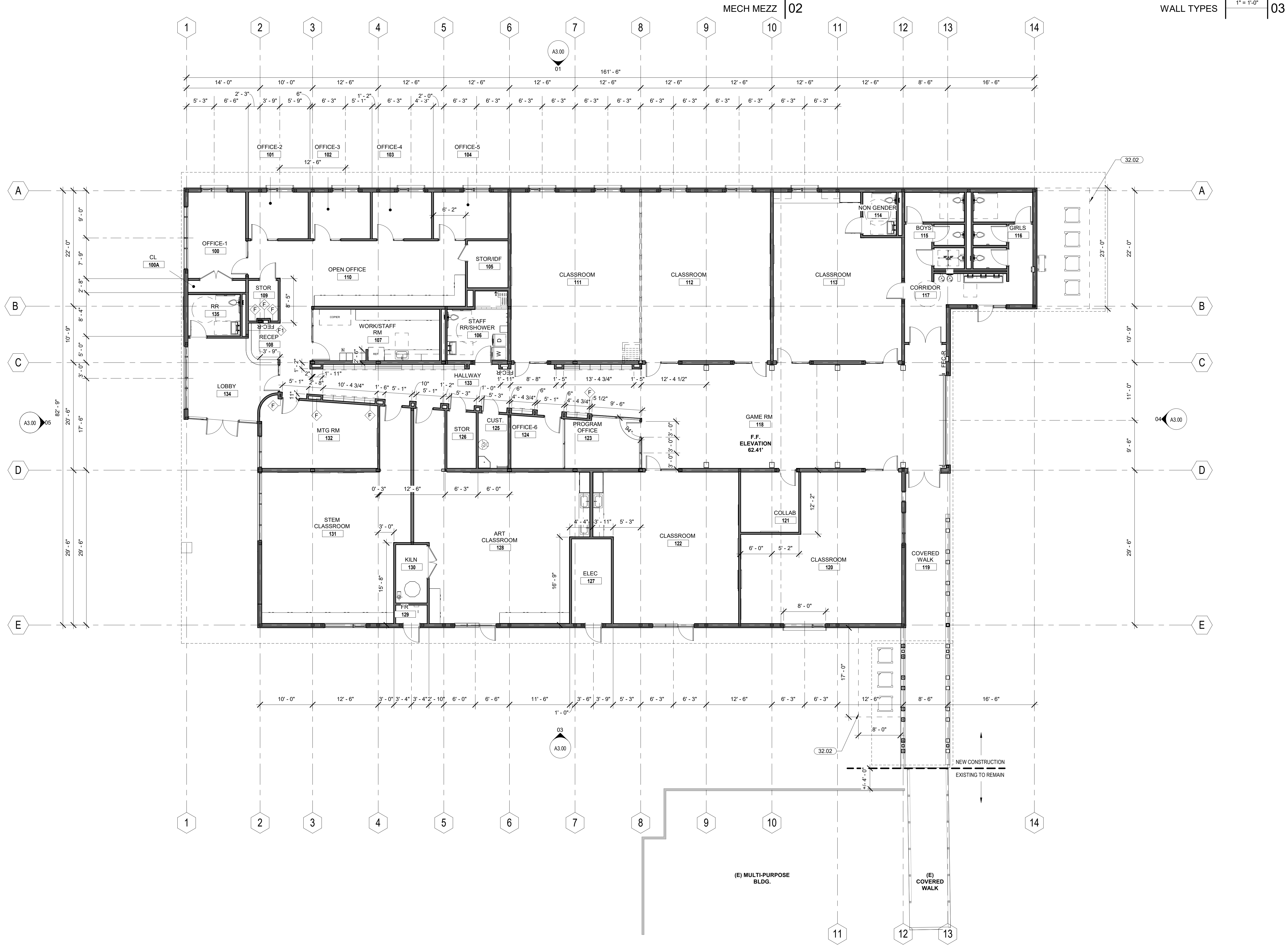
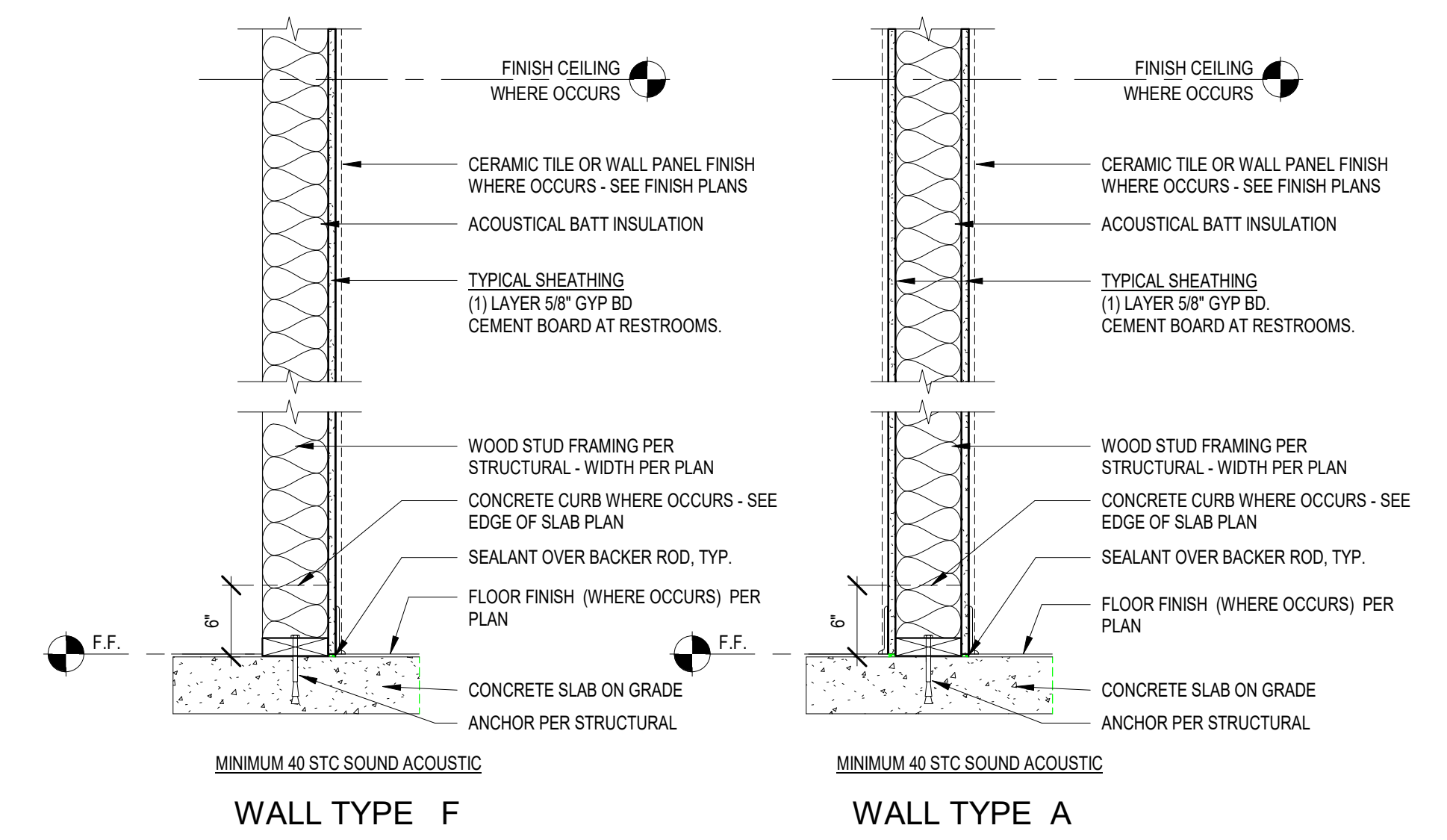
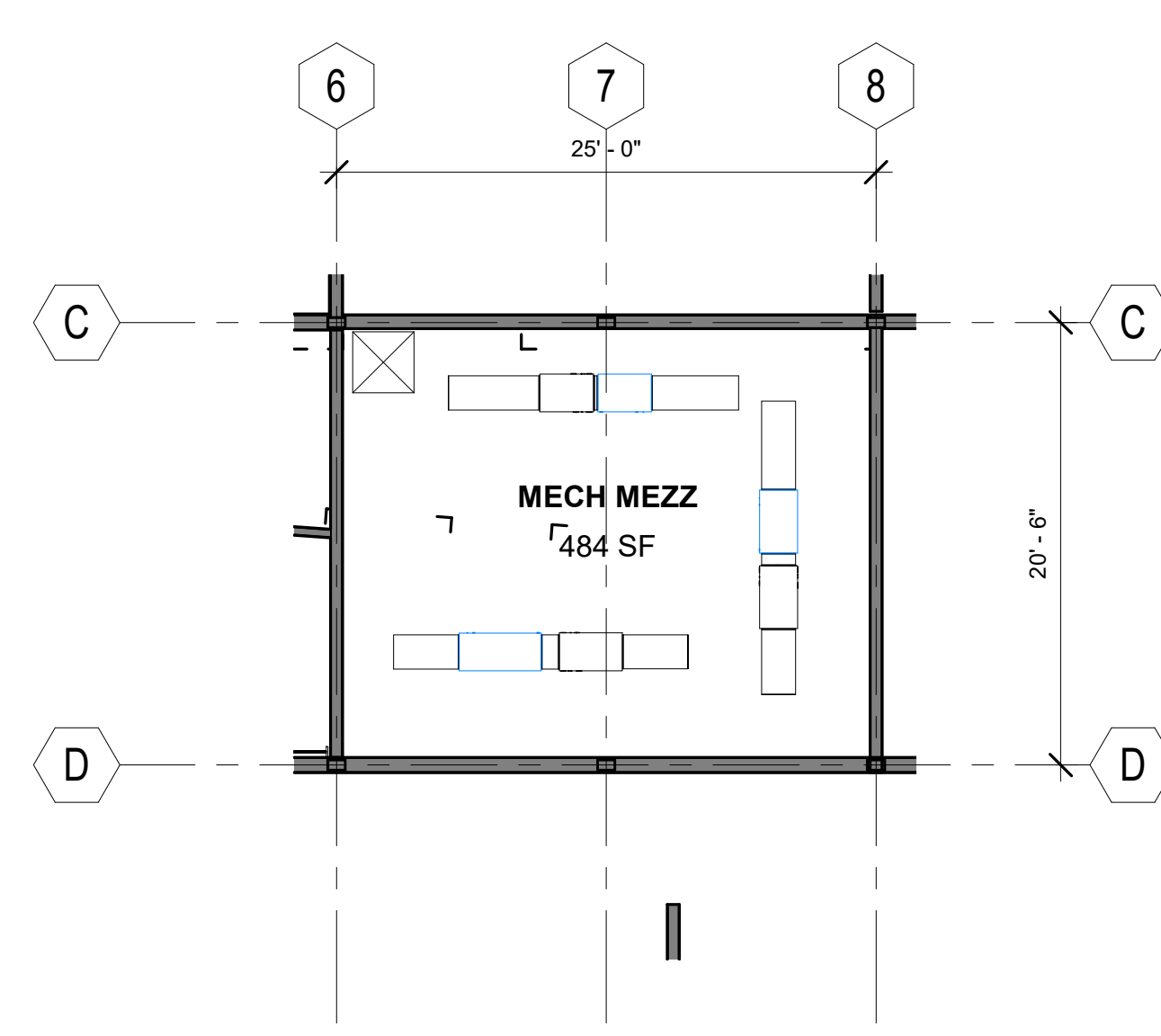
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**EROSION CONTROL PLAN**





FLOOR PLAN 1/8" = 1'-0" 01

LEGEND

- WALL: SEE WALL TYPES THIS SHEET (INTERIOR WALLS ARE TYPE 'A' U.N.O.N. SEE STRUCTURAL DRAWINGS FOR FRAMING INFORMATION.)
- OPERABLE PARTITION
- FIRE EXTINGUISHER CABINET, PAINT TO MATCH ADJACENT SURFACES
- R=RECESSED, REF: 07/A9.01
- CONDENSING UNIT

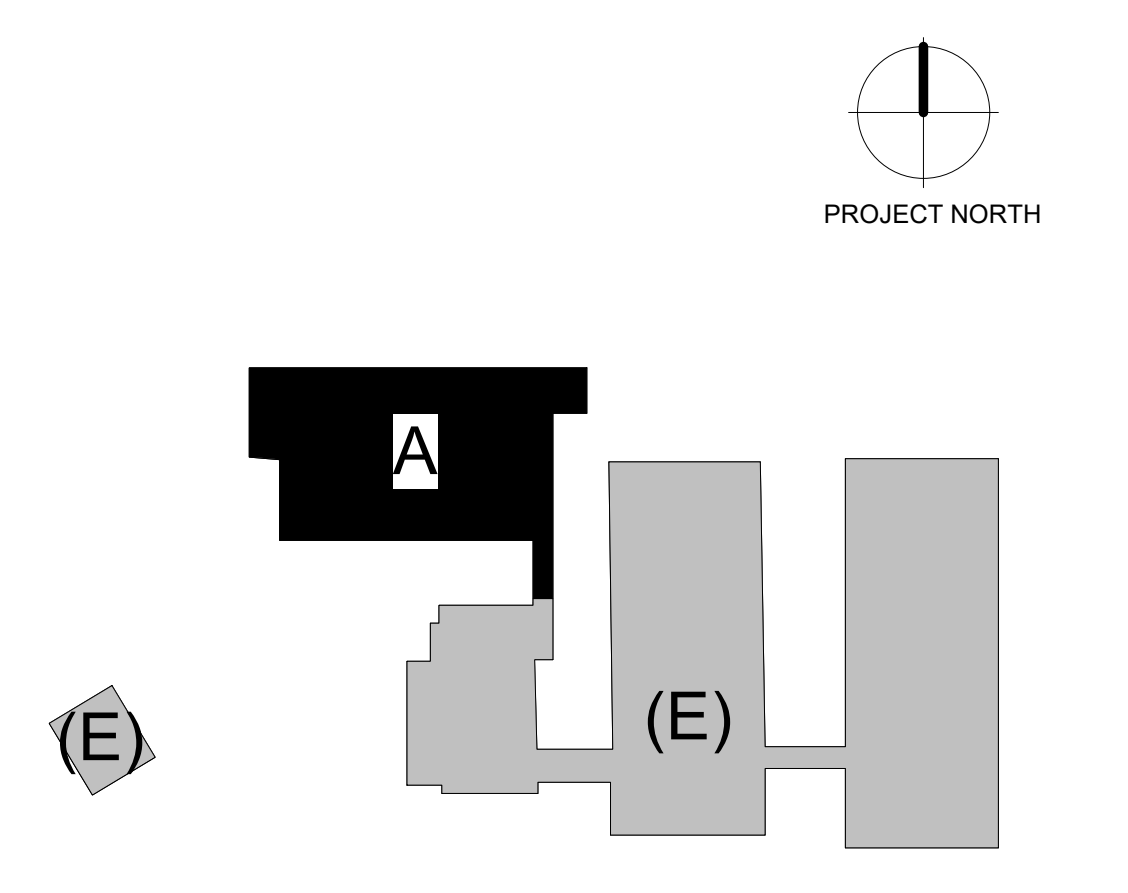
KEYNOTES

- 32.02 FENCING, REF: LANDSCAPE DRAWINGS

GENERAL NOTES

1. EXTERIOR WALL DIMENSIONS ARE TO FACE OF FRAMING (FACE OF STUD), AND FACE OF CONCRETE U.N.O.
2. INTERIOR WALL DIMENSIONS ARE TO FACE OF FRAMING (FACE OF STUD), U.N.O.
3. DOOR DIMENSIONS ARE TO CENTER OF DOOR OPENING, U.N.O.
4. FOR TYPICAL DOOR FRAME LOCATION CLEARANCE AND NOTES, REF: 15/A6.00
5. STOREFRONT AND WINDOW DIMENSIONS ARE TO ROUGH OPENING. REFER TO WINDOW SCHEDULE FOR OPENING DIMENSIONS.
6. INTERIOR PARTITIONS EXTEND TO UNDERSIDE OF FRAMING ABOVE, U.N.O.
7. PROVIDE FIRE EXTINGUISHERS PER TITLE 19, DIVISION 1, CHAPTER 3 CLASS 2A10BC FIRE EXTINGUISHER W/ VALID TAG @ ALL LOCATIONS

KEY PLAN



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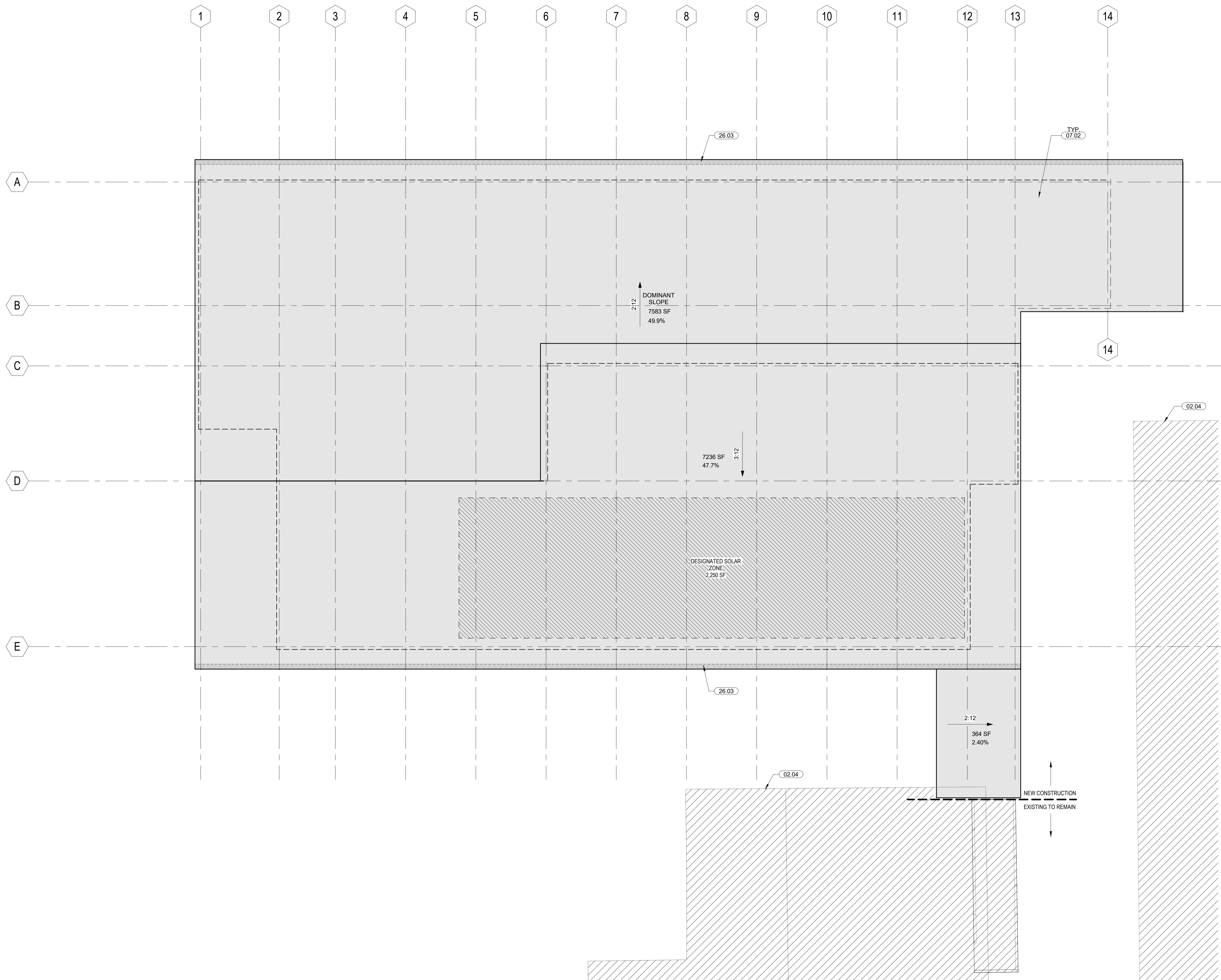
**BOYS AND GIRLS CLUB OF LAKE TAHOE CLUBHOUSE**  
1100 LYONS AVE  
SOUTH LAKE TAHOE, CA 96150  
Developed for LAKE TAHOE UNIFIED SCHOOL DISTRICT

Date	Revision

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09.09.19	TERPA SUBMITTAL

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Checked By	BM
Scale	As indicated

FLOOR PLAN



**LEGEND**

- ROOF SLOPE
- ASPHALT SHINGLE ROOFING SYSTEM
- ▨ DESIGNATED SOLAR ZONE
- ▩ EXISTING BUILDING, N.I.C.
- ▧ SNOW MELT MAT
- - - EXTERIOR WALLS BELOW

**SOLAR ZONE ANALYSIS**

**SOLAR ZONE PER 2016 CALIFORNIA ENERGY CODE SECTION 110.10(b)(8)**

TOTAL ROOF AREA = 14,982 SF

SOLAR ZONE REQUIRED = 15%

TOTAL AREA REQUIRED = 2,248 SF

TOTAL AREA PROVIDED = 2,250 SF

**KEYNOTES**

02.04	EXISTING ROOF TO REMAIN
07.02	FIRE RATED CLASS A ROOF ASSEMBLY, REF: 10/A8.00
26.03	SNOW MELT MAT HEATED ROOF SYSTEM, SEE SPECIFICATIONS

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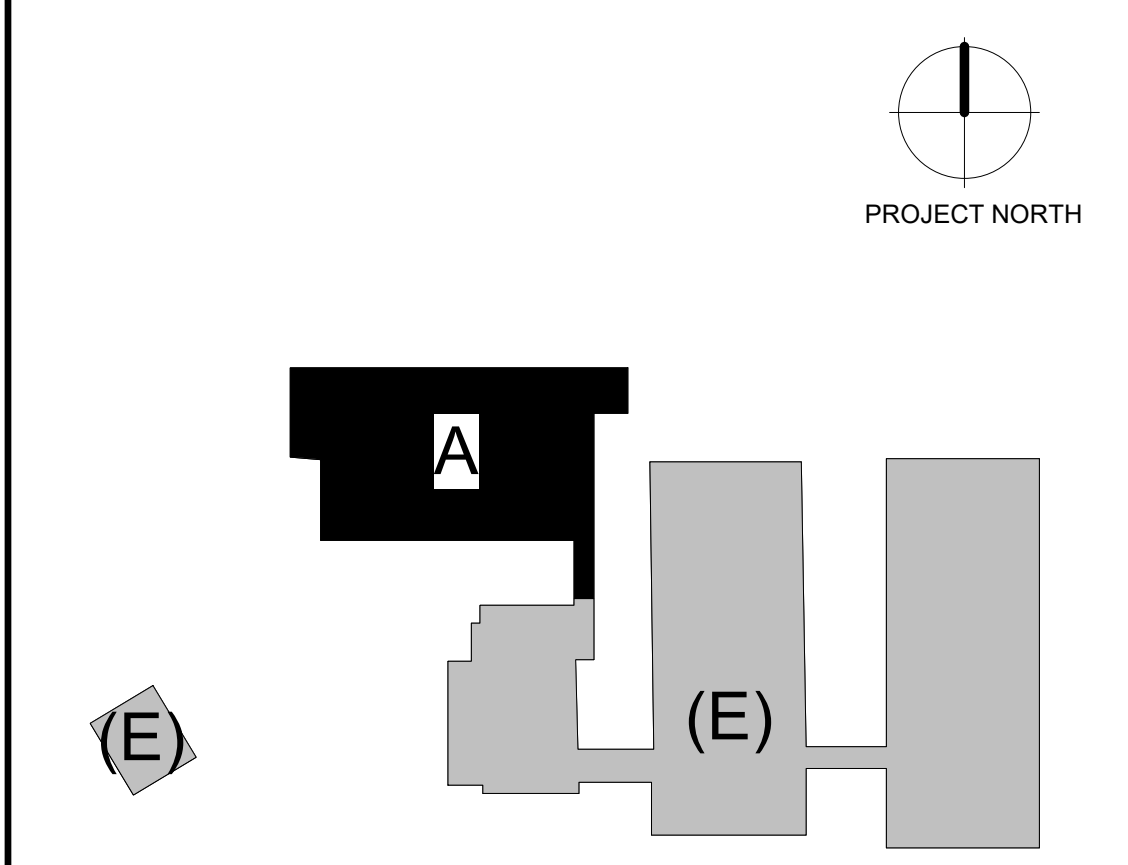
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**KEY PLAN**



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