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Stateline, NV 89449-5310

Location
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Stateline, NV 89449

Contact
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www.trpa.org

MEMORANDUM

Date: May 3, 2018

To: TRPA Hearings Officer

From: TRPA Staff

Subject: Kendall Single Family Dwelling Addition/Modification; 993 Galaxy Way, Washoe County, Nevada; Assessor's Parcel No. 125-411-11; TRPA File No. ERSP2017-0904

Requested Action: Hearings Officer action on the proposed project and a finding of no significant environmental effect.

Staff Recommendation: Staff recommends that the Hearings Officer make the required findings and approve the proposed project.

Required Motions: To approve the proposed project, the Hearings Officer must make the following motions, based on this staff summary and record evidence: (1) A motion to approve the required findings, including a finding of no significant effect; and (2) A motion to approve the proposed project subject to the conditions contained in the draft permit.

Project and Site Description: The proposed project consists the addition of exterior stairs from an existing second floor deck to the ground level for an existing single-family dwelling located at 993 Galaxy Way in Washoe County, Nevada. The project is in Plan Area Statement (PAS) #042 – Incline Village #5. This PAS has the Land Use Classification as Residential. The project site consists of an existing developed residential lot and is consistent with the surrounding uses. This project complies with land coverage and water quality requirements of the TRPA Code of Ordinances.

Issues/Concerns: According to Plan Area Statement #042 – Incline Village #5, Single Family Dwellings are a special use due to avalanche danger and therefore require Hearings Officer review in accordance with Section 2.2.2 of the TRPA Code.

Regional Plan Compliance: The proposed project complies with all requirements of the TRPA Goals and Policies, Plan Area Statements, and Code of Ordinances, including all required findings in Chapters 4, 21, and 30 of the TRPA Code of Ordinances (see below).

Contact Information: If you have any questions, please contact Bridget Cornell, Associate Planner, at bcornell@trpa.org or (775) 589-5218.

Staff Analysis:

1. Environmental Documentation: TRPA staff completed the “Project Review Conformance Checklist and Article V(g) Findings” in accordance with Chapter 4, Subsection 4.3 of the TRPA Code of Ordinances. All responses contained on said checklists indicate compliance with the environmental threshold carrying capacities. A copy of the completed checklists will be made available at the Hearings Officer meeting and at TRPA.
2. Plan Area Statement: The project is in Plan Area Statement #042 – Incline Village #5. The Land Use Classification is Residential, and the Management Strategy is Mitigation. Agency staff reviewed the subject Plan Area Statement and has determined that the project is consistent with the applicable planning statement, planning considerations, and special policies. The proposed use (single family dwelling) is listed as a permissible special use.
3. Land Coverage: This project complies with land coverage requirements of the TRPA Code of Ordinances. The applicant proposes additional land coverage within Land Capability Class 1b for public health and safety purposes. The landing at the base of the stairs will require eleven (11) square feet of coverage in Class 1b, which will be mitigated pursuant to Chapter 30 of the code of Ordinances. See the Required Findings below and the draft permit for additional information and mitigation measures.
4. Height: The height of the existing single-family residence is nonconforming, but the deck and stairs comply with the height requirements of the TRPA Code of Ordinances. No increase in height is proposed as part of this project.

Required Findings:

The following is a list of the required findings as set forth in Chapters 4, 21, and 30 of the TRPA Code of Ordinances. Following each finding, Agency staff has indicated if there is sufficient evidence contained in the record to make the applicable findings or has briefly summarized the evidence on which the finding can be made.

1. Chapter 4 – Required Findings:
 - a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

Based on the findings provided on the Article V(g) Findings Checklist, there is sufficient evidence in the project file to make this finding. The project, as proposed and as conditioned in the draft permit, is consistent with TRPA regulations.

- b) The project will not cause the environmental threshold carrying capacities to be exceeded.

TRPA staff has completed the “Project Review Conformance Checklist and Article V(g) Findings” in accordance with Chapter 4, Subsection 4.3 of the TRPA Code of Ordinances. All responses contained on said checklist indicate compliance with the environmental

threshold carrying capacities. A copy of the completed checklist will be made available at the Hearings Officer meeting and at TRPA.

- c) Wherever federal, state or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TRPA Compact, the project meets or exceeds such standards.

All potential effects are temporary and shall be mitigated through temporary and permanent Best Management Practices (BMPs). The applicant will meet or exceed all federal, state, or local water quality standards. Upon completion of construction, the project will have no impact upon air or water quality standards.

2. Chapter 21 – Special Use:

- a) Modifications may be permitted only when TRPA finds that the modifications do not increase the extent of nonconformity.

The proposed project is the addition of a set of exterior stairs from a second-story deck to ground level. The residence currently has only one ingress/egress. The stairs are proposed to add a second ingress/egress, per the requirements of the North Lake Tahoe Fire Protection District. This property has been certified for Best Management Practices (BMPs). BMPs will be revised accordingly to address the proposed project.

- b) The project to which the use pertains, will not be injurious or disturbing to the health, safety, enjoyment of property, or general welfare of persons or property in the neighborhood, or general welfare of the region, and the applicant has taken reasonable steps to protect against any such injury and to protect the land, water, and air resources of both the applicant's property and that of surrounding property owners.

The applicant will be required to apply temporary and permanent Best Management Practices to protect land, water and air resources of the subject property and that of the surrounding property owners.

- c) The project, to which the use pertains, will not change the character of the neighborhood detrimentally affect or alter the purpose of the applicable planning area statement, community plan and specific or master plan, as the case may be.

The project as proposed includes the addition of exterior stairs to provide a second ingress/egress to the residence and will not adversely affect the Plan Area Statement or change the character of the surroundings neighborhood. The existing single-family dwelling is located within a residential plan area and is surrounded by residential properties.

3. Section 30.4.2.A.2 – Land Coverage Transfer for Public Health and Safety Facilities:

- a) The project complies with required findings for additional public service facilities if required pursuant to Section 50.8;

The proposed project is necessary for health and safety pursuant to Section 30.5.1.C and as described below.

- b) There is no feasible alternative that would reduce land coverage;

The proposed project is the minimum necessary to provide a second ingress/egress to/from the residence. There is currently no available verified land coverage to be relocated on-site for the proposed project.

- c) The project, because of its unusual configuration or service requirement, requires special consideration;

The existing structure is surrounded on all non-street sides by SEZ. By utilizing an open-grate design for the stairs, the project as proposed is the minimum necessary to provide and additional ingress/egress for the residence. The current access to the residence is only on the street side of the residence.

- d) The facility primarily serves the needs of persons other than those who are or will be residence of the lands in question, or the owners of the land in question;

Although the secondary access will serve the needs of the residents, it provides a necessary secondary access for emergency purposes, pursuant to the recommendation of the North Lake Tahoe Fire Protection District (NLTFPD).

4. Section 30.5.1.C – Exceptions to the Prohibition of Additional Land Coverage in Land Capability Districts 1a, 1c, 2, 3 for Public Service Facilities:

- a) The project is necessary for public health, safety, or environmental protection;

The existing residence has only a single ingress/egress onto the street. The proposed project will provide a second ingress/egress to meet fire code regulations. The stairs will be of an open grate design, with an eleven square-foot landing at the bottom, requiring additional coverage in land capability Class 1b, which will be mitigated pursuant to Chapter 30 of the TRPA code of Ordinances.

- b) There is no reasonable alternative, including relocation, that avoids or reduces the extent of encroachment in Land Capability Districts 1a, 1c, 2, or 3;

A previous project was proposed and approved (but never constructed) on this parcel that required more coverage in low capability land. The current proposal includes adding a small amount of coverage in land capability Class 1b, but is the minimum

necessary to provide an additional ingress/egress to the structure. There is currently no available verified land coverage to be relocated on-site for the proposed project.

- c) The impacts of the coverage and disturbance are fully mitigated in the manner prescribed by subparagraph 30.5.1.B.5;

TRPA issued a BMP certificate (#1080) in 2002. As part of this project, the applicant will be required to maintain existing BMPs and install new permanent BMPs for the proposed deck and stairs. The permittee will be required to transfer 17 square feet of Class 1b land coverage for the landing at the base of the stairs. This transfer shall include the permanent retirement and restoration of 17 square feet of off-site sensitive coverage (or 1.5 times the 11 square foot area needed for the project) to mitigate all relocated land to the project area.

Required Actions: Staff recommends that the Hearings Officer take the following actions:

- I. Approve the findings contained in this staff summary, and a finding of no significant environmental effect.
- II. Approve the project, based on the staff summary, subject to the conditions contained in the attached Draft TRPA Permit.

Attachments:

- A. Draft Permit
- B. Proposed Site Plan

Attachment A

Draft Permit

DRAFT TRPA Permit

PROJECT DESCRIPTION: Single Family Dwelling Addition/Modification APN: 125-411-11

PERMITTEE(S): Susanne and Ronald Kendall TRPA FILE #: ERSP2017-0904

COUNTY/LOCATION: 993 Galaxy Way, Washoe County, NV

Having made the findings required by Agency ordinances and rules, the TRPA Hearings Officer approved the project on May 10, 2018, subject to the standard conditions of approval attached hereto (Attachment R), and the special conditions found in this permit.

This permit shall expire on May 10, 2021 without further notice unless the construction has commenced prior to this date and diligently pursued thereafter. Commencement of construction consists of pouring concrete for a foundation and does not include grading, installation of utilities or landscaping. Diligent pursuit is defined as completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action which delayed or rendered impossible the diligent pursuit of the permit.

NO CONSTRUCTION OR GRADING SHALL COMMENCE UNTIL:

- (1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
- (2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
- (3) THE PERMITTEE OBTAINS A COUNTY BUILDING PERMIT. TRPA'S ACKNOWLEDGEMENT IS NECESSARY TO OBTAIN A COUNTY BUILDING PERMIT. THE COUNTY PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
- (4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

TRPA Executive Director/Designee

Date

PERMITTEE'S ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of Permittee(s)

Date

PERMIT CONTINUED ON NEXT PAGE

APN 125-411-11
TRPA FILE NO. ERSP2017-0904

Security Posted (1): Amount \$ _____ Type: _____ Paid _____ Receipt No. _____

Security Administrative Fee (2): Amount \$ _____ Paid _____ Receipt No. _____

Excess Coverage Mitigation Fee (3): Amount \$ _____ Paid _____ Receipt No. _____

Notes:

- (1) See Special Condition 3.B., below.
- (2) Security administrative fee is \$152 if a cash security is posted; or \$135 if a non-cash security is posted.
- (3) See Special Condition 3.C., below.

Required plans determined to be in conformance with approval: Date: _____

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date and is eligible for a county building permit:

TRPA Executive Director/Designee Date

SPECIAL CONDITIONS

1. This permit specifically authorizes the addition to an existing single-family dwelling. Changes include addition of a narrow, second-story deck and exterior stairway. The stairway will provide a secondary egress form the residence, per the recommendation of the North Lake Tahoe Fire Protection District (NLTFPD). The deck and stairs will be an open, metal-grate design. With the 3:1 height reduction ratio, the decking is not considered coverage. Because they are required for health and safety and recommended by NLTFPD, and an open metal-grate design, the stairs will not be considered coverage. An existing window will be converted to a door to provide access from the residence to the stairs. There will be an eleven square foot landing at the base of the stairs that will be mitigated pursuant to TRPA Code Section 30.5.1.B.5, requiring restoration of 1.5 times the area of affected land (in this case, 17 square feet). This parcel is located with the Incline Village #5 (#042) Plan Area Statement. This area is recognized as having avalanche danger. As part of this approval, the permittee shall be required to record a hold-harmless deed restriction against the property assuming any and all risk associated with the construction, maintenance, ownership and use of the property and single-family dwelling.
2. The Standard Conditions of Approval listed in Attachment R shall apply to this permit.
3. Prior to permit acknowledgement, the following conditions of approval must be satisfied.
 - A. Applicant shall provide evidence from the North Lake Tahoe Fire Protection District (NLTFPD) documenting the need for the secondary access from the residence.

- B. The permittee shall revise the proposed plans as follows:
- (1) Sheet C0 shall be revised to reflect the following:
 - a. Please clearly identify land capability districts on the parcel, including the Stream Environment Zone (SEZ, Class 1b), SEZ setback and Class 3. All land capability district areas shall be consistent with those verified on the property on November 25, 1991 (which included Class 3 and Class 1b (SEZ)).
 - b. Coverage table shall be revised to reflect the following:
 - (1) Base allowable coverage shall be identified for each land capability district. Please separate areas of the Class 1b (SEZ), SEZ setback and Class 3. The base allowable coverage for the setback will be that allowed for Class 3. (Note: base allowable coverage will have to be calculated using land capability districts as verified on November 25, 1991. This base allowable coverage will be used to calculate excess coverage as referenced in Special Condition 3E.
 - (2) Please show Existing and Proposed coverage broken down by each applicable land capability district. As per above, please separate existing and proposed coverage for the SEZ setback, in addition to the Class 1b (SEZ) and Class 3.
 - c. Please show all Best Management Practices (BMPs) on the site plan. Temporary and permanent BMPs shall be shown. Permanent BMPs shall include both existing BMPs and proposed BMPs.
 - d. Please provide BMP details for all applicable BMPs required per Special Condition 3.B(1)b.(3), above.
- C. The permittee shall transfer 17 square feet of Class 1b land coverage for the new landing at the base of the stairs. This transfer shall include the permanent retirement and restoration of 17 square feet of off-site sensitive coverage (or 1.5 times the 11 square foot area needed for the project) to mitigate all relocated land to the project area in accordance to TRPA Code of Ordinance Section 30.5.1.C.3. (Note, all coverage transfers must comply with Chapter 30 of the TRPA Code of Ordinances and Rules of Procedure, and may require a separate application and review and approval by TRPA.)
- D. The project is located within Plan Area Statement #042 – Incline Village #5, which states Single Family Dwellings are a special use due to avalanche danger. The permittee shall record a TRPA approved deed restriction to hold TRPA harmless from any and all liabilities.
- (1) The permittee shall provide TRPA with the latest recorded grant deed for the subject parcel. Upon submittal of the grant deed, TRPA will provide the deed restriction to be recorded against the parcel.

- (2) The permittee shall record the provided deed restriction with the Washoe County Recorder's Office.
 - (3) A copy of the recorded deed restriction or the original recorded deed shall be provided to TRPA.
- E. The affected property previously has approximately 2,169 square feet of unmitigated excess land coverage. The exact amount of excess coverage may be revised based on the calculation of base allowable coverage, required per Special Condition 3.B.1.b(1), above. The permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within Hydrologic Transfer Area 1 – Incline, or by submitting an excess coverage mitigation fee.

To calculate the amount of excess coverage to be removed, use the following formula:

Estimated project construction cost multiplied by the fee percentage of 1.00% (as identified in Table 30.6.1-2 of Subsection 30.6.1.C.3. of the TRPA Code of Ordinances) divided by the mitigation factor of 8. If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

Coverage reduction square footage (as determined by formula above) multiplied by the coverage mitigation cost fee of \$20.00 per square foot for projects within Hydrologic Transfer Area 1 – Incline. If you choose this option, please provide a construction cost estimate by your licensed contractor, architect or engineer. In no case shall the mitigation fee be less than \$200.00.

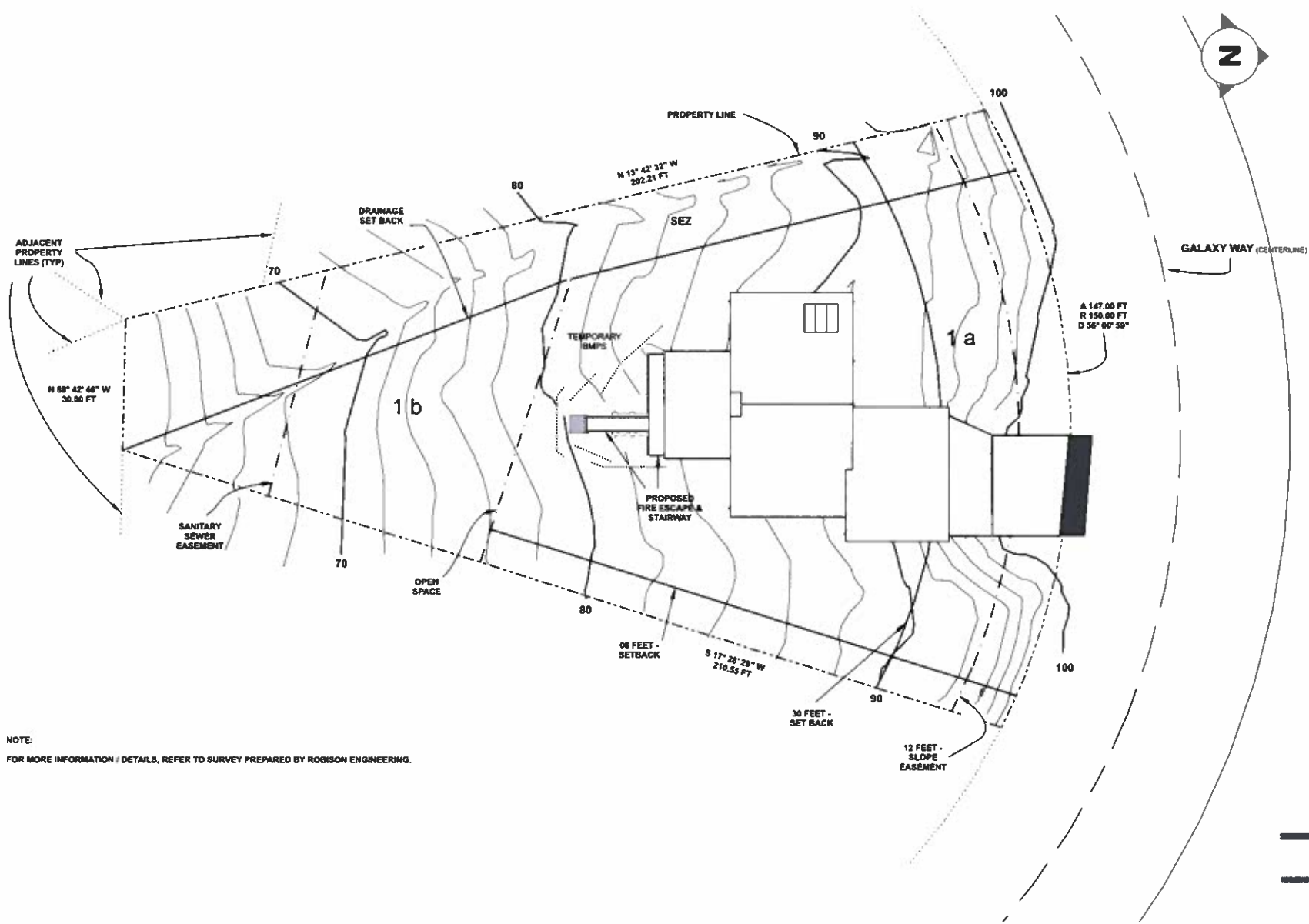
- F. The security required under Standard Condition A.3 of Attachment R shall be equal to \$2,000. Please see Attachment J, Security Procedures, for appropriate methods of posting the security and for calculation of the required security administration fee.
- G. The permittee shall submit three sets of final construction drawings and site plans to TRPA.
4. All exterior lighting (existing and proposed) shall be consistent with TRPA Code of Ordinances Section 36.8 Exterior Lighting Standards. Specifically, all exterior lighting shall be fully shielded and directed downward so as not to produce obtrusive glare onto the public right-of-way or adjoining properties. Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures projected above the horizontal is prohibited.
 5. Temporary and permanent BMPs may be field-fit as appropriate by the TRPA inspector.
 6. The permittee shall prepare and provide photographs to the TRPA Compliance Inspector that have been taken during construction that demonstrate any subsurface BMPs or trenching and backfilling proposed on the project have been constructed correctly (depth, fill material, etc.).

7. The permittee is responsible for insuring that the project, as built, does not exceed the approved land coverage figures shown on the site plan. The approved land coverage figures shall supersede scaled drawings when discrepancies occur.
8. No grading or excavation shall be permitted outside of the approved areas of disturbance. All excavation shall not exceed five feet below ground surface.
9. To the maximum extent allowable by law, the permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board, its Planning Commission, its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

Included within the permittee's indemnity obligation set forth herein, the permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. Permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

Attachment B
Proposed Site Plan



NOTE:
FOR MORE INFORMATION / DETAILS, REFER TO SURVEY PREPARED BY ROBISON ENGINEERING.

993 GALAXY WAY, INCLINE VILLAGE, NV 89451
FIRE ESCAPE, LANDING & STAIRWAY

DATE PRINTED :
23 Aug 2017

EXISTING SITE
& ROOF PLAN

A1.1

SCALE: 3/4" = 1' - 0" (1:16)

The use of lines, points and lines, symbols, is limited to the original site for which they were prepared. No use, reproduction or publication by any person in whole or in part is prohibited, unless authorized by FRANK W. KENDALL. Changing of the design, parts and specifications is hereby prohibited by FRANK W. KENDALL.



GROUND ELEVATION
ALL ROUND HOUSE
(DEPCTED BY BLACK LINE)

993 GALAXY WAY, INCLINE VILLAGE, NV 89451
FIRE ESCAPE, LANDING & STAIRWAY

Construction Documents
19 Aug 2017

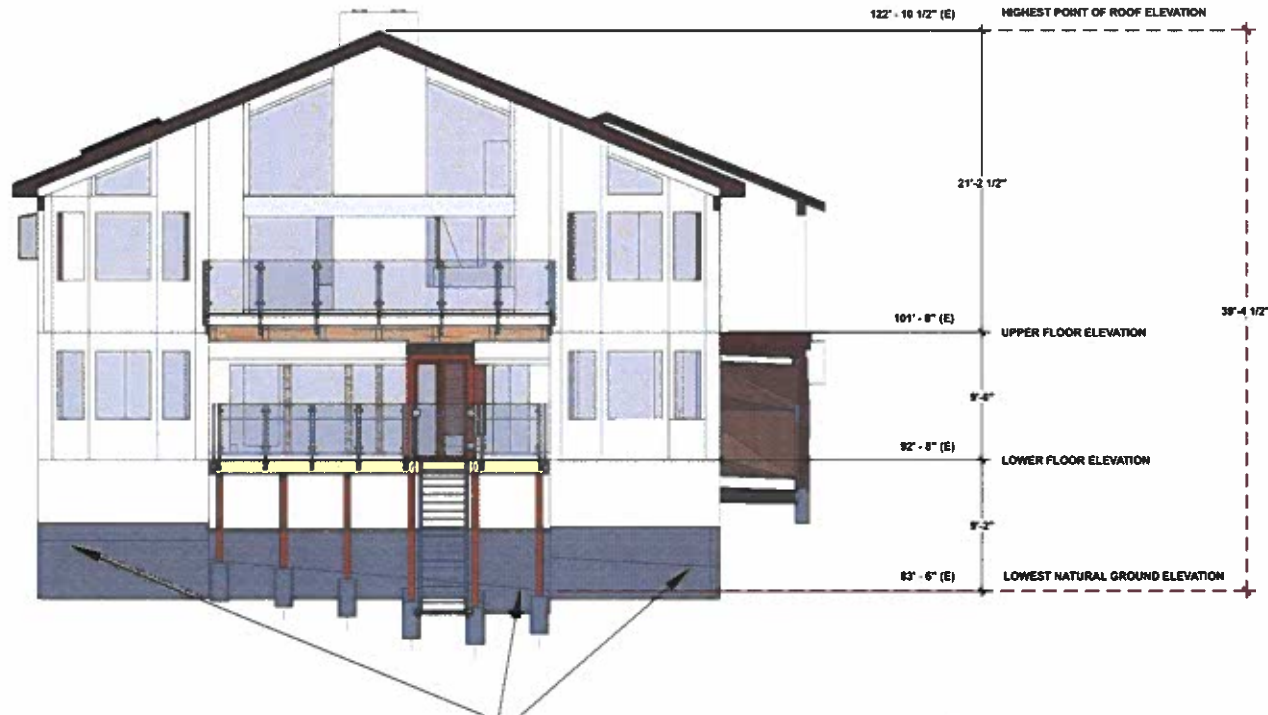
SCALE: 1/4" = 1' - 0" (1:48)

DATE PRINTED :
19 Aug 2017

PERSPECTIVE
SW 2 NE

A0.3

The use of these plans and specifications is restricted to the original site for which they were prepared. Resale, reproduction or publication by any method in whole or in part is prohibited unless authorized by RONALD W. ENDALL. Ownership of the design, plans and specifications is solely with RONALD W. ENDALL.



GROUND ELEVATION
ALL ROUND HOUSE
(DEPICTED BY BLACK LINE)

TRPA HEIGHT CALCULATION

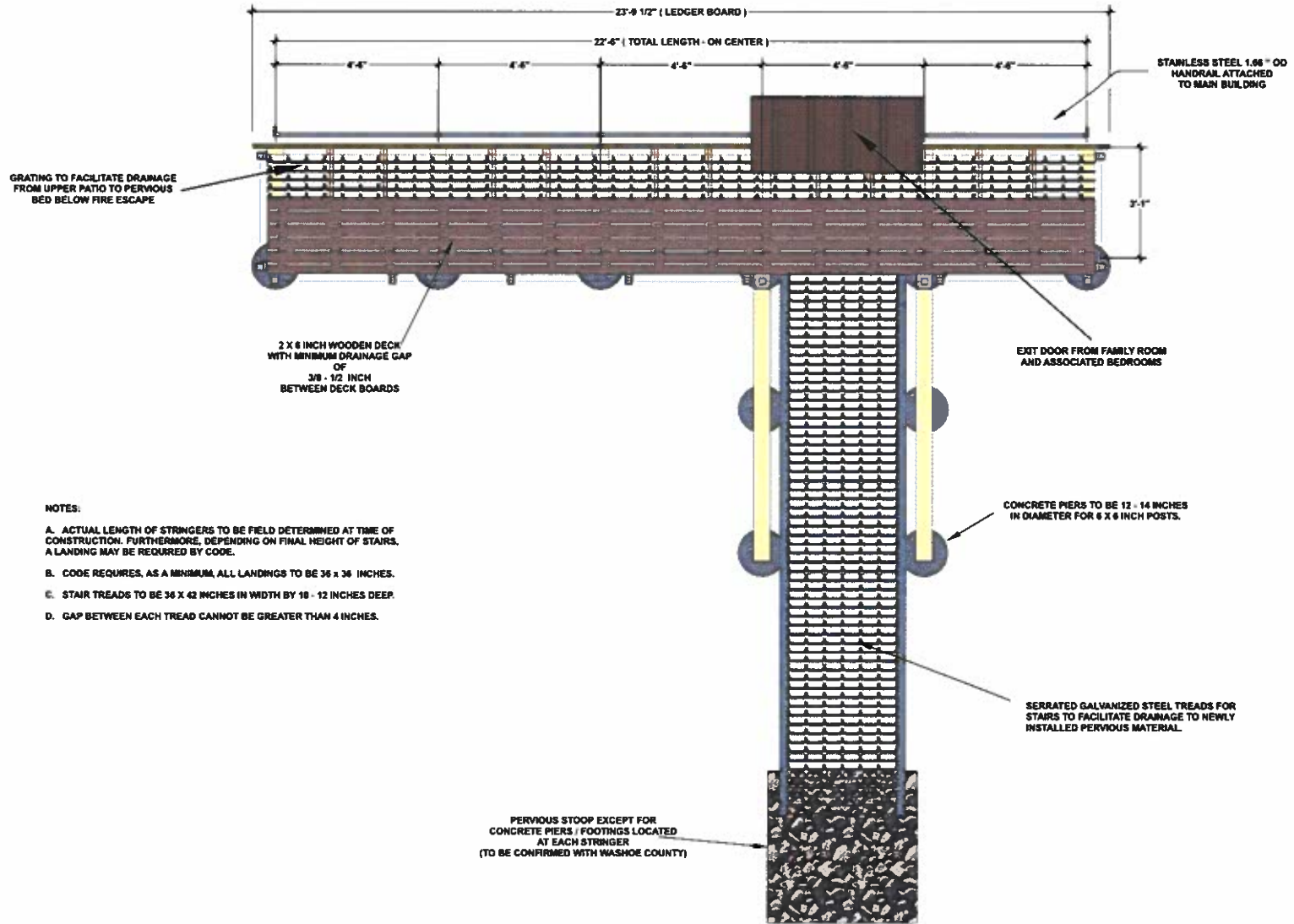
PERCENT CROSS SLOPE RETAINED ACROSS BUILDING SITE	8 % (EIGHT PERCENT)	
EXISTING ROOF PITCH	5:12 (22.62°)	
MINIMUM HEIGHT (from CHAPTER 37: HEIGHT, TABLE 37.4.1-1)	32' - 0"	(32.000 FT)
EXISTING HEIGHT	39' - 4 1/2"	(39.375 FT)
EXISTING LOWEST GROUND ELEVATION	83' - 6"	(83.500 FT)

SCALE: 1/4" = 1' - 0" (1:48)

**SOUTH
ELEVATION**

A3.2

993 GALAXY WAY, INCLINE VILLAGE, NV 89451
FIRE ESCAPE, LANDING & STAIRWAY



NOTES:

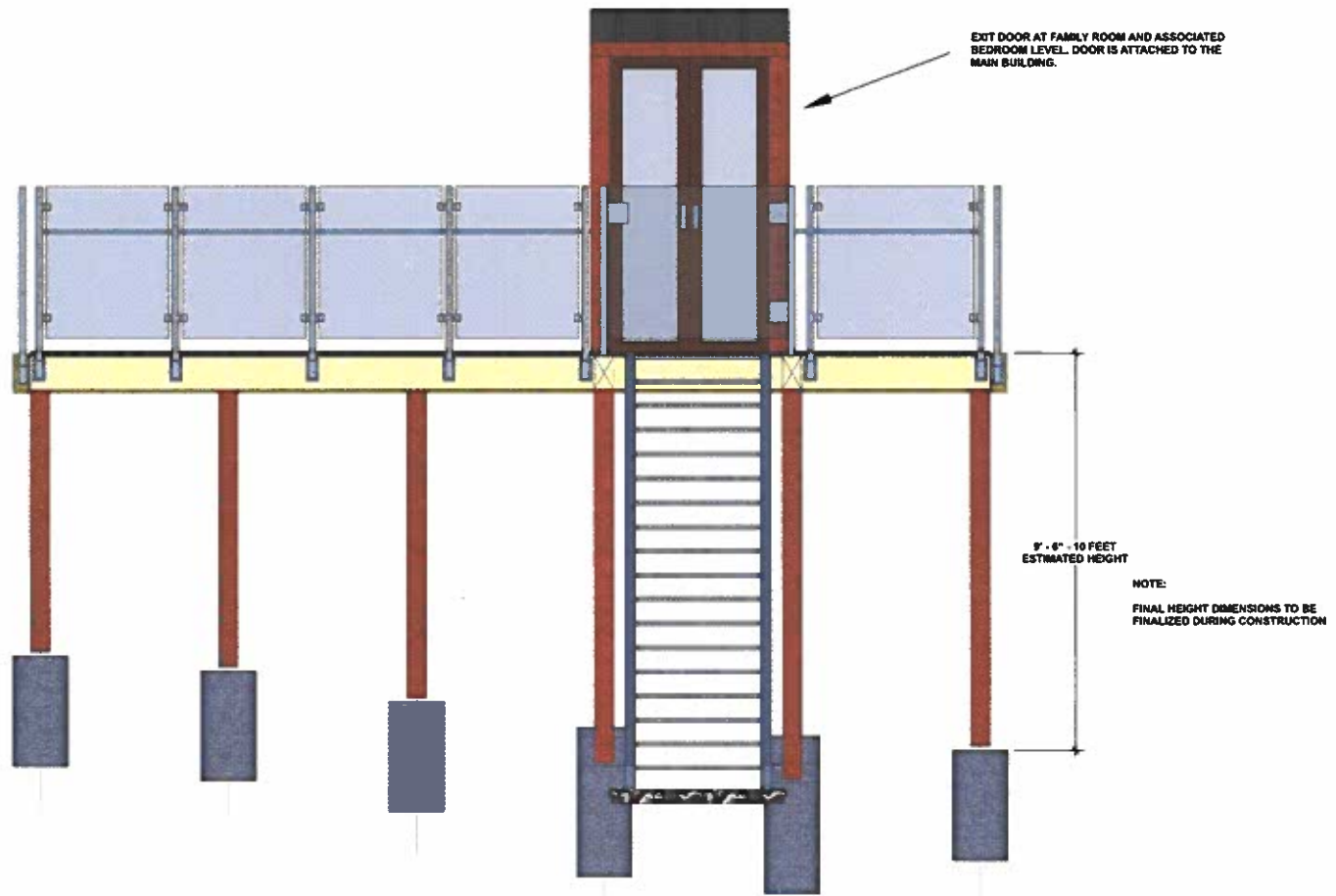
- A. ACTUAL LENGTH OF STRINGERS TO BE FIELD DETERMINED AT TIME OF CONSTRUCTION. FURTHERMORE, DEPENDING ON FINAL HEIGHT OF STAIRS, A LANDING MAY BE REQUIRED BY CODE.
- B. CODE REQUIRES, AS A MINIMUM, ALL LANDINGS TO BE 36 x 36 INCHES.
- C. STAIR TREADS TO BE 36 x 42 INCHES IN WIDTH BY 10 - 12 INCHES DEEP.
- D. GAP BETWEEN EACH TREAD CANNOT BE GREATER THAN 4 INCHES.

993 GALAXY WAY, INCLINE VILLAGE, NV 89451
FIRE ESCAPE, LANDING & STAIRWAY

**FIRE ESCAPE
PLAN VIEW**

A2.7

SCALE: 3/4" = 1' - 0" (1:16)



EXIT DOOR AT FAMILY ROOM AND ASSOCIATED
BEDROOM LEVEL. DOOR IS ATTACHED TO THE
MAIN BUILDING.

9' - 0" - 10 FEET
ESTIMATED HEIGHT

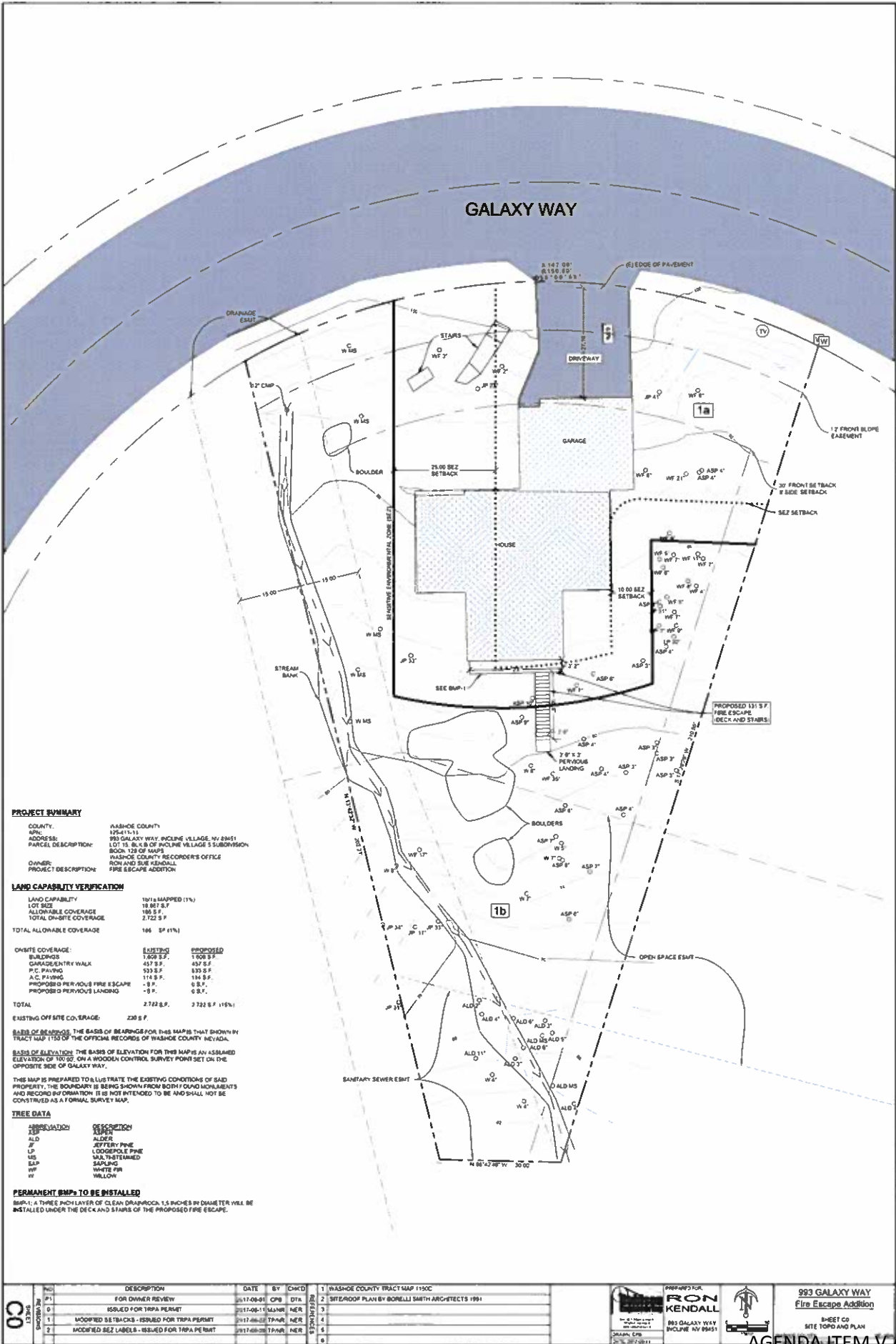
NOTE:
FINAL HEIGHT DIMENSIONS TO BE
FINALIZED DURING CONSTRUCTION

993 GALAXY WAY, INCLINE VILLAGE, NV 89451
FIRE ESCAPE, LANDING & STAIRWAY

FIRE ESCAPE
ELEVATION

A3.1

SCALE: 3/4" = 1' - 0" (1:16)



PROJECT SUMMARY

COUNTY: WASHOE COUNTY
 APN: 12541111
 ADDRESS: 993 GALAXY WAY INCLINE VILLAGE, NV 89411
 PARCEL DESCRIPTION: LOT 15, B.L.C. OF INCLINE VILLAGE 3 SUBDIVISION
 BOON, 138 OF MAPS
 OWNER: WASHOE COUNTY RECORDER'S OFFICE
 PROJECT DESCRIPTION: FIRE ESCAPE ADDITION

LAND CAPABILITY VERIFICATION

LAND CAPABILITY	1014 (MAPPED) (1%)	
LOT SIZE	1886 S.F.	
ALLOWABLE COVERAGE	188 S.F.	
TOTAL EXISTING COVERAGE	2722 S.F.	
TOTAL ALLOWABLE COVERAGE	188 S.F. (1%)	
EXISTING COVERAGE:	EXISTING	PROPOSED
BUILDINGS	1820 S.F.	1908 S.F.
GARAGE/DRIVEWAY WALK	457 S.F.	432 S.F.
P.C. PAVING	533 S.F.	533 S.F.
A.C. PAVING	118 S.F.	118 S.F.
PROPOSED PERVIOUS FIRE ESCAPE	- 0 S.F.	0 S.F.
PROPOSED PERVIOUS LANDING	- 0 S.F.	0 S.F.
TOTAL	2722 S.F.	2722 S.F. (15%)

EXISTING OFF SITE COVERAGE: 220 S.F.

BASE OF BEARINGS: THE BASIS OF BEARINGS FOR THIS MAP IS THAT SHOWN BY TRACY MAP 1153 OF THE OFFICIAL RECORDS OF WASHOE COUNTY, NEVADA.

BASE OF ELEVATION: THE BASIS OF ELEVATION FOR THIS MAP IS AN ASSUMED ELEVATION OF 100.00' ON A WOODEN CONTROL SURVEY POINT SET ON THE OPPOSITE SIDE OF GALAXY WAY.

THIS MAP IS PREPARED TO A LUS THAT THE EXISTING CONDITIONS OF SAID PROPERTY, THE BOUNDARY IS BEING SHOWN FROM BOTH CHAIN MONUMENTS AND RECORD BY ORIMATION. IT IS NOT INTENDED TO BE AND SHALL NOT BE CONSIDERED AS A FORMAL SURVEY MAP.

TREE DATA

ABREVIATION	DESCRIPTION
ALD	ALDER
JF	JEFFERY PINE
LP	LOGSPOLE PINE
MS	MOUNTAIN MAUI
SAP	SAPLING
WF	WHITE FIR
W	WILLOW

PERMANENT BMPs TO BE INSTALLED

BMP-1: A THREE INCH LAYER OF CLEAN DRAINROCK, 1.5 INCHES IN DIAMETER WILL BE INSTALLED UNDER THE DECK AND STAIRS OF THE PROPOSED FIRE ESCAPE.

NO.	DESCRIPTION	DATE	BY	CHKD	REVISION
1	FOR OWNER REVIEW	2017-08-01	CPS	DTK	1
2	ISSUED FOR TRPA PERMIT	2017-08-15	ALAN	NER	2
3	MODIFIED SETBACKS - ISSUED FOR TRPA PERMIT	2017-08-28	TRAP	NER	3
4	MODIFIED SET LABELS - ISSUED FOR TRPA PERMIT	2017-08-28	TRAP	NER	4
5					5

PREPARED FOR:
RON KENDALL
 993 GALAXY WAY
 INCLINE VILLAGE, NV 89411

993 GALAXY WAY
 Fire Escape Addition
 SHEET 00
 SITE TOPO AND PLAN

AGENDA ITEM V.A.